

Dare County ABC Store - Buxton

Buxton, NC

Addendum No. 3

June 07, 2023

Issued to:

General Manager Ted Toler DCABC Board tedt.darecoabc@gmail.com
Chairman Fields Scarborough DCABC Board fscarborough1@gmail.com

Bidders

Ansar Malik A J Builders ansarkmalik@gmail.com
Michael Roberts A R Chesson michael@archesson.com
Dickie Ashe Farrell & Family farrellfamilyconstruction@gmail.com

Plan Rooms (List available on request)

This Addendum modifies:

1. See attached specifications and sheet A106 for revisions and clarifications to door hardware sets.
2. See door schedule on attached sheet A106 for revisions and clarifications to door types.
3. There are no alternates for this project at this time. Reference to alternates has been deleted.
4. Equivalent materials and products are acceptable.
5. Drawing E-201 Power Riser Key Note #1 states EC to provide a price per foot for the incoming electrical service, but drawing E-301 General Note #23 states that the owner pays for the installation of the incoming utility service. Owner shall be responsible for any cost for power to the meter not covered by the power company.
6. Appendix B does not state whether it is sprinkled or not. No Fire Suppression required.
7. On the civil drawings the unhatched area for proposed concrete or asphalt pavement, has no detail to show what type of pavement or thickness it is, Asphalt we should use 1" of surface course over 2 1/2" of I-19 over 10" Compacted ABC. Concrete should be 8" thick, 4000 PSI Conc. w/WWF over 6" of compacted ABC. See attached paving diagram for extent of asphalt and concrete paving.
8. Vinyl sheet piles shall be 'Textured Clay' finish.
9. There are no wastewater fees. Tap fees will be for a 3/4" tap which will be paid by the Contractor and cost \$2,852
10. Building permit fees shall be paid by Contractor.
11. Material testing and geotechnical will be by paid by the Owner.
12. There are no requirements for FSC Lumber or LEED Certification.
13. The finish of the EIFS is shall be as follows
 - a. SC-1 – Manufacture's Standard Fine Finish.
 - b. SC-2 – Manufacture's Standard Rough Finish.Drawings have been modified to show location of each type of finish.

14. Impact glazing needs to be provided in all storefront frames and frames should accommodate.
15. Use Electrical drawings for pricing and specification. Use architectural for placement. Your electrical contractor will install all lights but will only provide lights A, G, J, EGX, EX, EH, & EG. H will be deleted. Owner will provide light B-F. The light types in the response refer to the electrical drawings lighting schedule.
16. Mezzanine joist shall be 1 5/8" x 12" 14 ga 16" O.C. instead of 2x12 as indicated on the structural drawings.
17. The structural drawings do not have any details for the interior load bearing walls supporting the Mezzanine joists. The Wall Types on A102 call for 22 GA and 20 GA studs supporting the floor joists. Bearing walls supporting the mezzanine joist have been modified to provide proper bearing. See revised drawings.
18. Bearing walls at x-bracing have been changed to 1 5/8" x 3 5/8" 20 ga. mtl. studs flat either side of x-bracing with 8" channel top and bottom. See attached sheet S102
19. Detail 9/S202 indicates a Schedule for the Jamb Studs. The Schedule has been added to sheet S202.
20. Beams below the roof trusses will have an 8" metal channel top and bottom to support GWB. Details have been added to sheet A502 demonstrating this.
21. The beams will fall within the 8" framing. A metal channel top and bottom of the beam will suffice to support GWB as indicated on the revised sheet A501 wall sections.
22. Two layers of R19 batt insulation is acceptable as a substitute for R38 but will need to be visible for inspections and the second layer should be installed perpendicular to the first.
23. The drawings have been modified to wood trusses with 5/8" pw sheathing.
24. The casework should be plastic laminate. The specifications have been revised.
25. Finish schedule has been added.
26. Warehouse and mezzanine wall finish shall be painted 5/8" plywood.
27. Soffit and ridge venting and ridge vent detail have been added to attached revised sheet A104 & A501
28. Draftstopping has been added to attached revised sheet A105.
29. Restroom elevations have been revised to show ceramic tile 5' up walls.
30. Wall sections have been added to attached revised sheet A502 to clarify steel mezzanine railing construction and attachment, mezzanine framing, and beam finishing.
31. Interior wall footing shall be 24" x 12" and a detail has been added to attached revised sheet S101.
- 32.
33. See attached drawings and specifications for additional information.

Please acknowledge receipt when you receive this email and on the Bid Form on bid day.

END

SECTION 064116 - PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Plastic-laminate-faced architectural cabinets.
2. Wood furring, blocking, shims, and hanging strips for installing plastic-laminate-faced architectural cabinets unless concealed within other construction before cabinet installation.

B. Related Requirements:

1. Section 123623.13 "Plastic-Laminate-Clad Countertops."

1.2 ACTION SUBMITTALS

A. Product Data: For each type of product, including panel products high-pressure decorative laminate and cabinet hardware and accessories.

B. Shop Drawings: Show location of each item, dimensioned plans and elevations, large-scale details, attachment devices, and other components.

C. Samples:

1. Plastic laminates, for each color, pattern, and surface finish.
2. Thermoset decorative panels, for each color, pattern, and surface finish.

1.3 FIELD CONDITIONS

A. Environmental Limitations: Do not deliver or install cabinets until building is enclosed, wet work is complete, and HVAC system is operating and maintaining temperature and relative humidity at occupancy levels during the remainder of the construction period.

PART 2 - PRODUCTS

2.1 PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS

A. Quality Standard: Unless otherwise indicated, comply with the "Architectural Woodwork Standards" for grades of architectural plastic-laminate cabinets indicated for construction, finishes, installation, and other requirements.

B. Grade: Custom.

- C. Type of Construction: Frameless.
- D. Cabinet, Door, and Drawer Front Interface Style: Flush overlay.
- E. High-Pressure Decorative Laminate: NEMA LD 3, grades as indicated or if not indicated, as required by woodwork quality standard.
- F. Laminate Cladding for Exposed Surfaces:
 - 1. Horizontal Surfaces: Grade HGS
 - 2. Vertical Surfaces: Grade HGS
 - 3. Pattern Direction: To be determined base on selected patterns selected.
- G. Materials for Semiexposed Surfaces:
 - 1. Surfaces Other Than Drawer Bodies: Thermoset decorative panels.
 - 2. Drawer Sides and Backs: Solid-hardwood lumber.
 - 3. Drawer Bottoms: Hardwood plywood.
- H. Dust Panels: 1/4-inch (6.4-mm) plywood or tempered hardboard above compartments and drawers unless located directly under tops.
- I. Colors, Patterns, and Finishes: Provide materials and products that result in colors and textures of exposed laminate surfaces complying with the following requirements:
 - 1. As selected by Architect from laminate manufacturer's full range
- J. Wood Products: Provide materials that comply with requirements of referenced quality standard for each type of woodwork and quality grade specified unless otherwise indicated.
 - 1. Wood Moisture Content: 5 to 10 percent.

2.2 CABINET HARDWARE AND ACCESSORIES

- A. General: Provide cabinet hardware and accessory materials associated with architectural cabinets except for items specified in Section 087111 "Door Hardware (Descriptive Specification)."
- B. Frameless Concealed Hinges (European Type): BHMA A156.9, B01602, 100 degrees of opening, self-closing.
- C. Wire Pulls: Back mounted, solid metal, 4 inches (100 mm) long, 5/16 inch (8 mm) in diameter.
- D. Adjustable Shelf Standards and Supports: BHMA A156.9, B04071; with shelf rests, B04081.
- E. Shelf Rests: BHMA A156.9, B04013; metal.
- F. Drawer Slides: BHMA A156.9.
 - 1. Grade 1: Side mounted and extending under bottom edge of drawer; full-extension type; epoxy-coated steel with polymer rollers.

- G. Door and Drawer Silencers: BHMA A156.16, L03011.
- H. Exposed Hardware Finishes: For exposed hardware, provide finish that complies with BHMA A156.18 for BHMA finish number indicated.
 - 1. Satin Chromium Plated: BHMA 626 for brass or bronze base; BHMA 652 for steel base.

2.3 MISCELLANEOUS MATERIALS

- A. Furring, Blocking, Shims, and Hanging Strips: Softwood or hardwood lumber, kiln dried to less than 15 percent moisture content.
- B. Anchors: Select material, type, size, and finish required for each substrate for secure anchorage. Provide metal expansion sleeves or expansion bolts for post-installed anchors. Use nonferrous-metal or hot-dip galvanized anchors and inserts at inside face of exterior walls and at floors.
- C. Adhesive for Bonding Plastic Laminate: Contact cement.
 - 1. Adhesive for Bonding Edges: Hot-melt adhesive or adhesive specified above for faces.

2.4 FABRICATION

- A. Complete fabrication, including assembly and hardware application, to maximum extent possible before shipment to Project site. Disassemble components only as necessary for shipment and installation. Where necessary for fitting at site, provide ample allowance for scribing, trimming, and fitting.
- B. Shop-cut openings to maximum extent possible to receive hardware, appliances, electrical work, and similar items. Locate openings accurately and use templates or roughing-in diagrams to produce accurately sized and shaped openings. Sand edges of cutouts to remove splinters and burrs.
- C. Install glass to comply with applicable requirements in Section 088000 "Glazing" and in GANA's "Glazing Manual." For glass in wood frames, secure glass with removable stops.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Before installation, condition cabinets to average prevailing humidity conditions in installation areas.

3.2 INSTALLATION

- A. Grade: Install cabinets to comply with same grade as item to be installed.

- B. Install cabinets level, plumb, true, and straight. Shim as required with concealed shims. Install level and plumb to a tolerance of **1/8 inch in 96 inches (3 mm in 2400 mm)**.
- C. Scribe and cut cabinets to fit adjoining work, refinish cut surfaces, and repair damaged finish at cuts.
- D. Anchor cabinets to anchors or blocking built in or directly attached to substrates. Secure with countersunk, concealed fasteners and blind nailing. Use fine finishing nails[or finishing screws] for exposed fastening, countersunk and filled flush with woodwork.
- E. Cabinets: Install without distortion so doors and drawers fit openings properly and are accurately aligned. Adjust hardware to center doors and drawers in openings and to provide unencumbered operation. Complete installation of hardware and accessory items as indicated.
 - 1. Install cabinets with no more than **1/8 inch in 96-inch (3 mm in 2400-mm)** sag, bow, or other variation from a straight line.
 - 2. Fasten wall cabinets through back, near top and bottom, and at ends not more than **16 inches (400 mm)** o.c. with No. 10 wafer-head sheet metal screws through metal backing or metal framing behind wall finish.

END OF SECTION 064116

SECTION 087100 - DOOR HARDWARE

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes:
 - 1. Mechanical door hardware for the following:
 - a. Swinging doors.

1.2 ACTION SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Other Action Submittals:
 - 1. Door Hardware Schedule: Prepared by or under the supervision of Installer, detailing fabrication and assembly of door hardware, as well as installation procedures and diagrams. Coordinate final door hardware schedule with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of door hardware.
 - a. Format: Use same scheduling sequence and format and use same door numbers as in the Contract Documents.
 - b. Content: Include the following information:
 - 1) Identification number, location, hand, fire rating, size, and material of each door and frame.
 - 2) Locations of each door hardware set, cross-referenced to Drawings on floor plans and to door and frame schedule.
 - 3) Complete designations, including name and manufacturer, type, style, function, size, quantity, function, and finish of each door hardware product.
 - 4) Description of electrified door hardware sequences of operation and interfaces with other building control systems.
 - 2. Keying Schedule: Prepared by or under the supervision of Installer, detailing Owner's final keying instructions for locks.

1.3 QUALITY ASSURANCE

- A. Means of Egress Doors: Latches do not require more than **15 lbf (67 N)** to release the latch. Locks do not require use of a key, tool, or special knowledge for operation.
- B. Accessibility Requirements: Comply with applicable provisions in ICC A117.1 for door hardware on doors in an accessible route.

1. Provide operating devices that do not require tight grasping, pinching, or twisting of the wrist and that operate with a force of not more than 5 lbf (22.2 N).
2. Comply with the following maximum opening-force requirements:
 - a. Interior, Non-Fire-Rated Hinged Doors: 5 lbf (22.2 N) applied perpendicular to door.
3. Bevel raised thresholds with a slope of not more than 1:2. Provide thresholds not more than 1/2 inch (13 mm) high.
4. Closers: Adjust door and gate closer sweep periods so that, from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds minimum.

1.4 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components of door hardware that fail in materials or workmanship within specified warranty period.
 1. Warranty Period: Three years from date of Substantial Completion, unless otherwise indicated.

PART 2 - PRODUCTS

2.1 SCHEDULED DOOR HARDWARE

- A. Provide door hardware for each door as scheduled in Part 3 "Door Hardware Schedule" Article to comply with requirements in this Section.
 1. Door Hardware Sets: Provide quantity, item, size, finish or color indicated, and products equivalent in function and comparable in quality to named products.
- B. Designations: Requirements for design, grade, function, finish, size, and other distinctive qualities of each type of door hardware are indicated in Part 3 "Door Hardware Schedule" Article. Products are identified by using door hardware designations, as follows:
 1. Named Manufacturers' Products: Manufacturer and product designation are listed for each door hardware type required for the purpose of establishing minimum requirements. Manufacturers' names are abbreviated in Part 3 "Door Hardware Schedule" Article.

2.2 HINGES

- A. Hinges: BHMA A156.1.

2.3 MECHANICAL LOCKS AND LATCHES

- A. Strikes: Provide manufacturer's standard strike for each lock bolt or latchbolt complying with requirements indicated for applicable lock or latch and with strike box and curved lip extended to protect frame; finished to match lock or latch.
- B. Bored Locks: BHMA A156.2; Grade 1; Series 4000.

2.4 LOCK CYLINDERS

- A. Lock Cylinders: Tumbler type, constructed from brass or bronze, stainless steel, or nickel silver.
 - 1. Manufacturer: Same manufacturer as for locking devices.
- B. Construction Master Keys: Provide cylinders with feature that permits voiding of construction keys without cylinder removal. Provide 10 construction master keys.
- C. Construction Cores: Provide construction cores that are replaceable by permanent cores. Provide 10 construction master keys.

2.5 KEYING

- A. Keying System: Factory registered, complying with guidelines in BHMA A156.28, Appendix A. Incorporate decisions made in keying conference.
 - 1. Existing System:
 - a. Master key or grand master key locks to Owner's existing system.

2.6 OPERATING TRIM

- A. Operating Trim: BHMA A156.6; stainless steel, unless otherwise indicated.

2.7 SURFACE CLOSERS

- A. Surface Closers: BHMA A156.4; rack-and-pinion hydraulic type with adjustable sweep and latch speeds controlled by key-operated valves and forged-steel main arm. Comply with manufacturer's written recommendations for size of door closers depending on size of door, exposure to weather, and anticipated frequency of use. Provide factory-sized closers, adjustable to meet field conditions and requirements for opening force.

2.8 DOOR GASKETING

- A. Door Gasketing: BHMA A156.22; air leakage not to exceed 0.50 cfm per foot (0.000774 cu. m/s per m) of crack length for gasketing other than for smoke control, as tested according to ASTM E 283; with resilient or flexible seal strips that are easily replaceable and readily available from stocks maintained by manufacturer.

2.9 THRESHOLDS

- A. Thresholds: BHMA A156.21; fabricated to full width of opening indicated.

2.10 FABRICATION

- A. Fasteners: Provide door hardware manufactured to comply with published templates prepared for machine, wood, and sheet metal screws. Provide screws that comply with commercially recognized industry standards for application intended, except aluminum fasteners are not permitted. Provide Phillips flat-head screws with finished heads to match surface of door hardware, unless otherwise indicated.
 - 1. Concealed Fasteners: For door hardware units that are exposed when door is closed, except for units already specified with concealed fasteners. Do not use through bolts for installation where bolt head or nut on opposite face is exposed unless it is the only means of securely attaching the door hardware. Where through bolts are used on hollow door and frame construction, provide sleeves for each through bolt.
 - 2. Spacers or Sex Bolts: For through bolting of hollow-metal doors.
 - 3. Fasteners for Wood Doors: Comply with requirements in DHI WDHS.2, "Recommended Fasteners for Wood Doors."
 - 4. Gasketing Fasteners: Provide noncorrosive fasteners for exterior applications and elsewhere as indicated.

2.11 FINISHES

- A. Provide finishes complying with BHMA A156.18 as indicated in door hardware schedule.
- B. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Steel Doors and Frames: For surface applied door hardware, drill and tap doors and frames according to ANSI/SDI A250.6.
- B. Wood Doors: Comply with DHI WDHS.5 "Recommended Hardware Reinforcement Locations for Mineral Core Wood Flush Doors."
- C. Mounting Heights: Mount door hardware units at heights to comply with the following unless otherwise indicated or required to comply with governing regulations.
 - 1. Standard Steel Doors and Frames: ANSI/SDI A250.8.
 - 2. Custom Steel Doors and Frames: HMMA 831.
 - 3. Wood Doors: DHI WDHS.3, "Recommended Locations for Architectural Hardware for Wood Flush Doors."

- D. Install each door hardware item to comply with manufacturer's written instructions. Where cutting and fitting are required to install door hardware onto or into surfaces that are later to be painted or finished in another way, coordinate removal, storage, and reinstallation of surface protective trim units with finishing work. Do not install surface-mounted items until finishes have been completed on substrates involved.
 - 1. Set units level, plumb, and true to line and location. Adjust and reinforce attachment substrates as necessary for proper installation and operation.
 - 2. Drill and countersink units that are not factory prepared for anchorage fasteners. Space fasteners and anchors according to industry standards.
- E. Hinges: Install types and in quantities indicated in door hardware schedule but not fewer than the number recommended by manufacturer for application indicated or one hinge for every **30 inches (750 mm)** of door height, whichever is more stringent, unless other equivalent means of support for door, such as spring hinges or pivots, are provided.
- F. Lock Cylinders: Install construction cores to secure building and areas during construction period.
 - 1. Replace construction cores with permanent cores as directed by Owner.
 - 2. Furnish permanent cores to Owner for installation.
- G. Thresholds: Set thresholds for exterior doors and other doors indicated in full bed of sealant complying with requirements specified in Section 079200 "Joint Sealants."
- H. Stops: Provide floor stops for doors unless wall or other type stops are indicated in door hardware schedule. Do not mount floor stops where they will impede traffic.
- I. Perimeter Gasketing: Apply to head and jamb, forming seal between door and frame.
- J. Meeting Stile Gasketing: Fasten to meeting stiles, forming seal when doors are closed.
- K. Door Bottoms: Apply to bottom of door, forming seal with threshold when door is closed.
- L. Adjustment: Adjust and check each operating item of door hardware and each door to ensure proper operation or function of every unit. Replace units that cannot be adjusted to operate as intended. Adjust door control devices to compensate for final operation of heating and ventilating equipment and to comply with referenced accessibility requirements.

3.2 DOOR HARDWARE SCHEDULE

Hardware Set #1

Description	Manufacturer or Equal	Model or Equal	Finish	Quantity
Hinges	Manufacturer Standard			

Inactive door bolts	Manufacturer Standard			
Deadbolt	Manufacturer Standard			1
Closer	Manufacturer Standard			1
Threshold	Hager	520S	ALUM	36”
Weather Stripping	Manufacturer Standard			

Hardware Set #2

Description	Manufacturer or Equal	Model or Equal	Finish	Quantity
Hinge	Hager	ECBB1101NRP	US32D	3
Lockset	Hager	3453-Archer Lever	US26D	1
Closer	Hager	5200	ALUM	1
Threshold	Hager	520S	ALUM	42”
Weather Stripping	Hager	891S	ALUM	210”

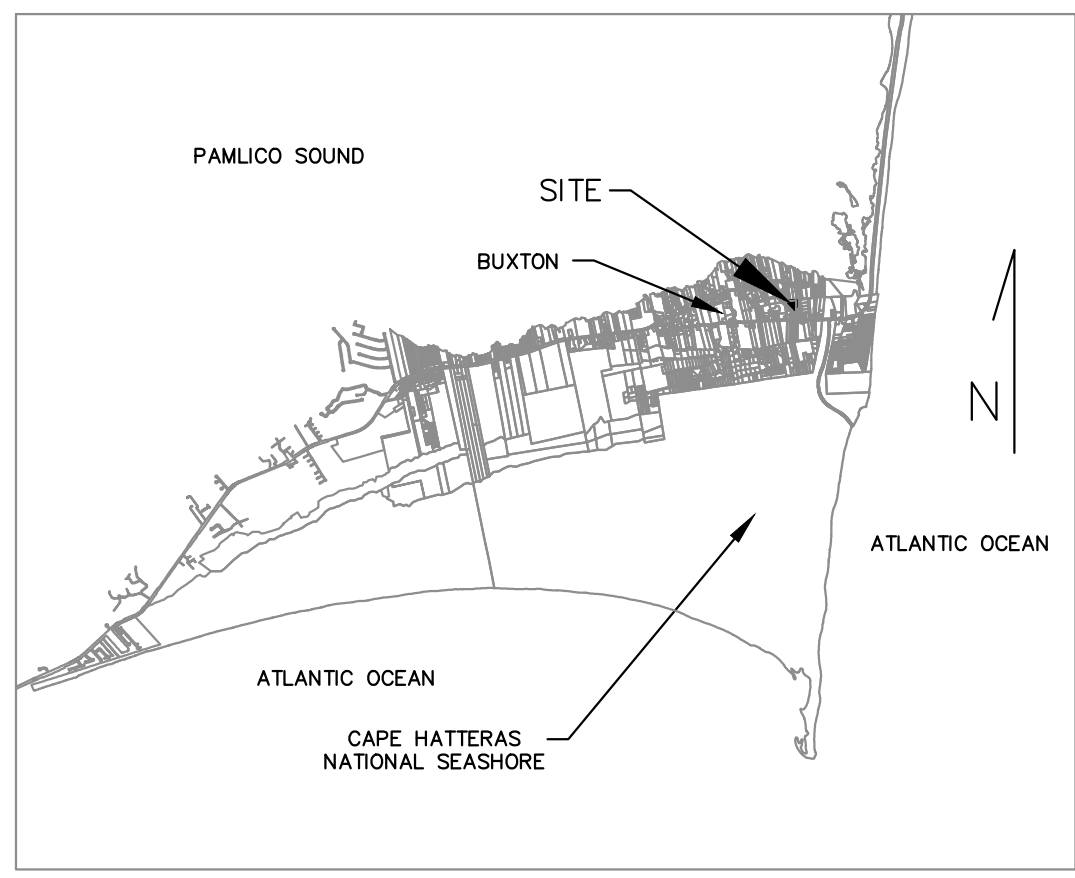
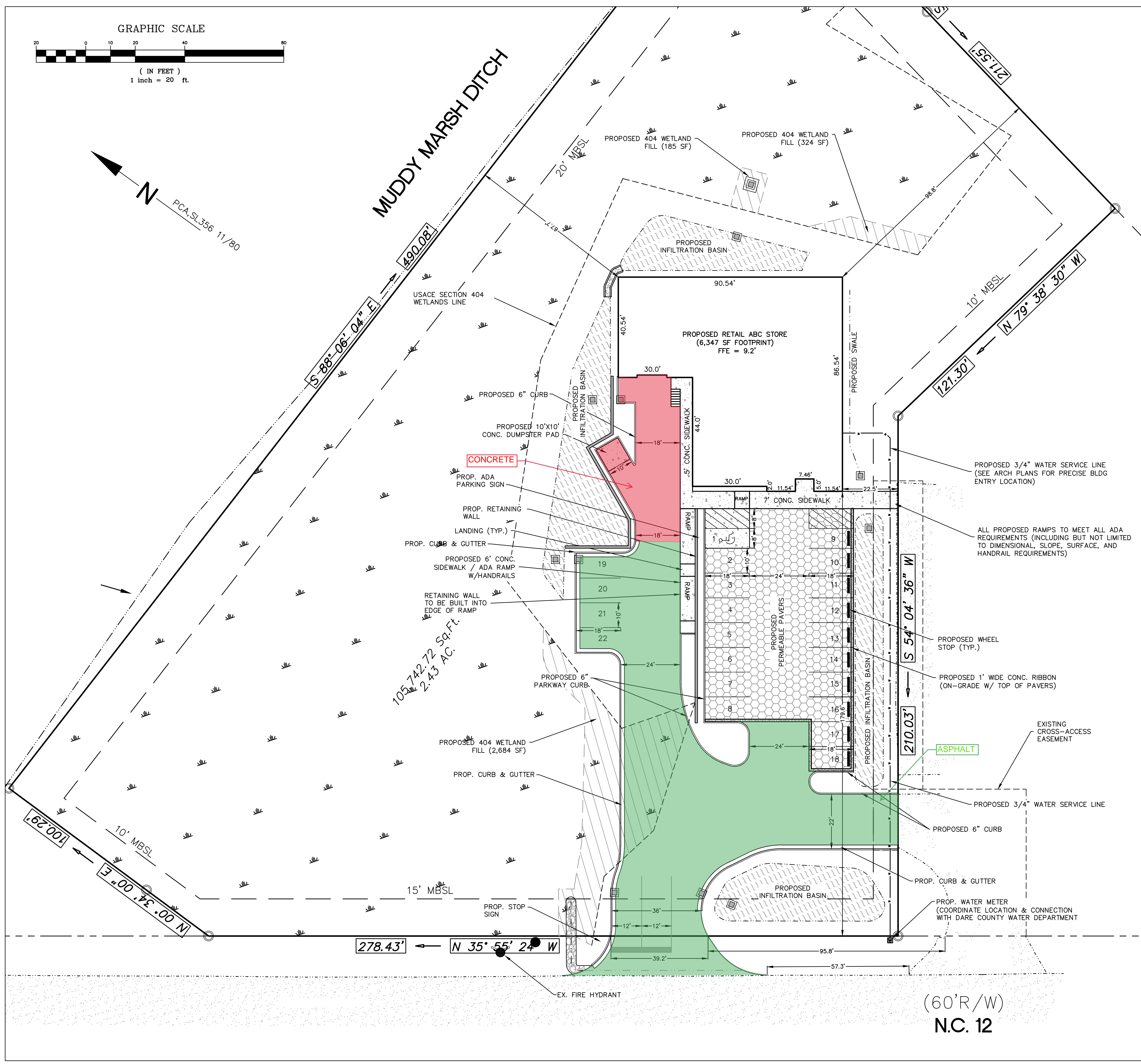
Hardware Set #3

Description	Manufacturer or Equal	Model or Equal	Finish	Quantity
Hinge	Hager	ECBB1101NRP	US32D	3
Lockset	Hager	3453-Archer Lever	US26D	1
Silencers				

Hardware Set #4

Description	Manufacturer or Equal	Model or Equal	Finish	Quantity
Hinge	Hager	ECBB1101NRP	US32D	3
Lockset	Hager	3440-Archer Lever	US26D	1
Silencers				

END OF SECTION 087100

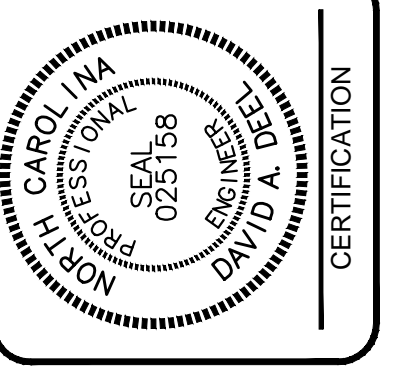


- SITE NOTES:**
- OWNER / APPLICANT: DARE COUNTY ABC BOARD
P.O. BOX 1879
NAGS HEAD, NC 27959
 - SITE ADDRESS: 47290 NC HWY 12, BUXTON, NC
RECORDED REFERENCE: DB 2588 PG 137
PIN NO. 053719503261
 - TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN ON PLAN BASED ON SURVEY BY BARNETTE INTEGRATED LAND DEVELOPMENT DATED 12/9/2021. ELEVATION DATUM NAVD 1988.
 - F.I.R.M. ZONE: "AE" (B.F.E. = 6.0') (R.F.P.E. = 8.0')
 - ZONE: C-3 COMMERCIAL
PROPOSED USE: RETAIL
 - SCOPE OF PROJECT: THE DARE ABC BOARD PROPOSES TO CONSTRUCT A NEW RETAIL SITE IN BUXTON ALONG WITH ASSOCIATED PARKING, STORMWATER, AND UTILITY INFRASTRUCTURE.
 - PROPOSED BUILDING WILL BE SINGLE STORY
 - A USACE FILL PERMIT WILL BE OBTAINED PRIOR TO ANY WORK LOCATED WITHIN USACE JURISDICTIONAL WETLANDS.
 - PARKING: 1 SP/200 SF RETAIL AREA x 2,409 SF = 13 SPACES
-PLUS-
1 SP/EMPLOYEE x 3 EMPLOYEES = 3 SPACES (ACCOUNTS FOR WAREHOUSE AREA)
TOTAL PARKING REQUIRED: 16 SPACES
PARKING PROVIDED: 22 SPACES
 - LOT COVERAGE: PARCEL AREA = 105,743 SF (2.43 AC)
IMPERVIOUS COVERAGE:
PROPOSED BUILDING = 6,347 SQ.FT.
-PLUS-
PROPOSED SIDEWALK = 1,225 SQ.FT.
PROPOSED CONC/ASPHALT TRAVEL AISLE = 9,625 SQ.FT.
PROPOSED PERMEABLE PAVERS = 5,047 SQ.FT.
PROPOSED MISC. COVERAGE = 182 SQ.FT.
FUTURE MISC. COVERAGE = 600 SQ.FT.
TOTAL IMPERVIOUS = 23,026 SQ.FT. (21.8%)
(60% ALLOWABLE)
 - SITE LIGHTING: PLEASE SEE ARCHITECTURAL PLANS FOR SITE LIGHTING
 - SIGNAGE: SIGNAGE WILL BE PERMITTED SEPARATELY. SIGNAGE PLAN WILL BE SUBMITTED WITH SEPARATE SIGNAGE PERMIT APPLICATION.

DEEL ENGINEERING, PLLC
 CIVIL ENGINEERING SERVICES
 FIRM LICENSE P-1045
 1004 WEST 8TH STREET
 HILL DEW HILLS, NC 27948
 Phone: (252) 302-3603 E-Mail: doehlede@gmail.com

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 VIOLATION OF COPYRIGHT LAW.

ISSUED FOR PERMITTING	REVISED FEE PER DARE CO. COMMENT	REVISIONS	DATE	NO.
1	11/22/22			
2	12/15/22			



SITE PLAN
DARE ABC RETAIL - BUXTON
 47290 NC HWY 12, BUXTON, NC

North Carolina
 Buxton
 Date

COMMISSION NO.	P2021-20
DESIGNED BY	DAD
DRAWN BY	DAD
CHECKED BY	DAD
ISSUE DATE	7/25/2022
SHEET NO.	

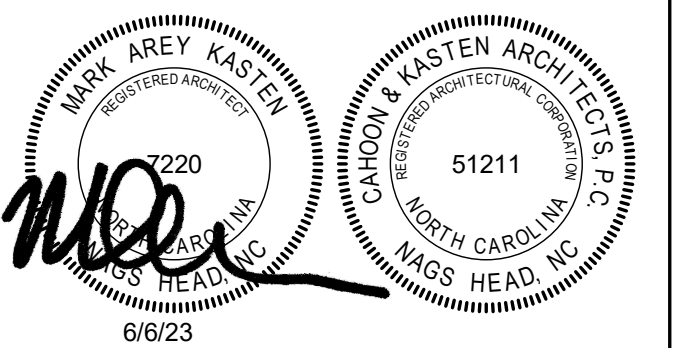
NOTE:
 THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEER'S NOTICE TO PROCEED.



C1
 OF 8 SHEETS

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **First Floor Plan**
Date: **March 10, 2023**
Scale: **As indicated**

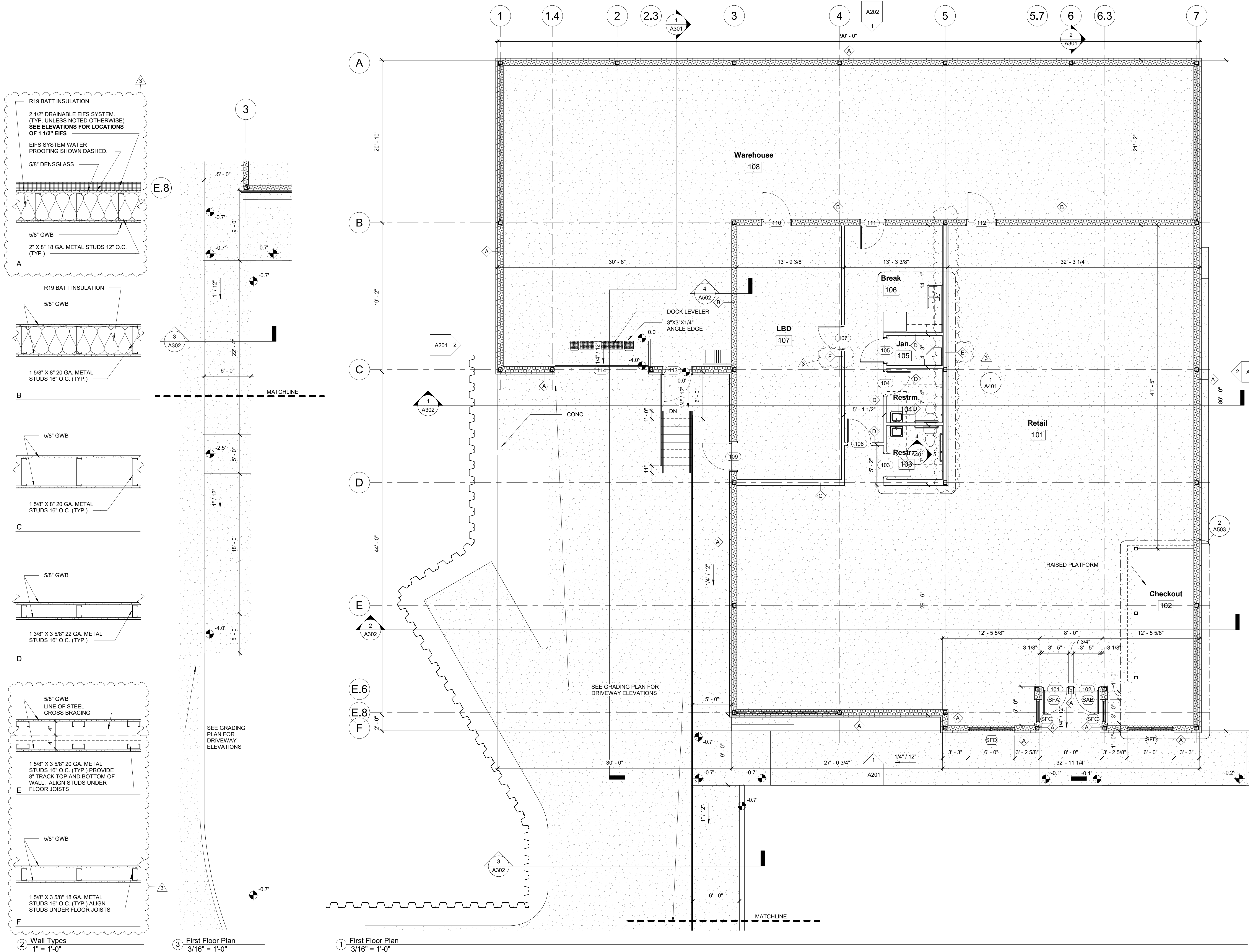
The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

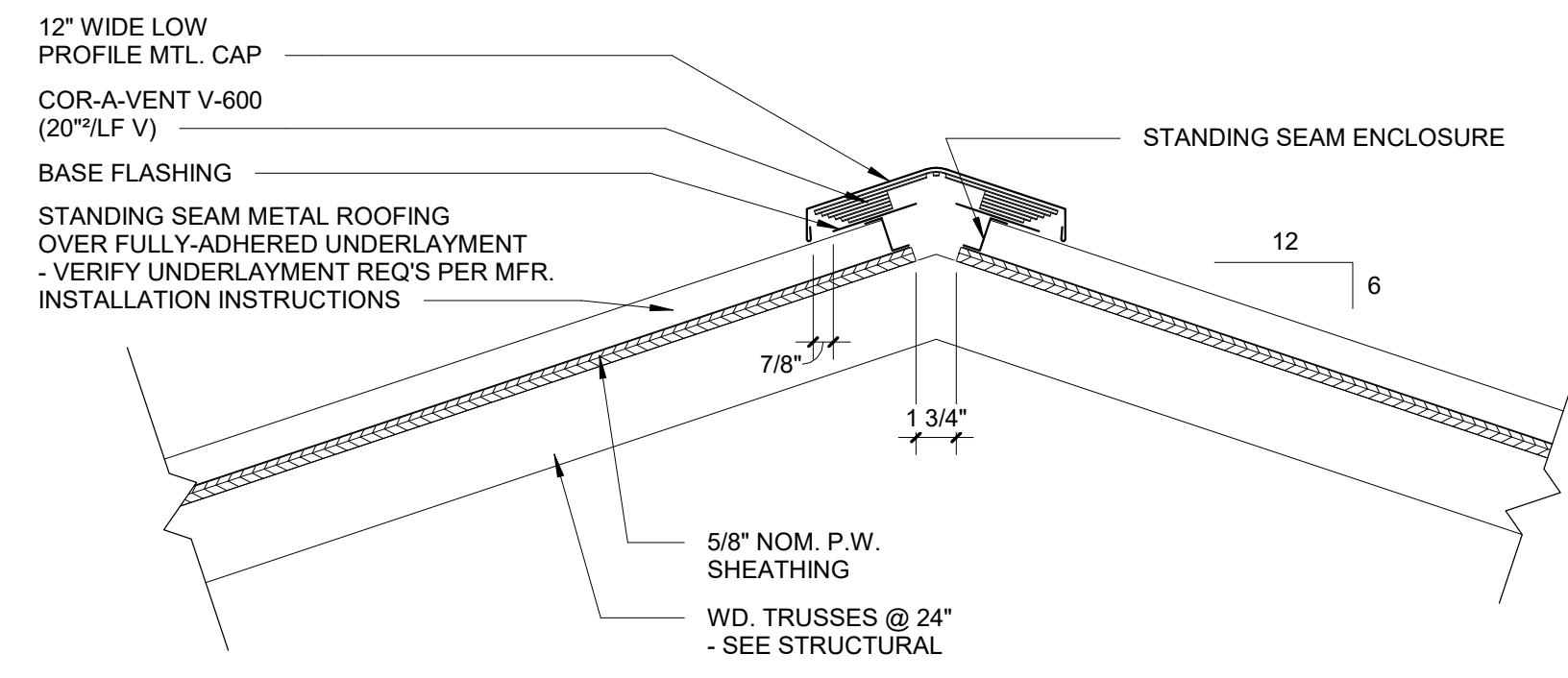


Revisions:

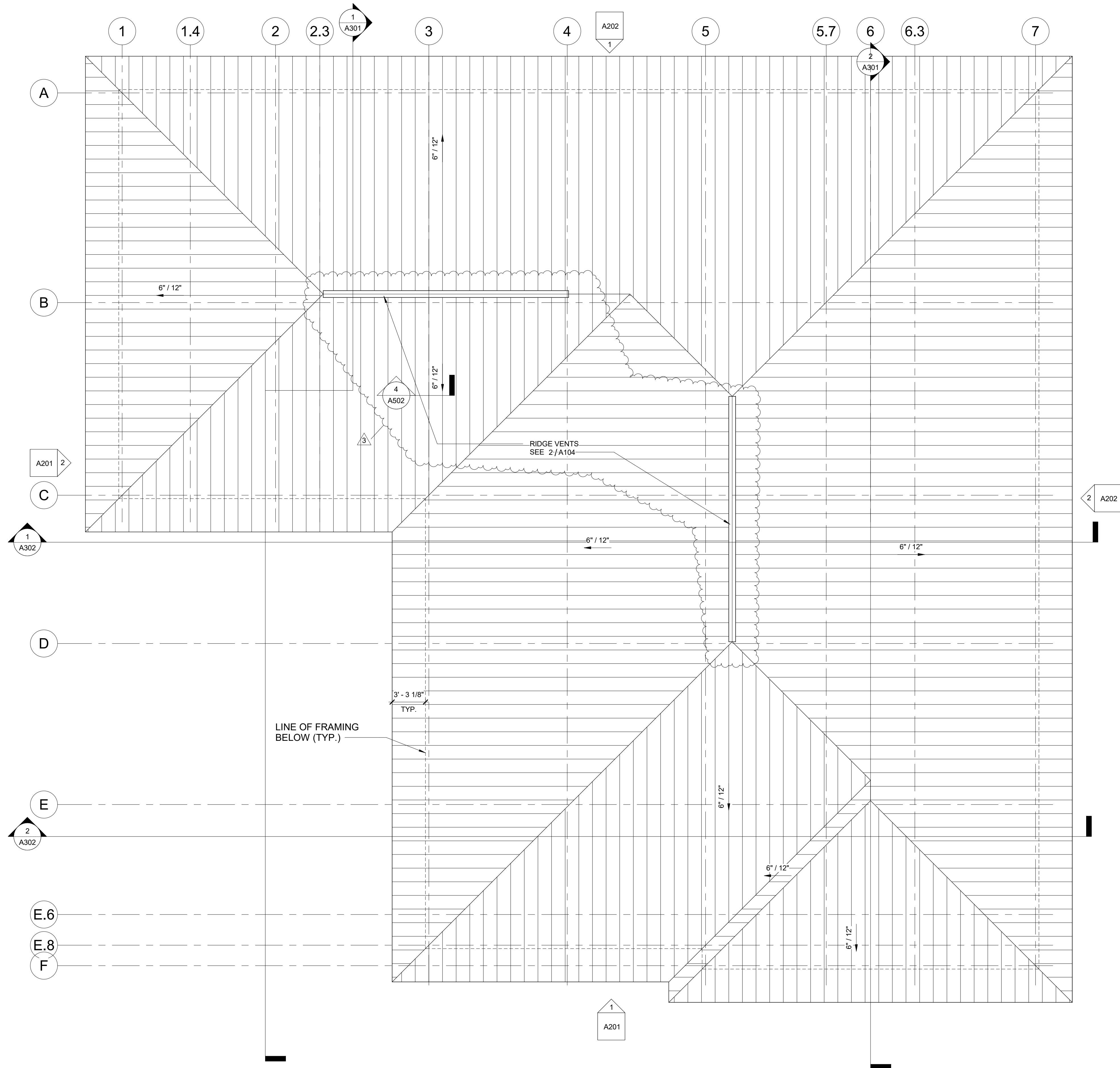
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3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:





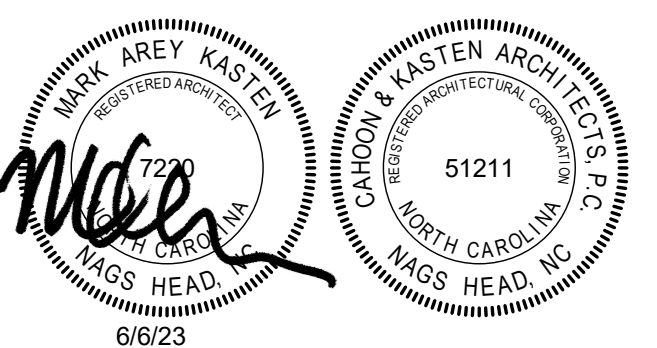
2 Ridge Detail
1 1/2" = 1'-0"



1 Roof Plan
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Roof Plan**
Date: **March 10, 2023**
Scale: **As indicated**

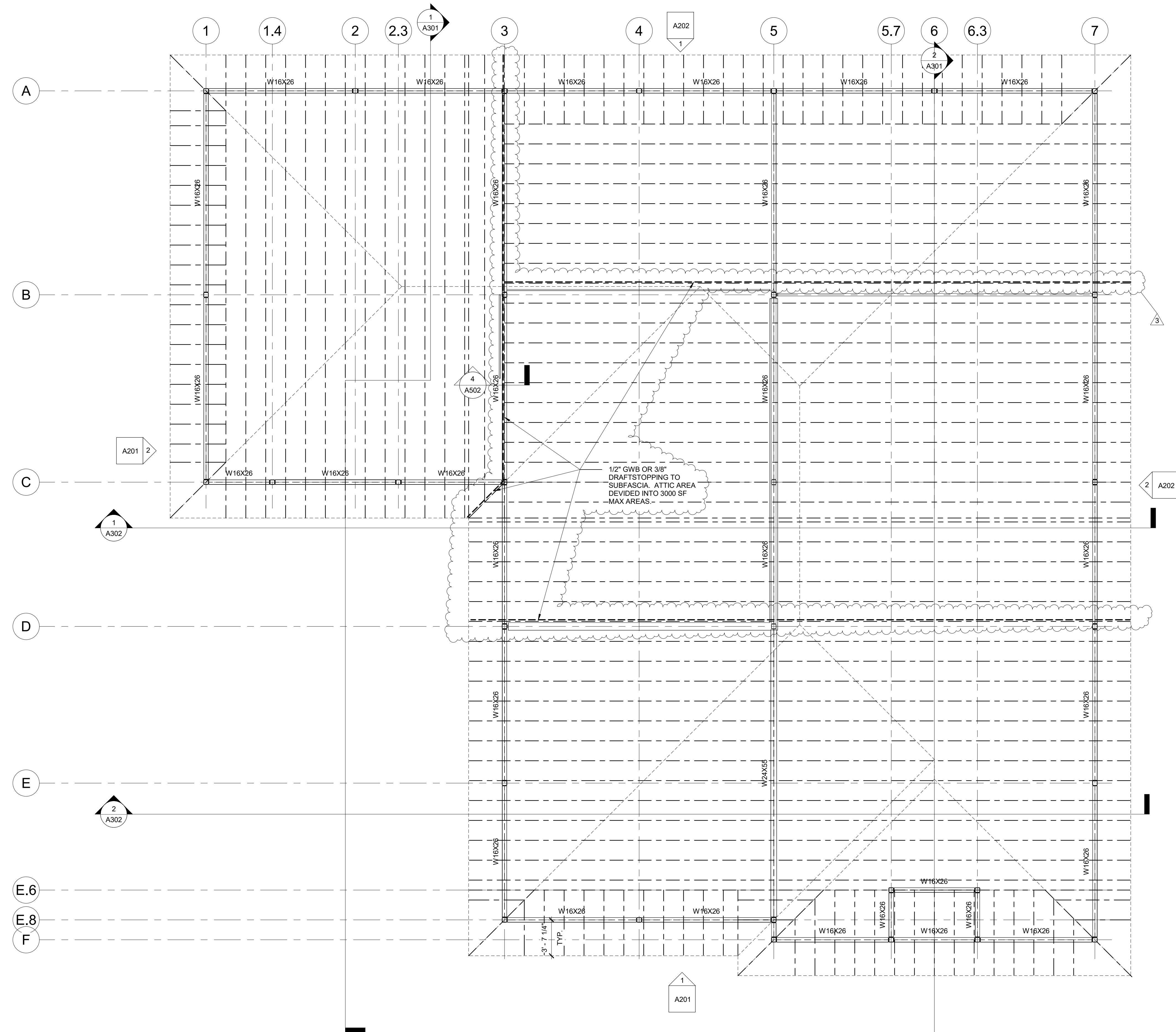
The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date
3	Misc. Add #3	6/6/23

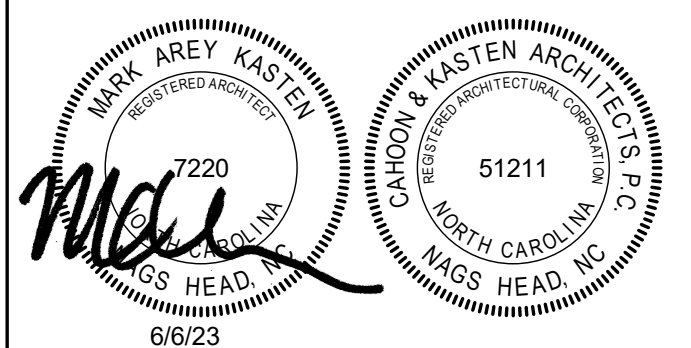
Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:



1 Roof Plan
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Roof Framing Plan**
Date: **March 10, 2023**
Scale: **3/16" = 1'-0"**

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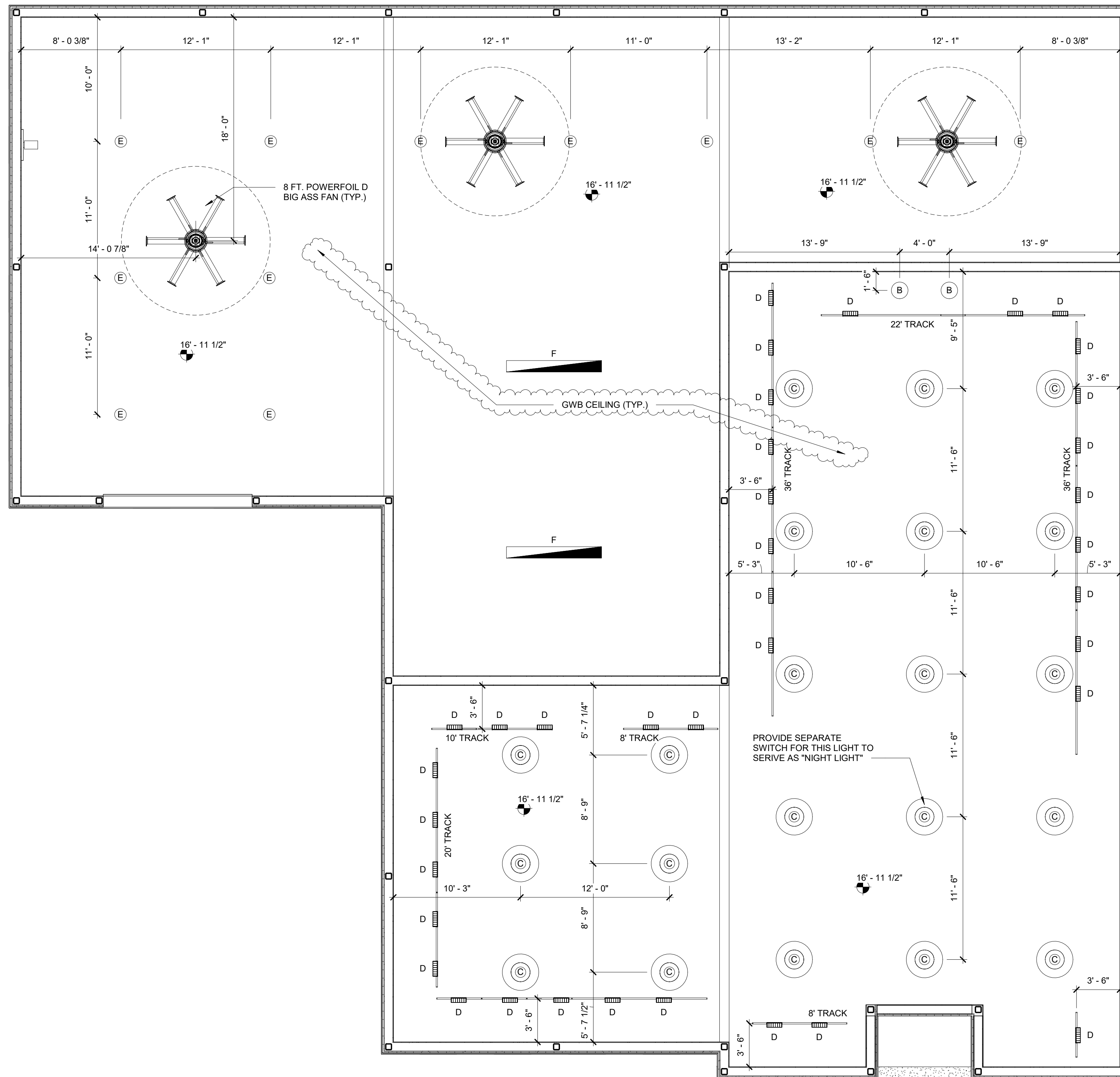


Revisions:

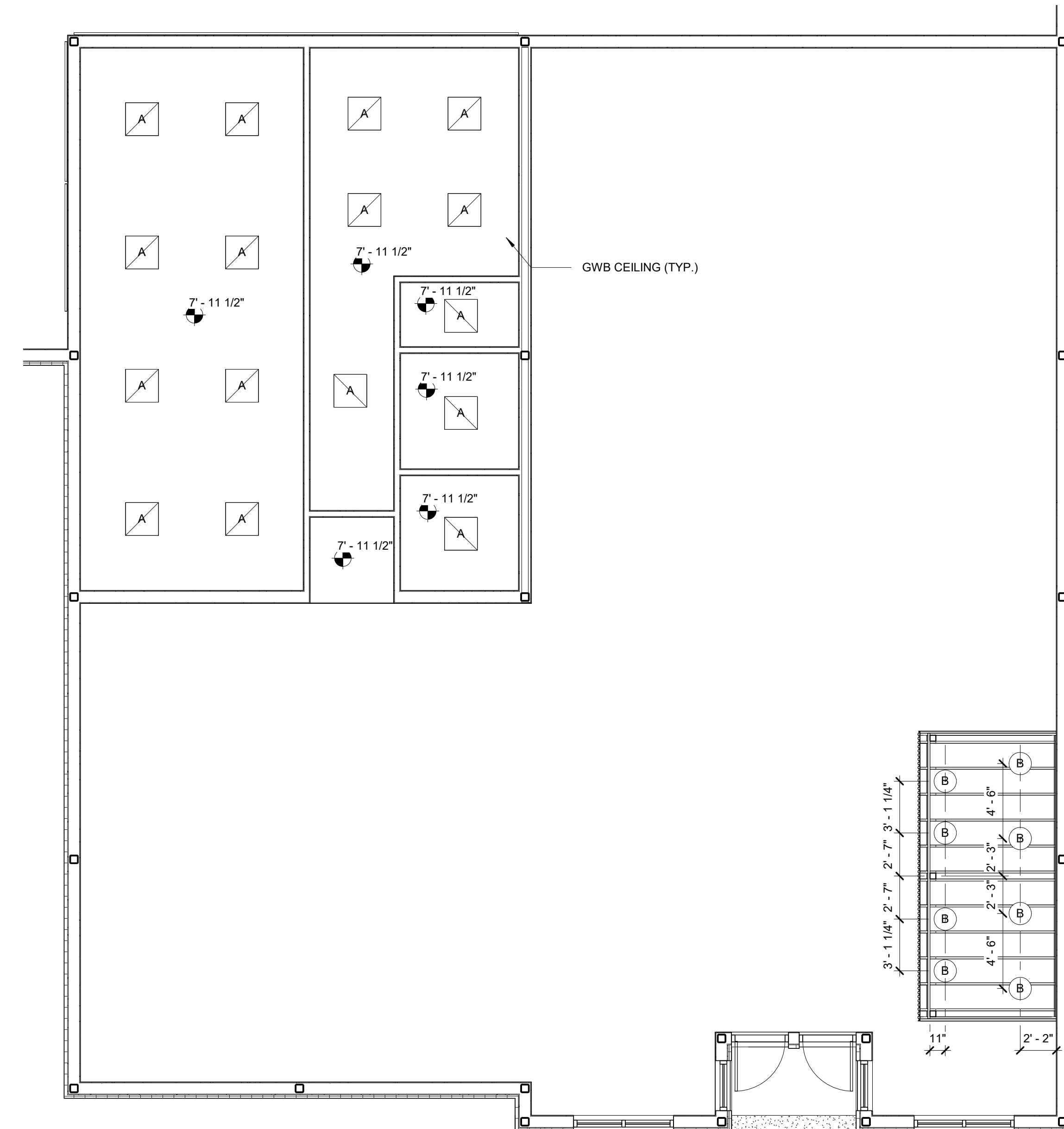
No.	Description	Date
3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A105



2 Second Floor Reflected Ceiling Plan
3/16" = 1'-0"

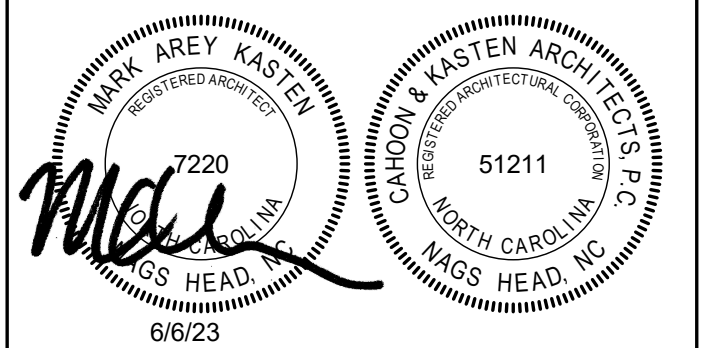


1 First Floor Reflected Ceiling Plan
3/16" = 1'-0"

Lighting Fixture Schedule					
Type Mark	Description	Manufacturer	Model	Wattage	Comments
A	2X2 Surface Mounted LED Flat Panel 4000K	Cooper Lighting	RT Panel	36 W	
B	Classic Vintage Industrial			13 W	Furnished by Others Installed By GC's Electrical Contractor
C	LED Round High Bay w/ Alum. Reflector	E-Cono Light	C-HB-B-RD-14L-UL	100 W	Furnished by Others Installed By GC's Electrical Contractor
D	Wall Washer	Juno		30 W	Furnished by Others Installed By GC's Electrical Contractor
E	LED Round High Bay	E-Cono Light	C-HB-B-RD-20L-UL	150 W	Furnished by Others Installed By GC's Electrical Contractor
F	LED Linear Bay Lighting System	Cooper Lighting	Industrial LED Linear Bay	63 W	

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **Reflected Ceiling Plans**
Date: **March 10, 2023**
Scale: **3/16" = 1'-0"**

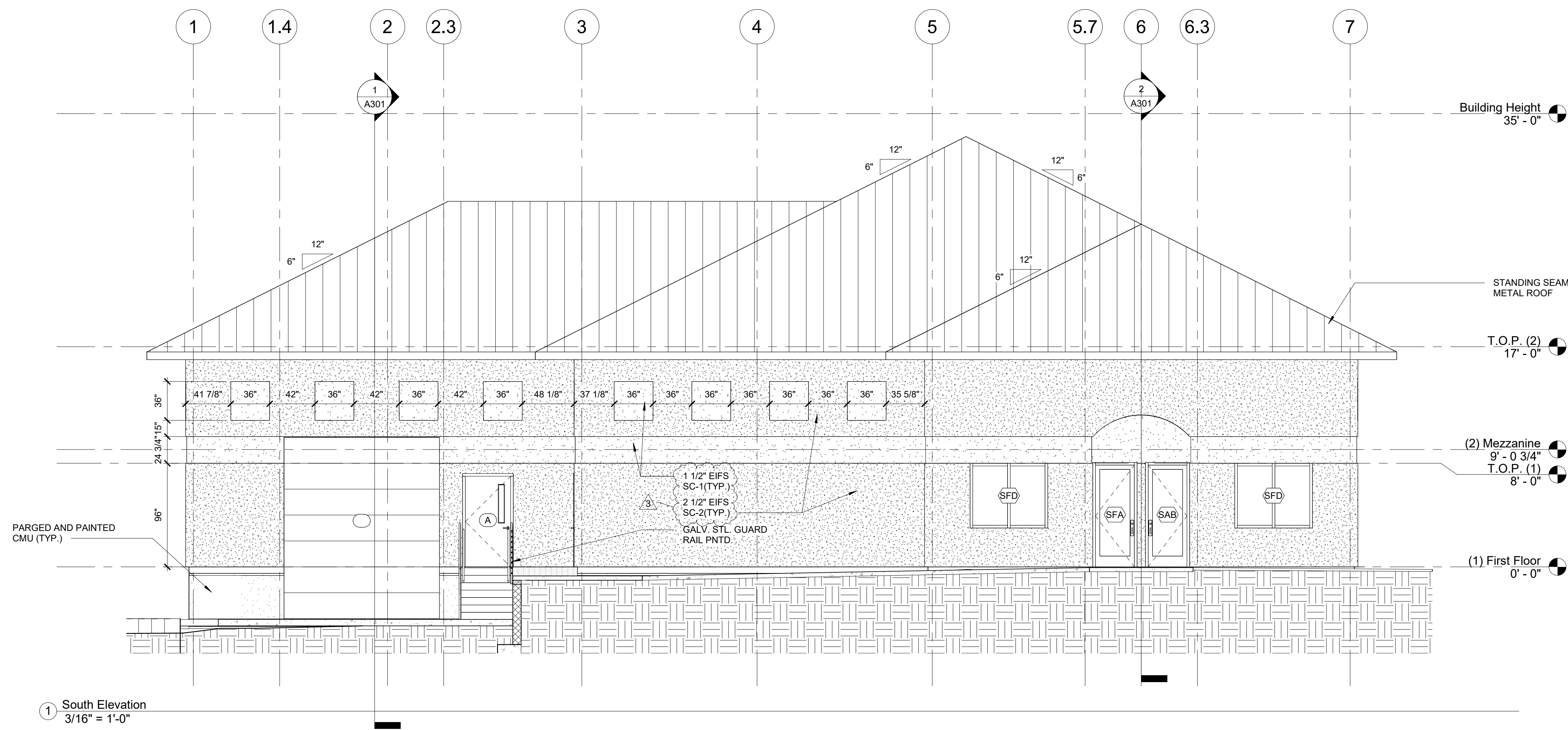
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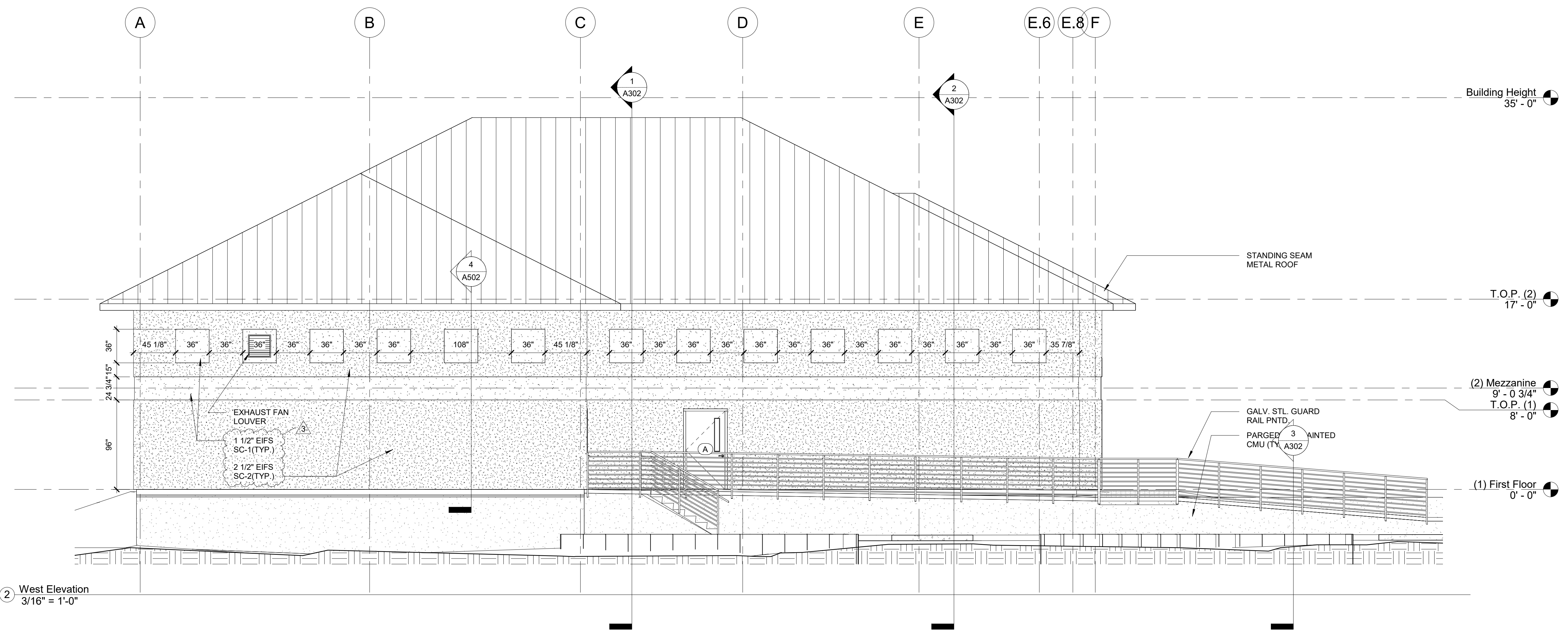
Revisions:

No.	Description	Date
3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File: **A106**



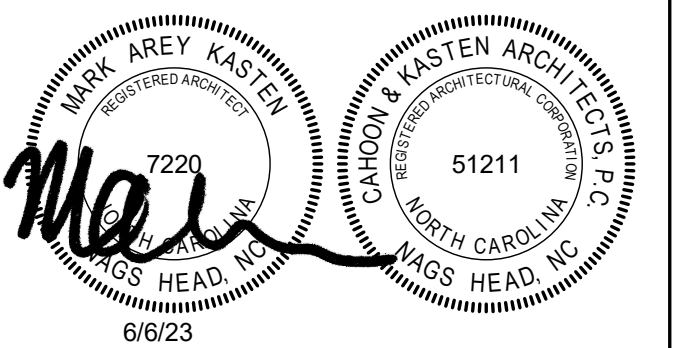
1 South Elevation
3/16" = 1'-0"



2 West Elevation
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Elevations**
Date: **March 10, 2023**
Scale: **3/16" = 1'-0"**

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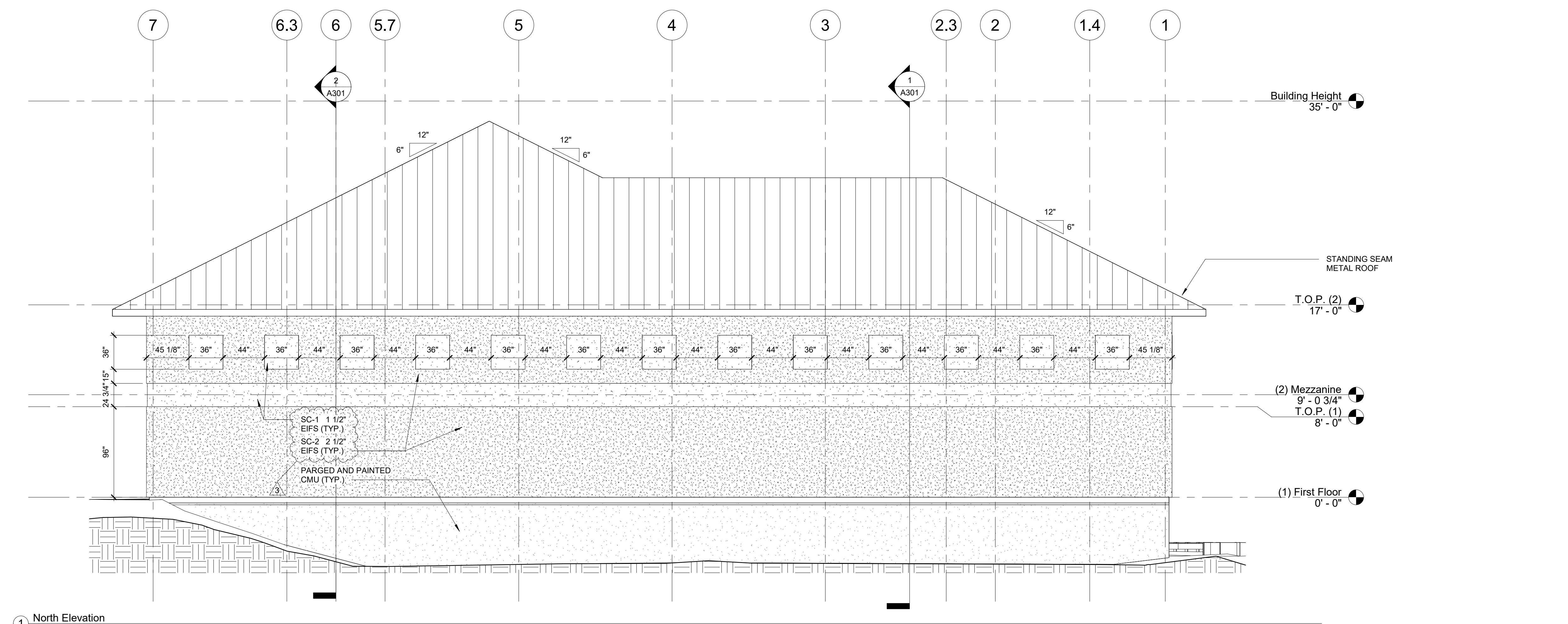


Revisions:

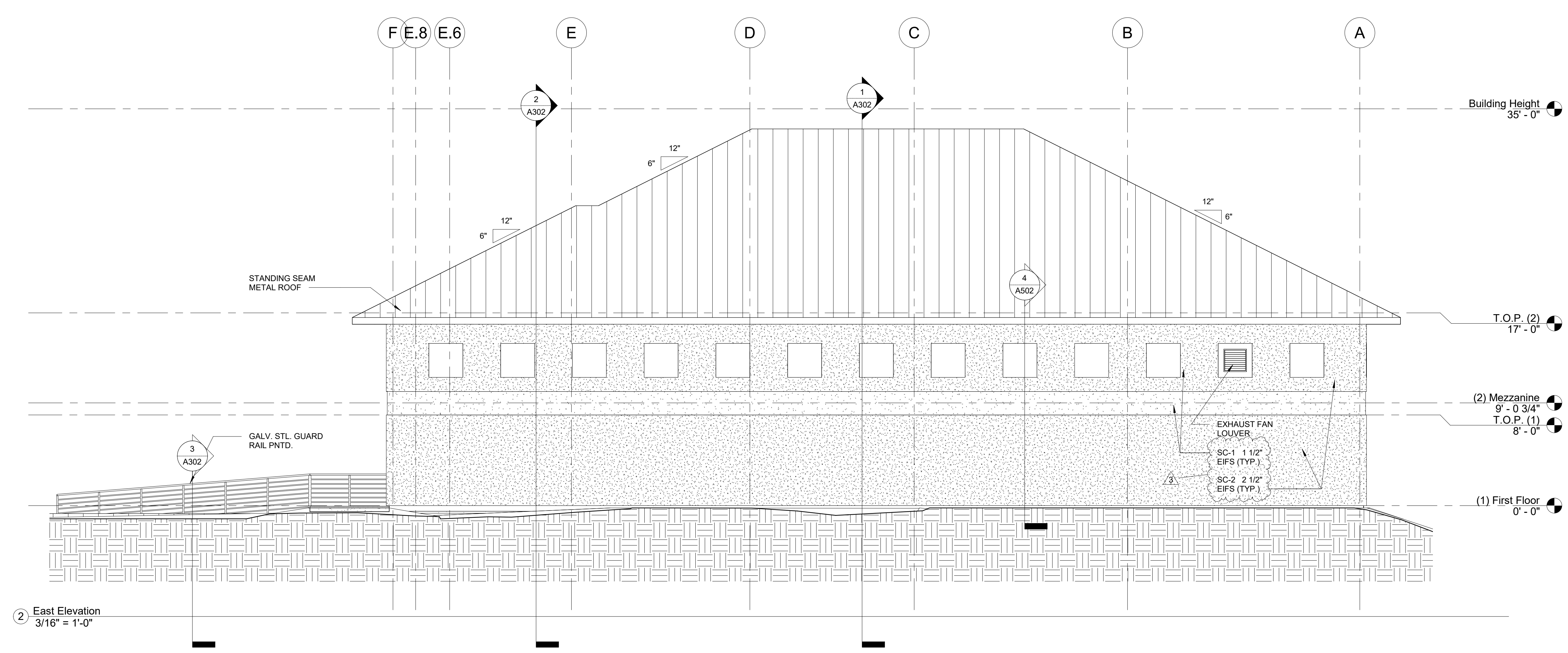
No.	Description	Date
3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A201



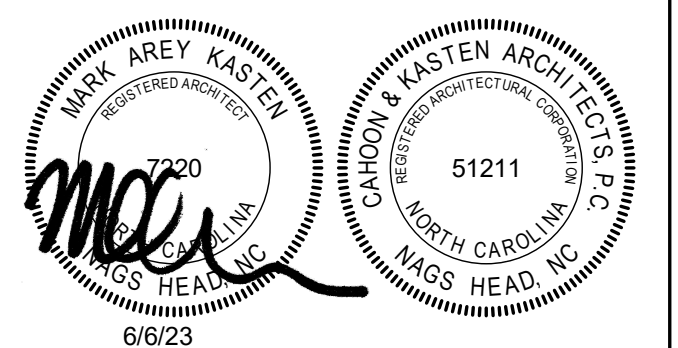
1 North Elevation
3/16" = 1'-0"



2 East Elevation
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Elevations**
Date: **March 10, 2023**
Scale: **3/16" = 1'-0"**

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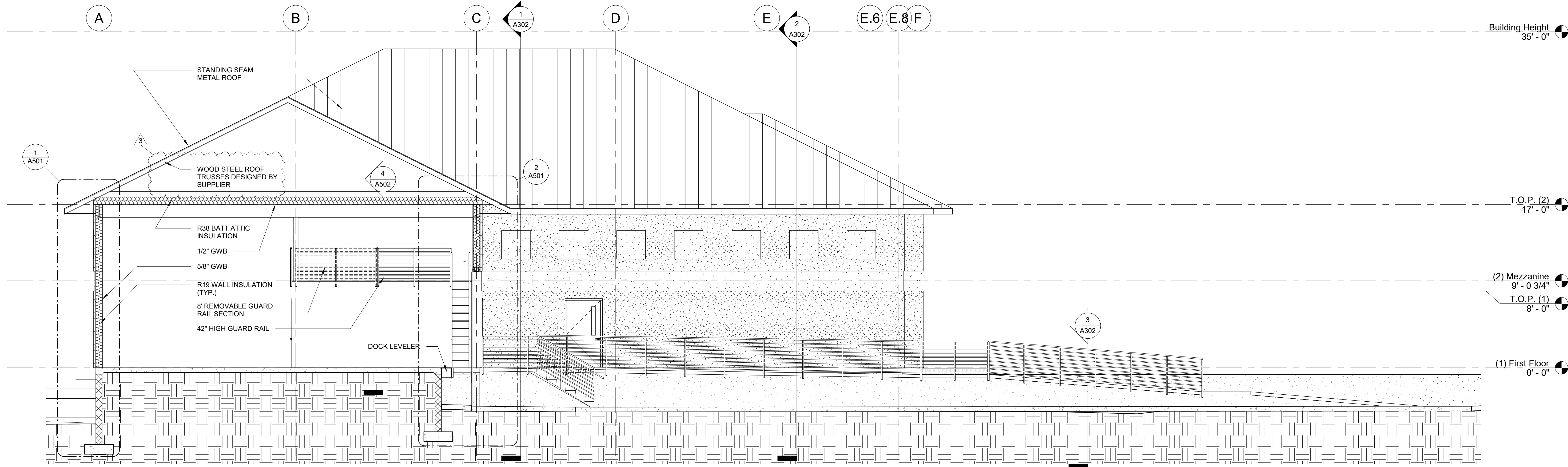


Revisions:

No.	Description	Date
3	Misc. Add #3	6/6/23

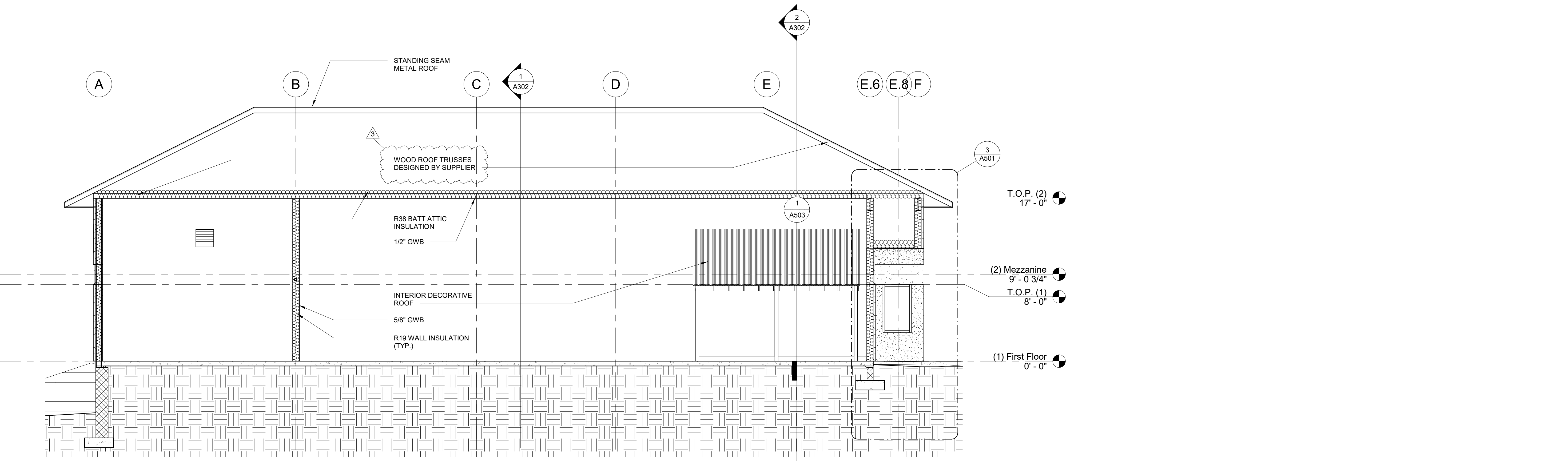
Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A202



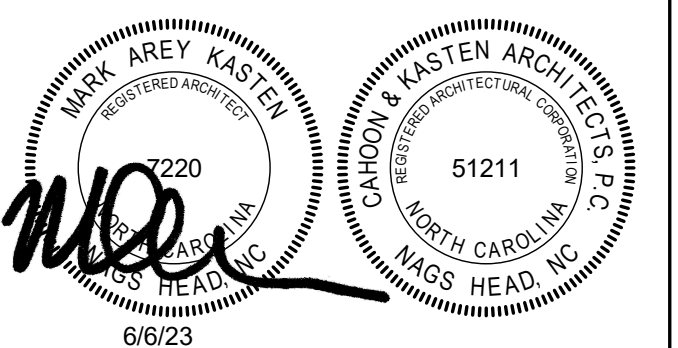
1 Section 1
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Building Sections**
Date: **March 10, 2023**
Scale: **3/16" = 1'-0"**



2 Section 2
3/16" = 1'-0"

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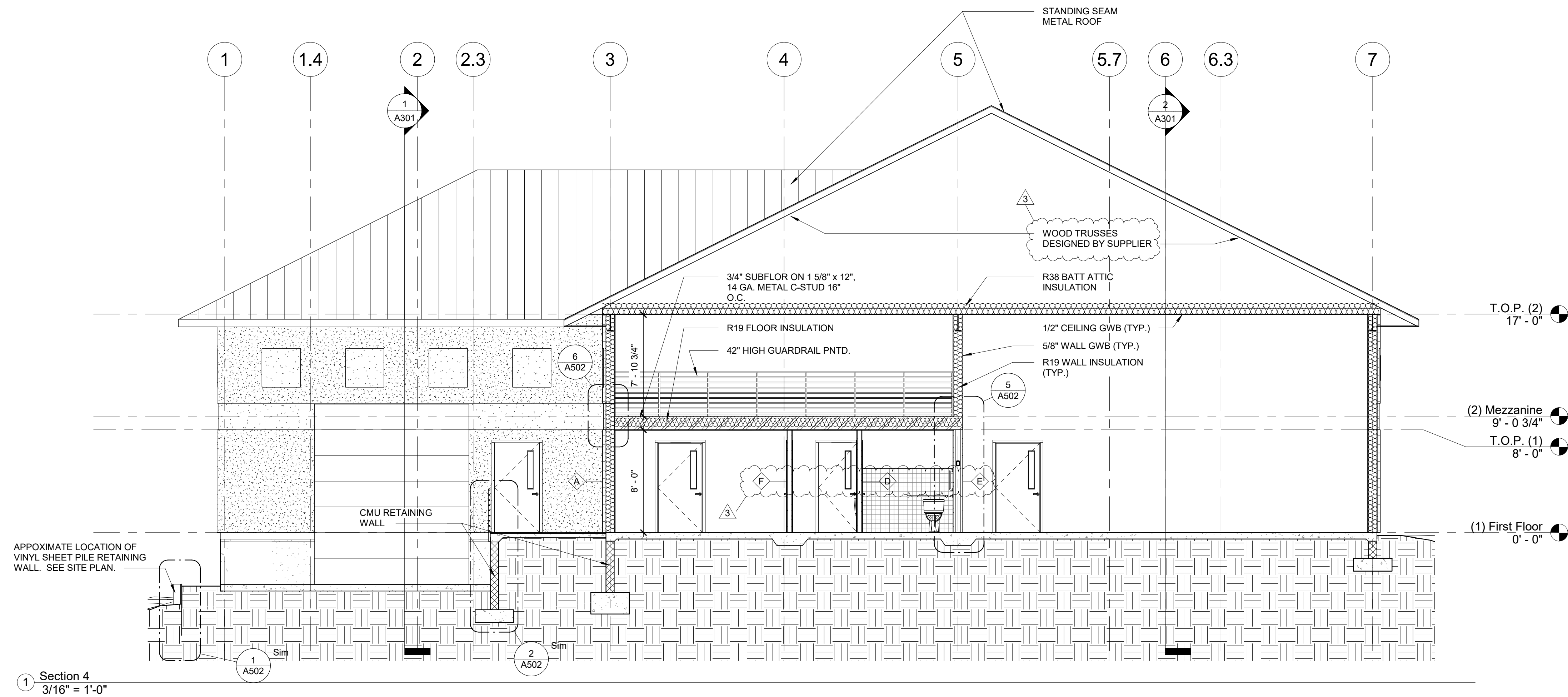


Revisions:

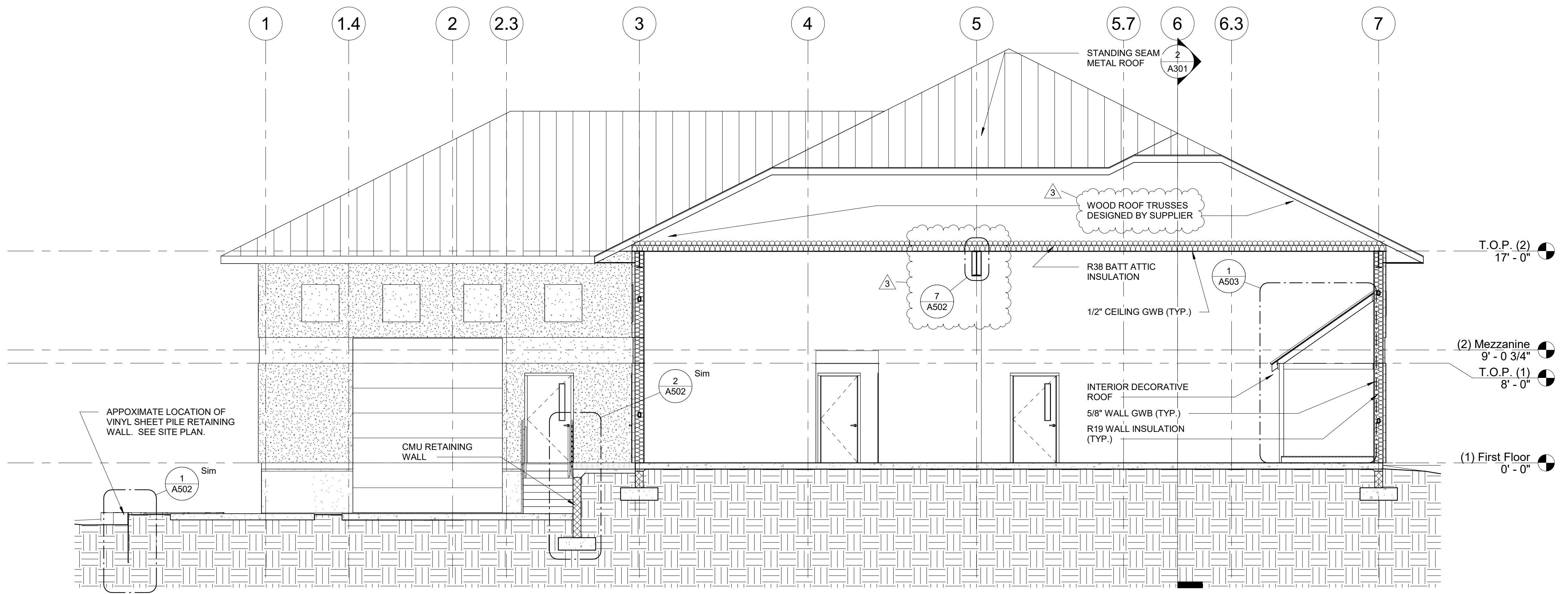
No.	Description	Date
3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

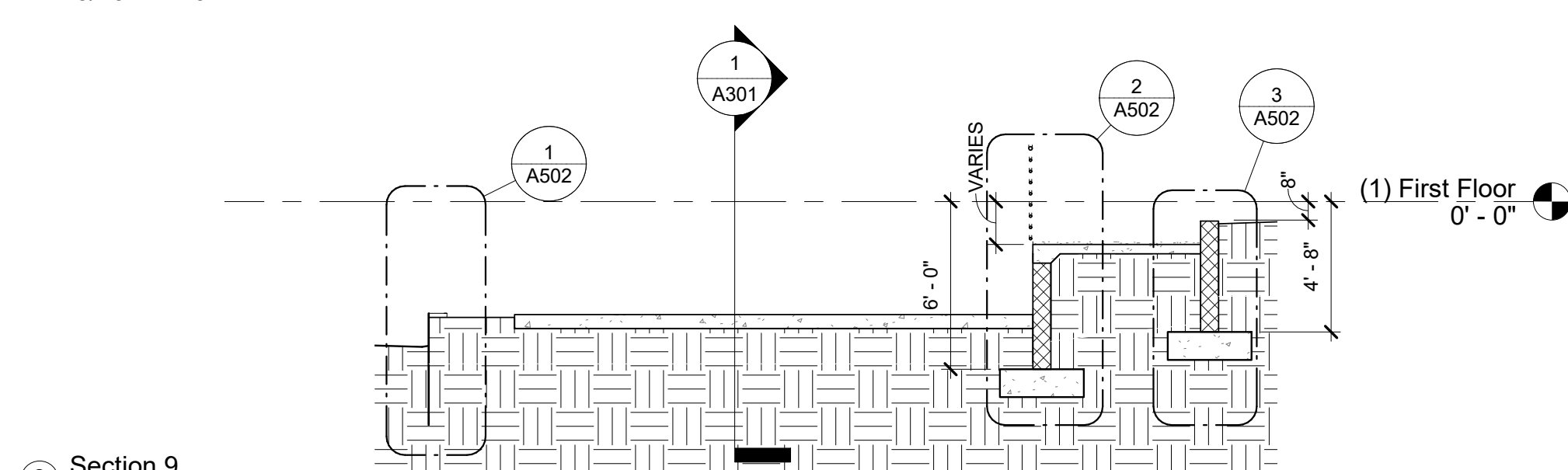
A301



Section 4
3/16" = 1'-0"



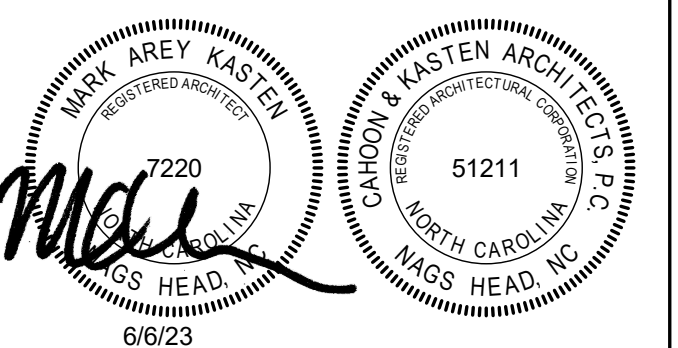
Section 8
3/16" = 1'-0"



Section 9
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Building Sections**
Date: **March 10, 2023**
Scale: **3/16" = 1'-0"**

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Revisions:

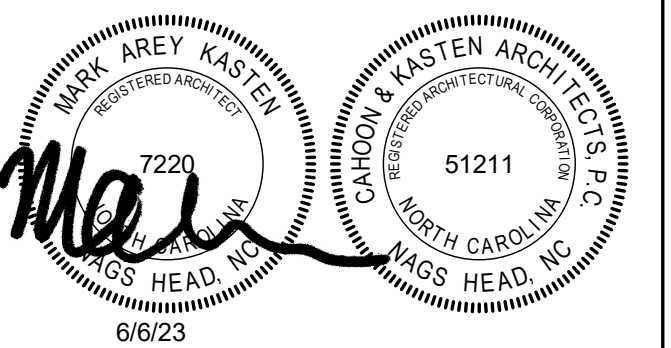
No.	Description	Date
3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A302

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Interior Elevations**
Date: **March 10, 2023**
Scale: **As indicated**

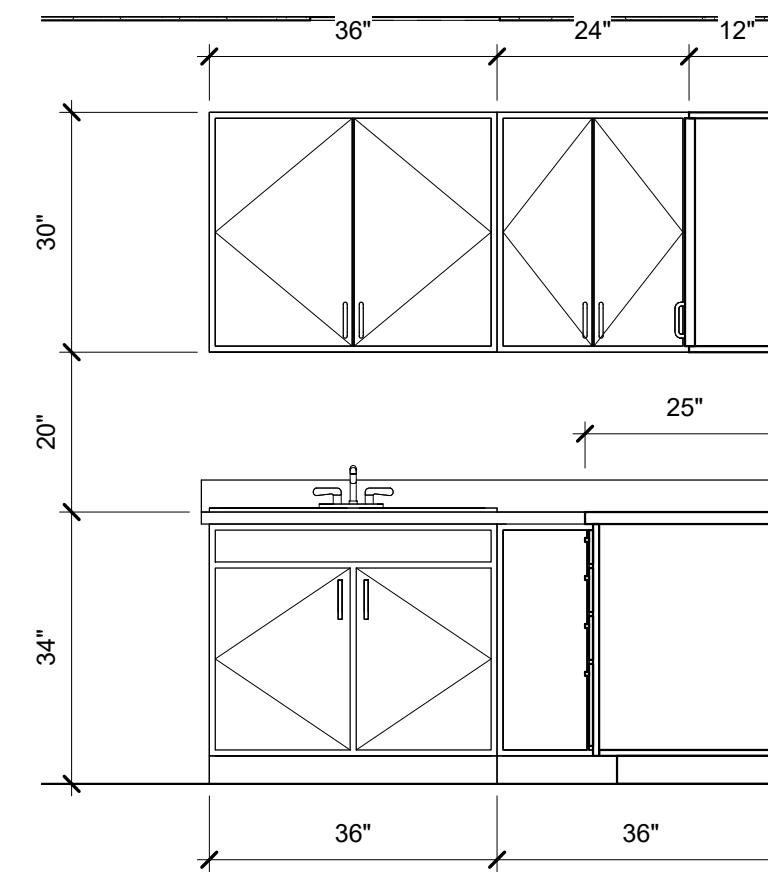
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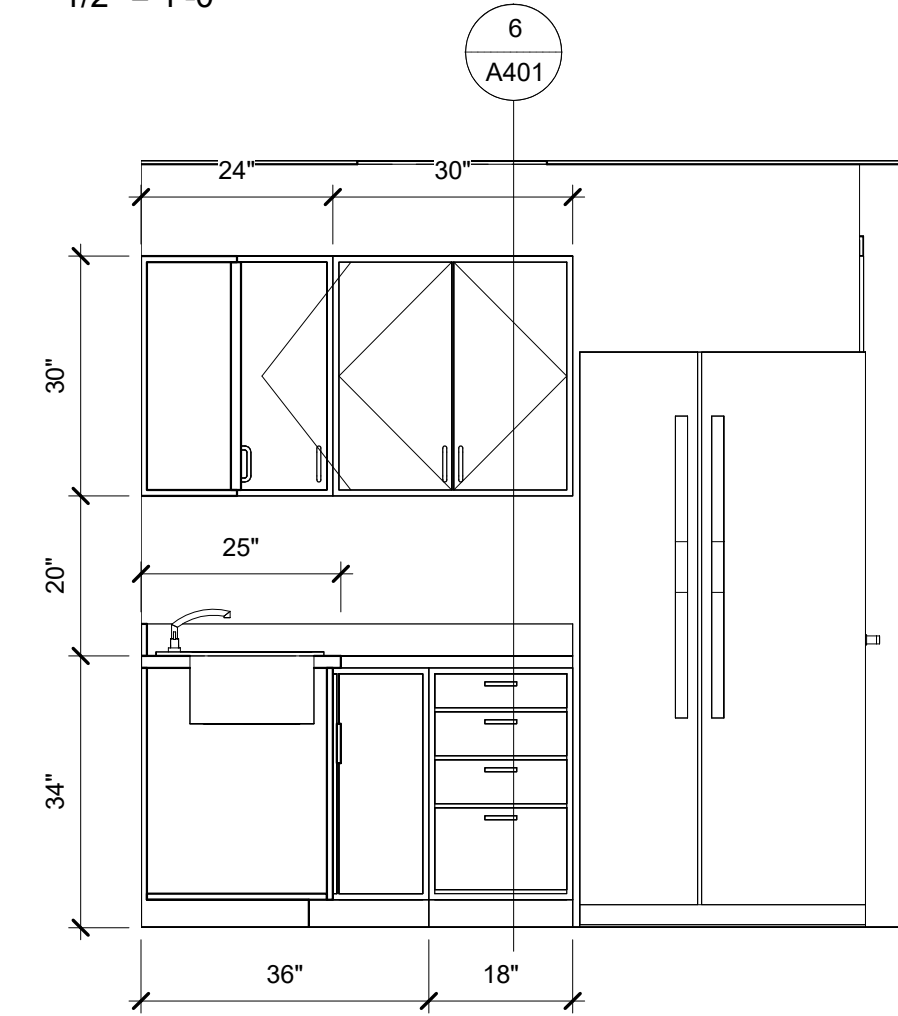
Revisions:

No.	Description	Date
3	Misc. Add #3	6/6/23

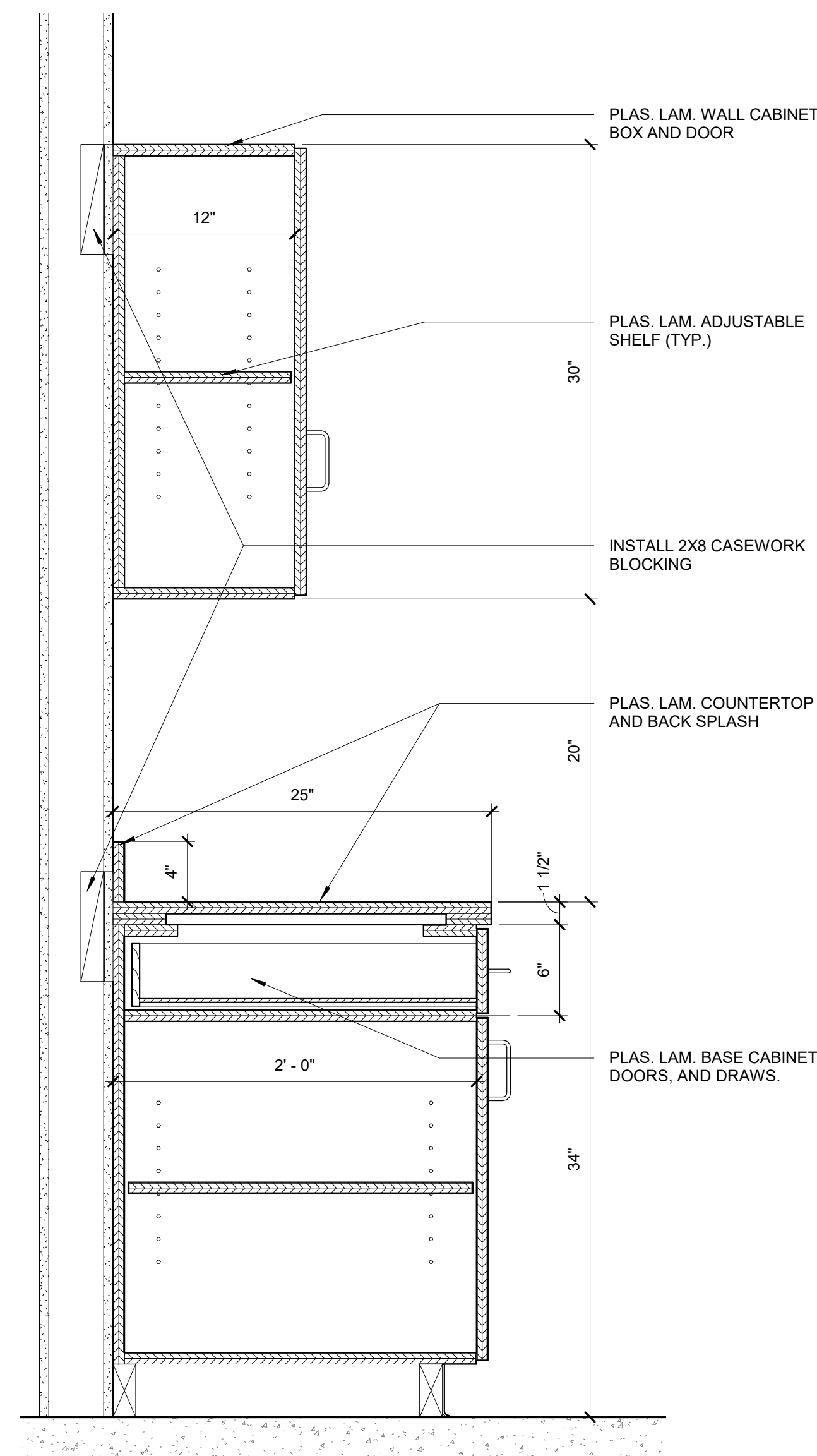
Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File: **A401**



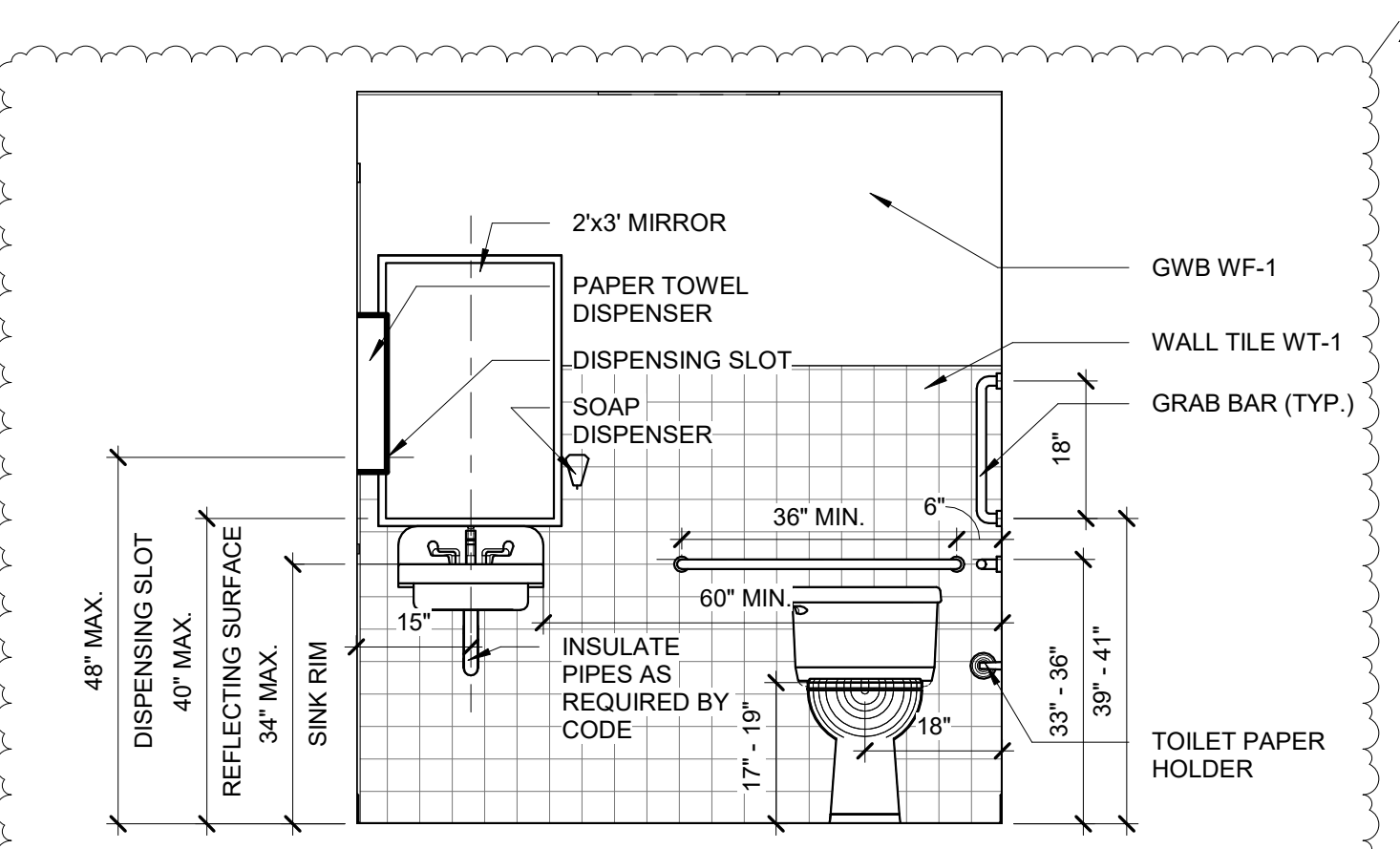
2 Breakroom Casework Elevation A
1/2" = 1'-0"



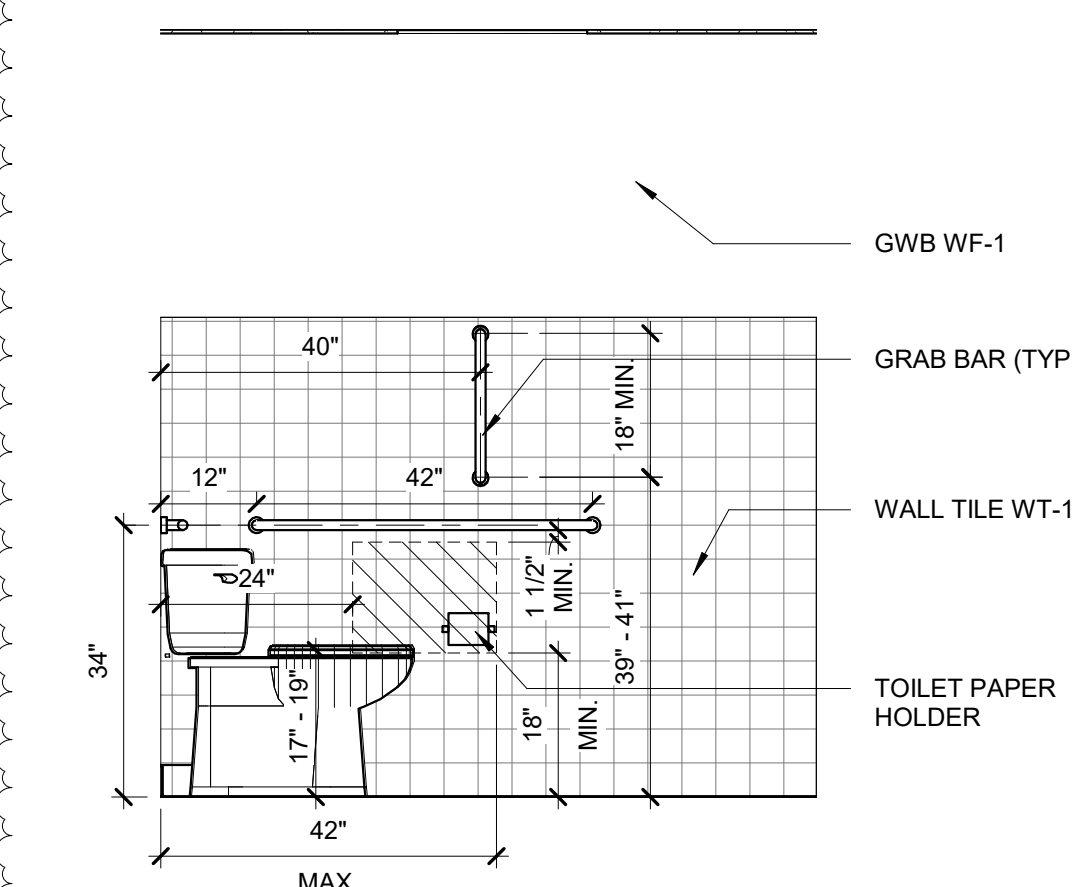
3 Breakroom Casework Elevation B
1/2" = 1'-0"



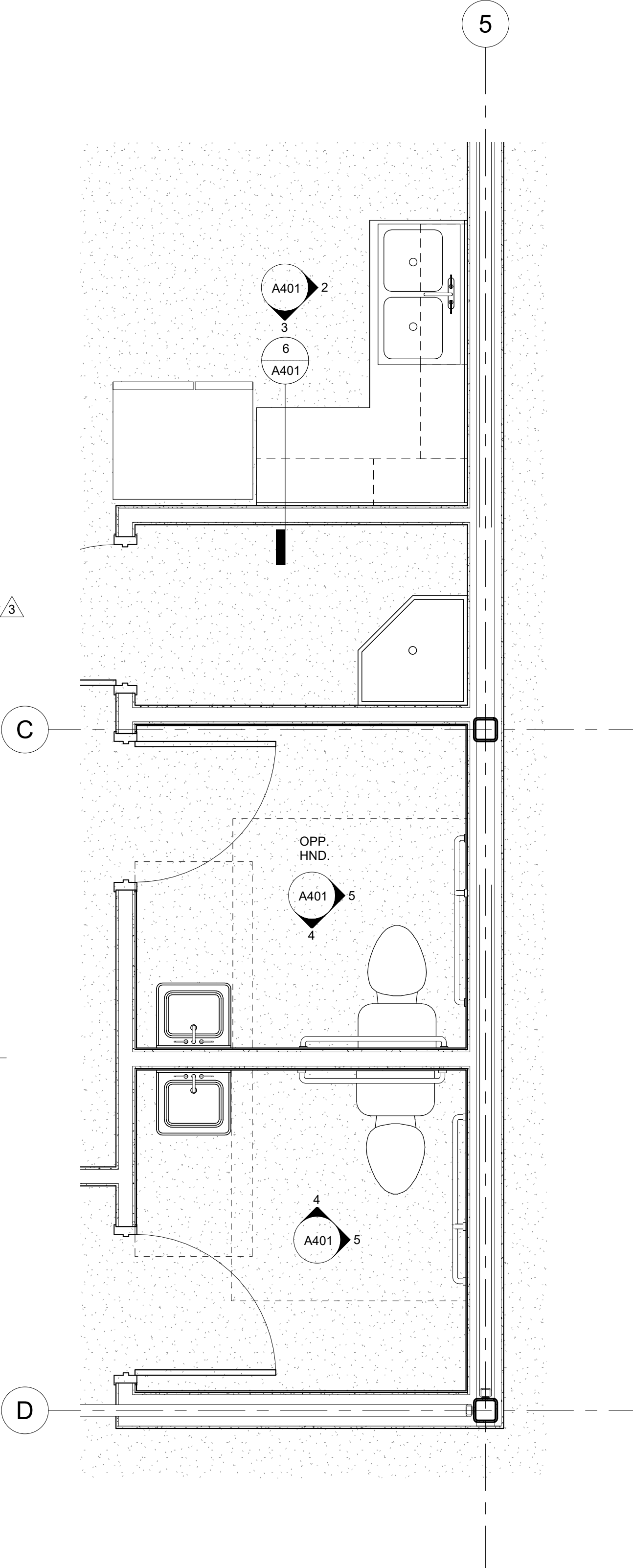
6 Type Casework Detail
1 1/2" = 1'-0"



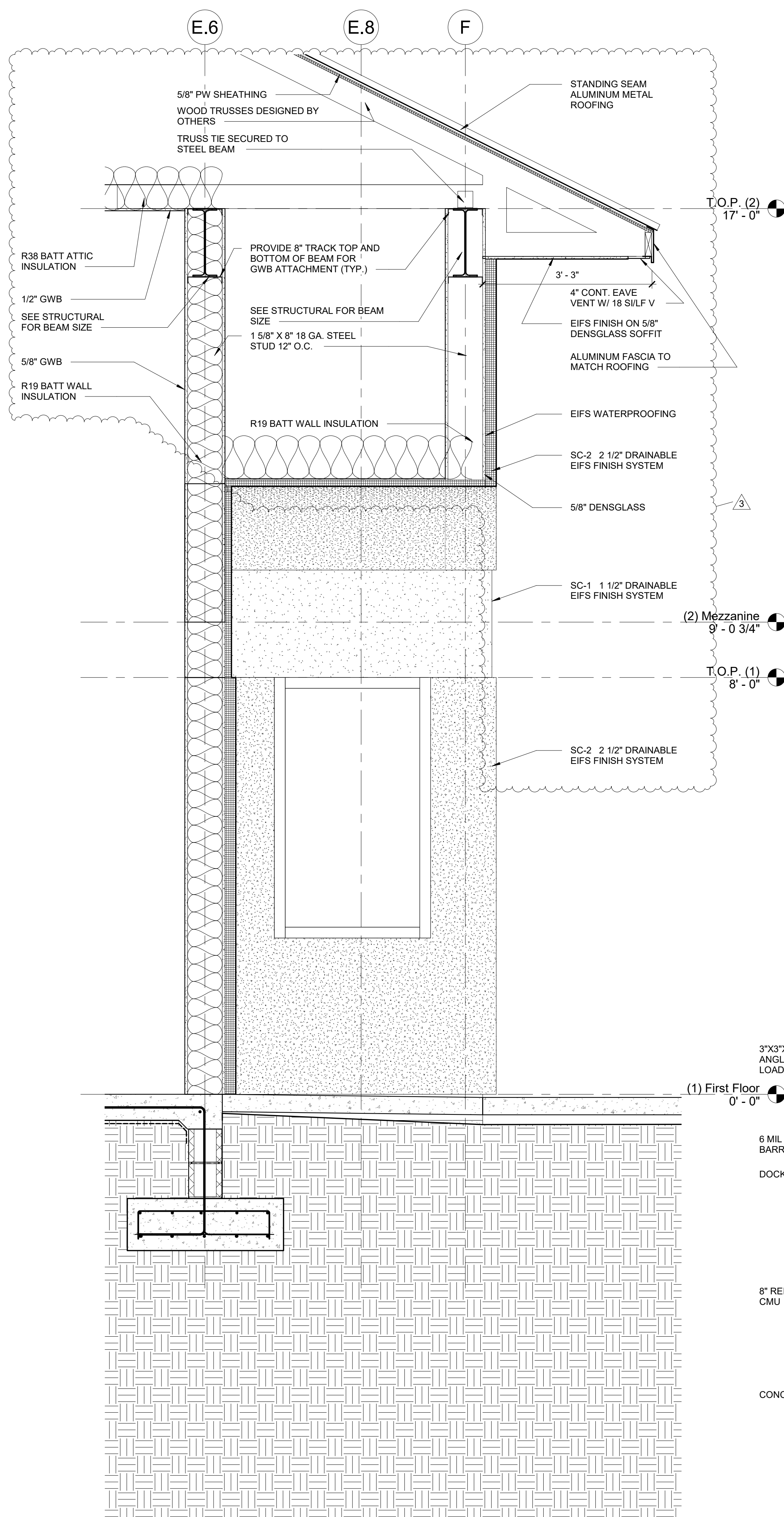
4 Toilet Elevation Front
1/2" = 1'-0"



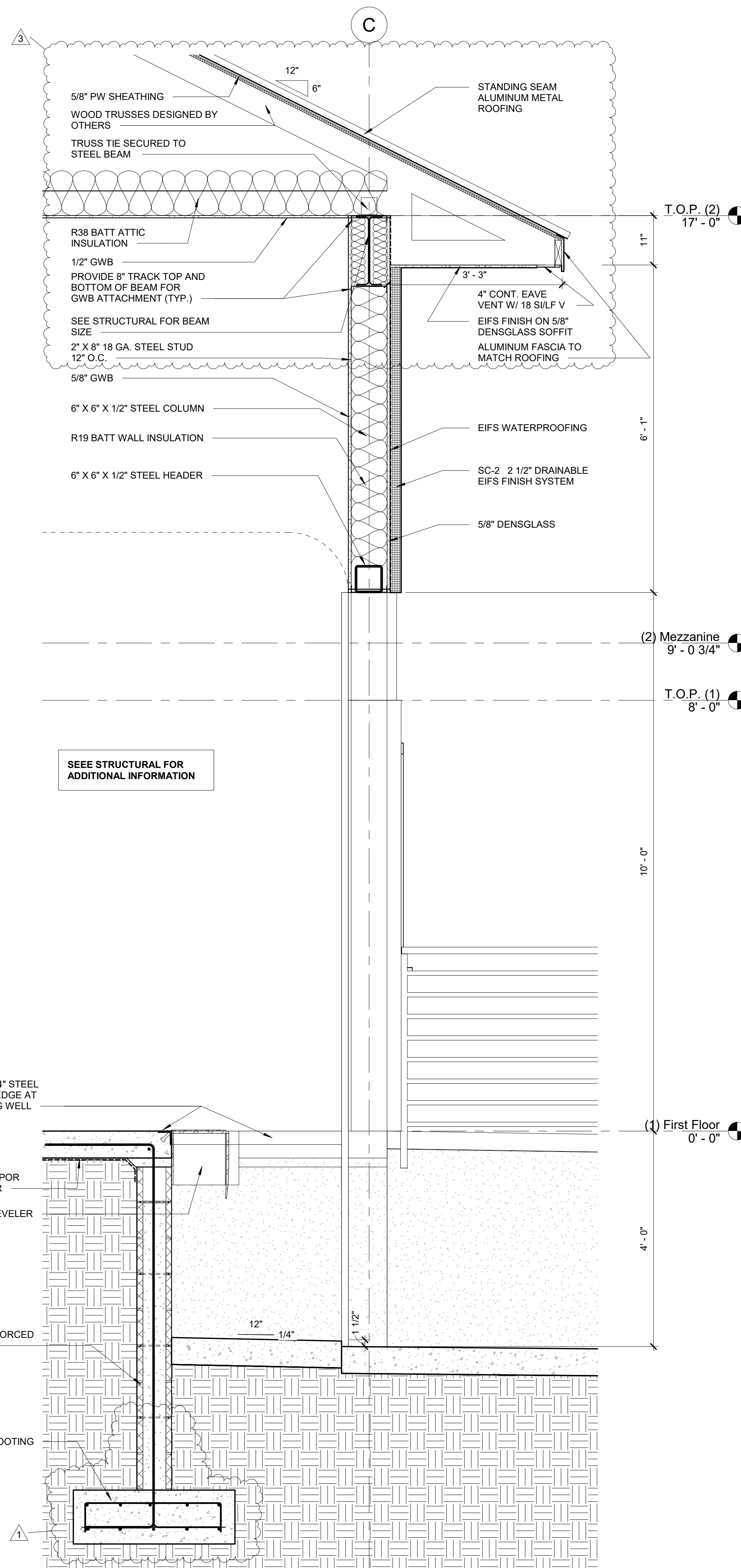
5 Toilet Elevation Side
1/2" = 1'-0"



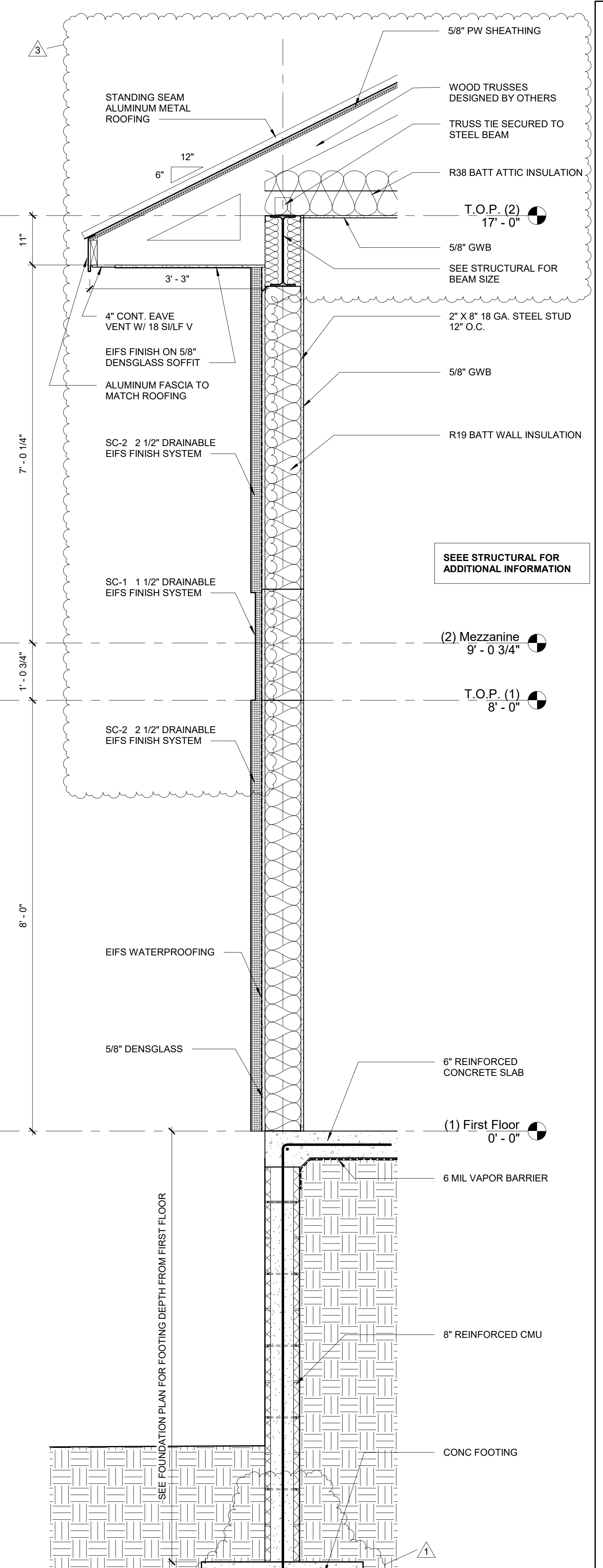
1 (1) First Floor - Callout 1
1/2" = 1'-0"



3 Wall Section B
3/4" = 1'-0"



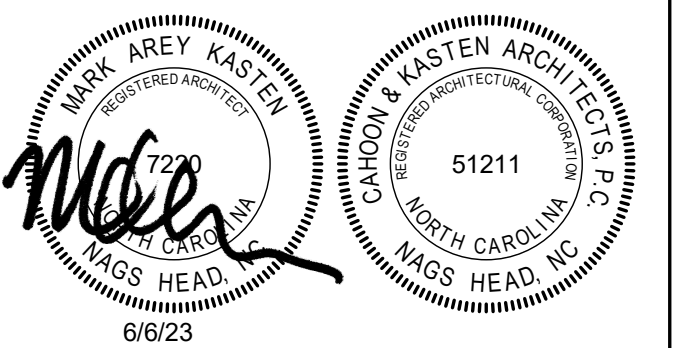
2 Wall Section A
3/4" = 1'-0"



1 Typical Wall Section
3/4" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **Wall Sections**
Date: **March 10, 2023**
Scale: **3/4" = 1'-0"**

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Revisions:

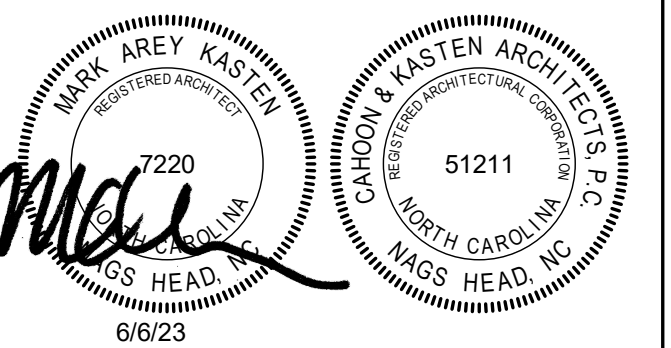
No.	Description	Date
1	Structural Footing Rvisions	5/19/23
3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A501

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **Wall Sections**
Date: **March 10, 2023**
Scale: **3/4" = 1'-0"**

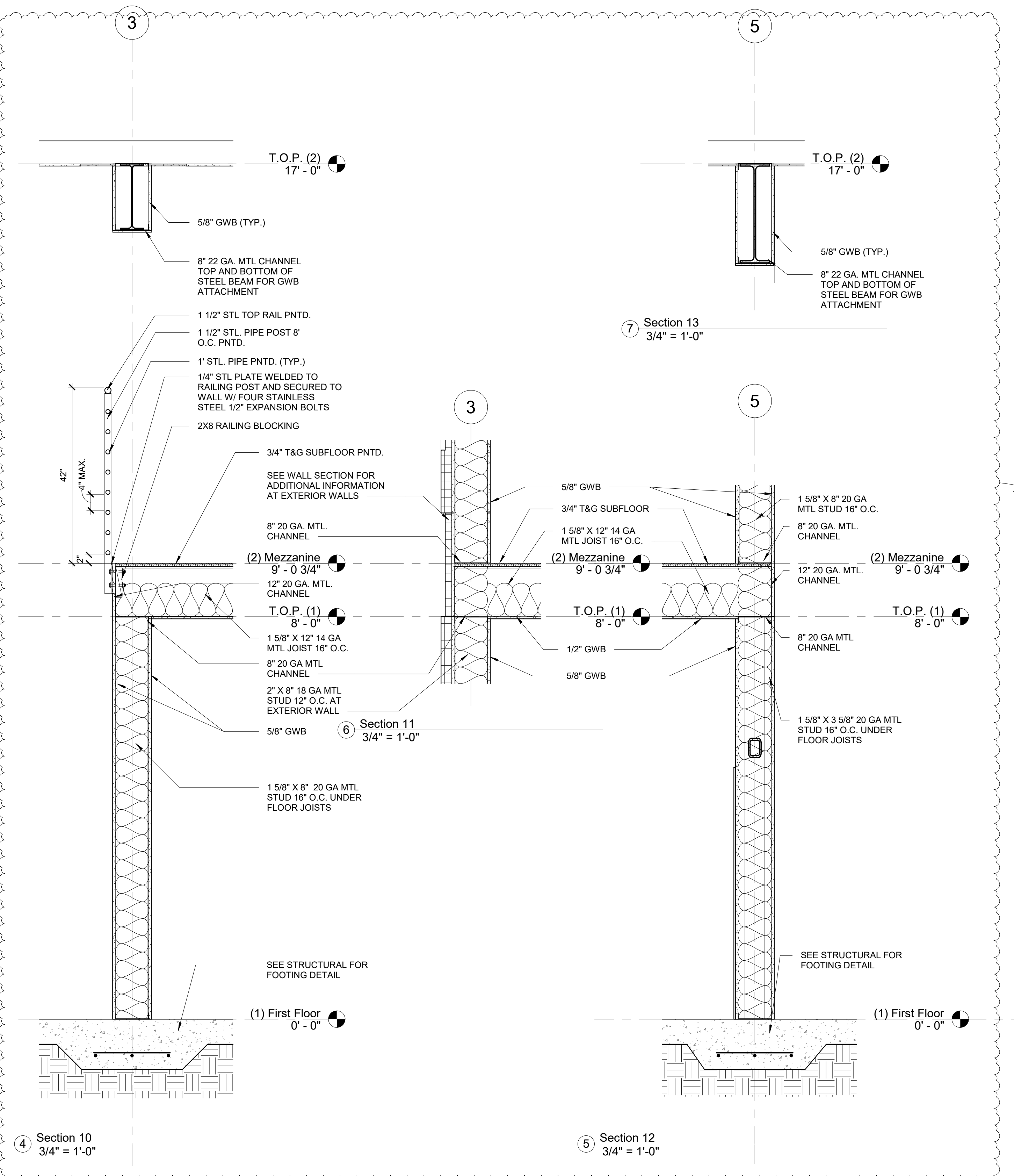
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Revisions:

No.	Description	Date
3	Misc. Add #3	6/6/23

Designed: Designer
Drawn: Author
Reviewed: Checker
Cad File: **A502**

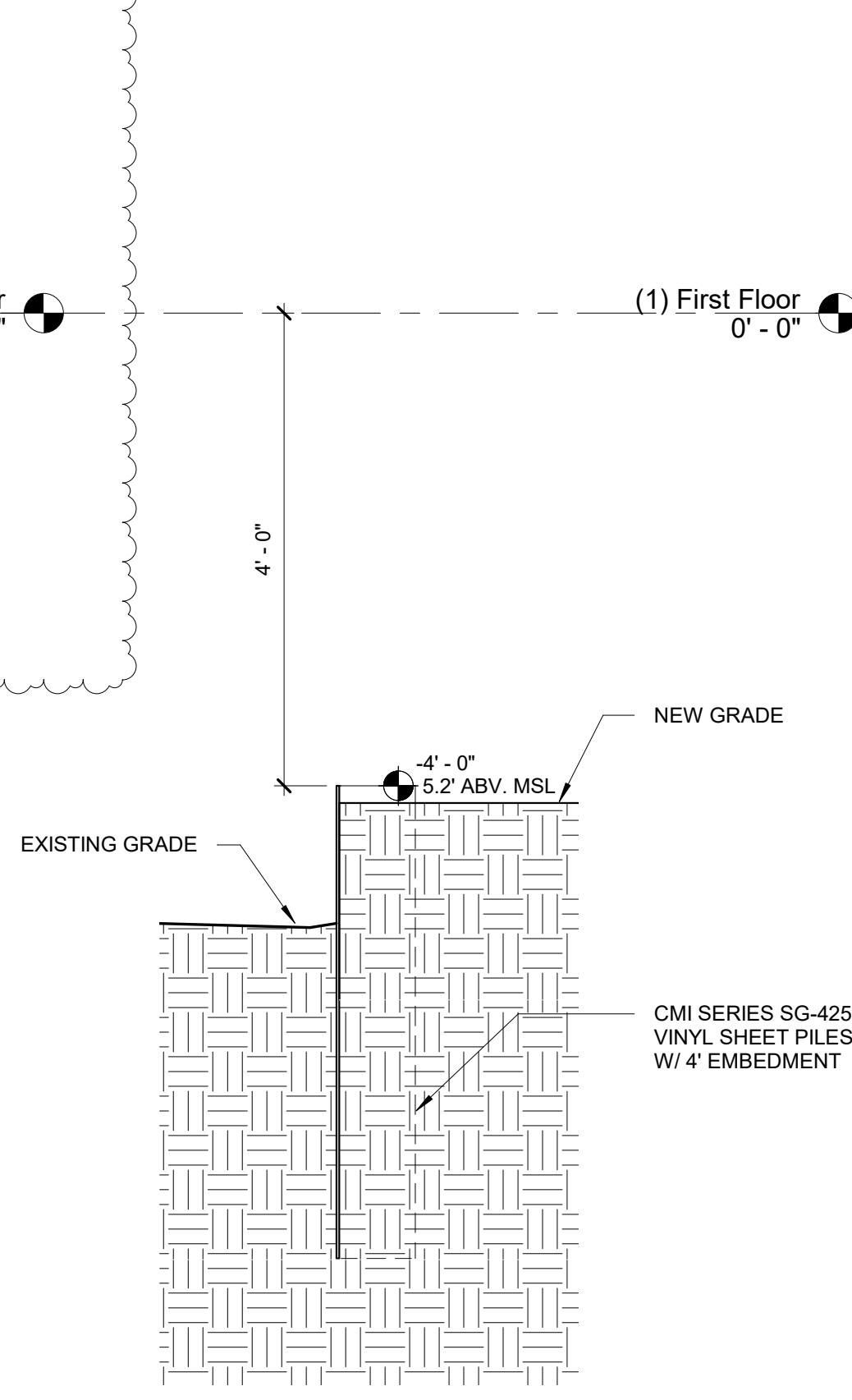


4 Section 10
3/4" = 1'-0"

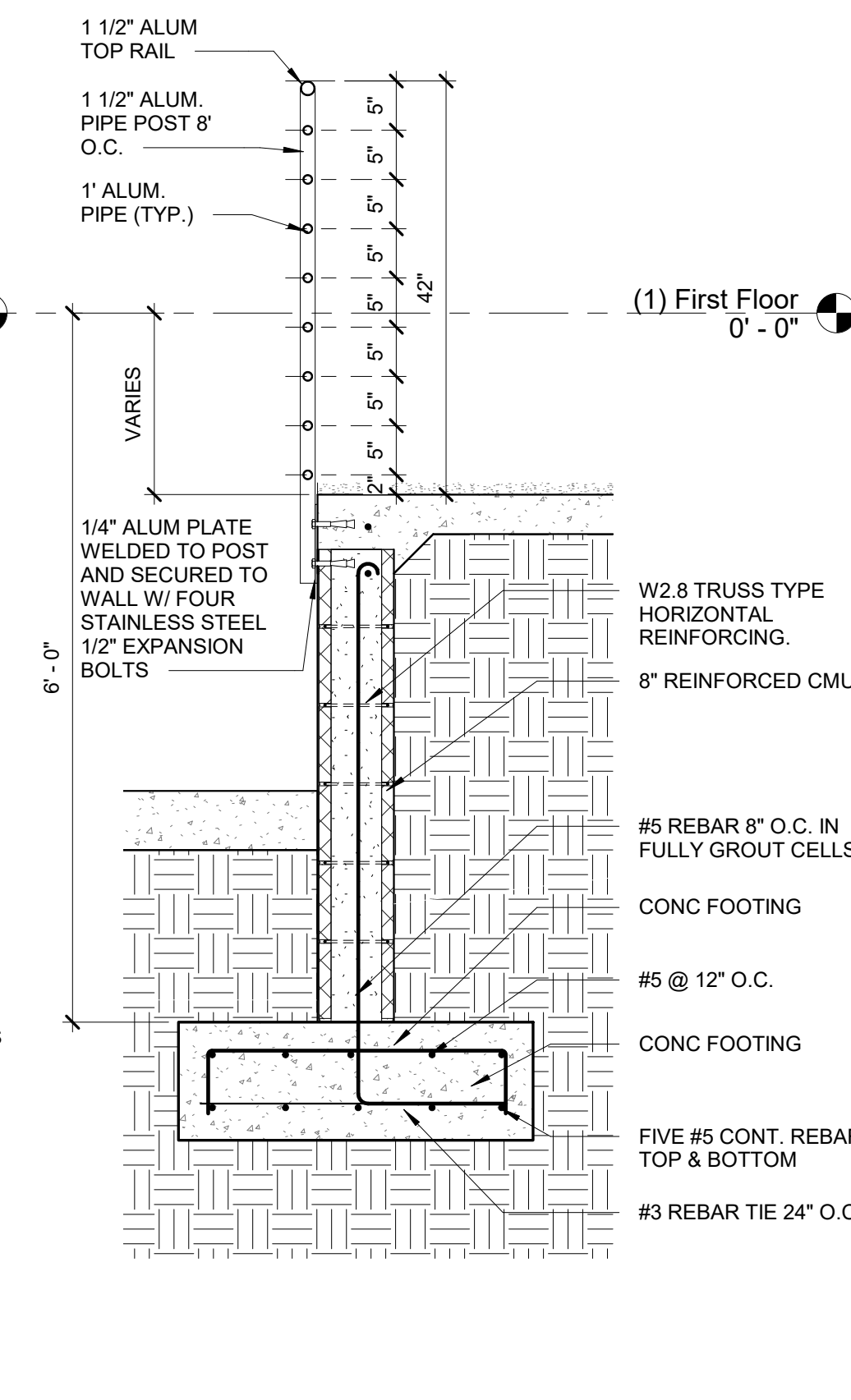
6 Section 11
3/4" = 1'-0"

5 Section 12
3/4" = 1'-0"

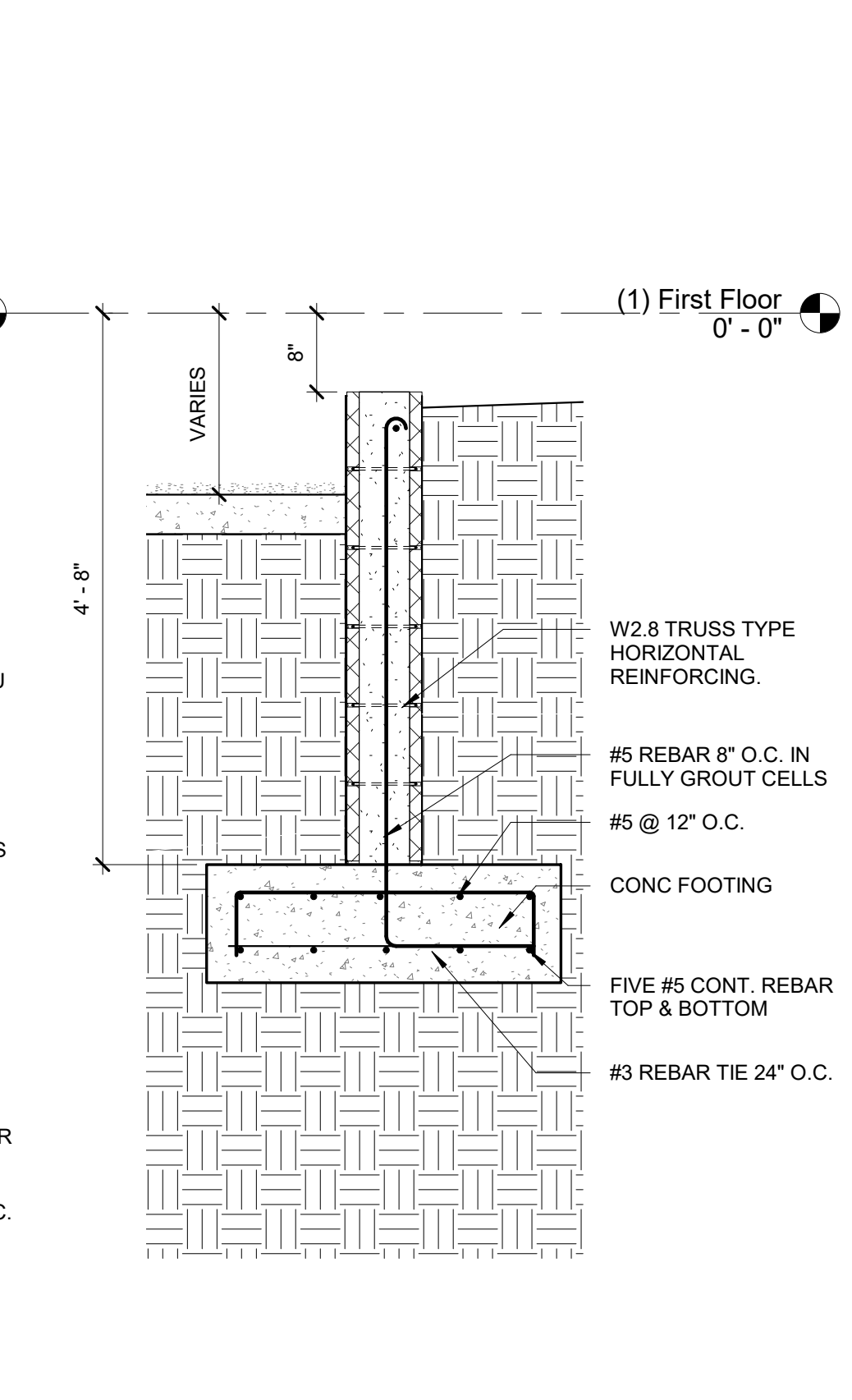
7 Section 13
3/4" = 1'-0"



1 Retaining Wall Section A
3/4" = 1'-0"



2 Retaining Wall Section B
3/4" = 1'-0"



3 Retaining Wall Section C
3/4" = 1'-0"

1 Retaining Wall Section A
3/4" = 1'-0"

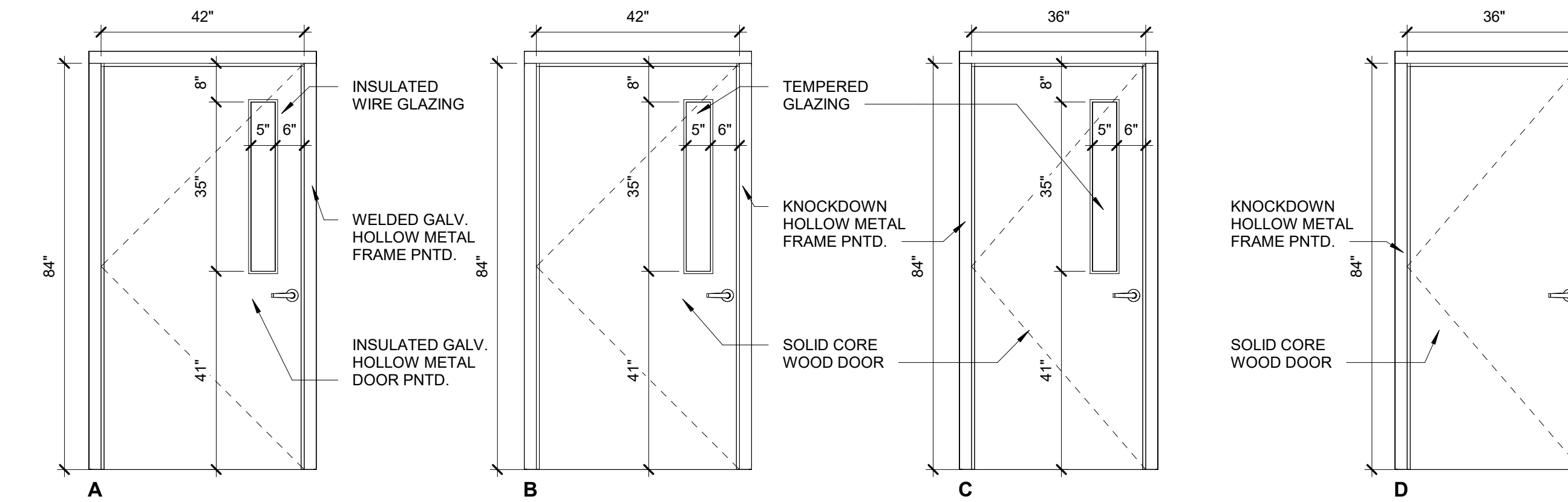
2 Retaining Wall Section B
3/4" = 1'-0"

3 Retaining Wall Section C
3/4" = 1'-0"

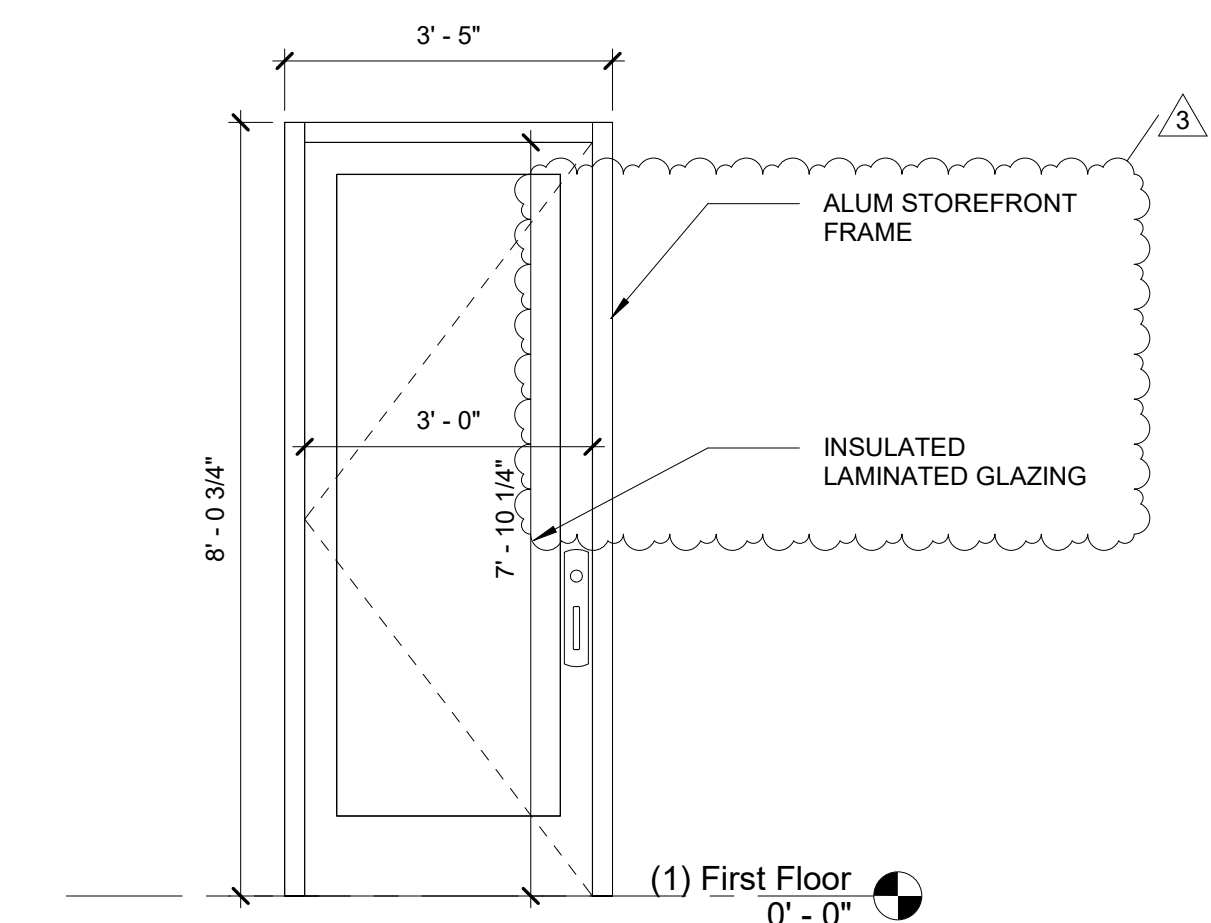
Room Schedule							
Room Number	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Ceiling Height	Comments
101	Retail	FF-1	BF-1	WF-1	CF-1	16' - 11 1/2"	
102	Checkout	FF-1	BF-1	WF-1	CF-1	16' - 11 1/2"	
103	Restm.	FF-1	WT-1	WF-1	CF-1	8' - 0"	WALL TILE TO 5' AFF
104	Restm.	FF-1	WT-1	WF-1,WF-2	CF-1	8' - 0"	WALL TILE TO 5' AFF
105	Jan.	FF-1	BF-2	WF-1	CF-1	8' - 0"	
106	Break	FF-1	BF-2	WF-1	CF-1	8' - 0"	
107	LBD	FF-1	BF-2	WF-1	CF-1	8' - 0"	
108	Warehouse	FF-2	BF-3	WF-3	CF-1	16' - 11 1/2"	
201	Storage Mezzanine	FF-3	BF-3	WF-3	CF-1	16' - 11 1/2"	

FINISH SCHEDULE							
FLOOR		BASE		WALL		CEILING	
Type	Description	Type	Description	Type	Description	Type	Description
FF-1	STAINED CONCRETE	BF-1	1X8 WOOD, TRANSPARENT FIN	WF-1	5/8" GWB PNTD COLOR 1	CF-1	1/2" GWB PAINTED COLOR 2
FF-2	SEALED CONCRETE	BF-2	1X4 WOOD, TRANSPARENT FIN	WF-2	5/8" GWB PNTD COLOR 2		
FF-3	PNTD PLYWOOD	BF-3	1X4 PT WOOD, UNFINISHED	WF-3	5/8" PW PNTD COLOR 3		
		WT-1	CERAMIC TILE	WT-1	CERAMIC TILE		

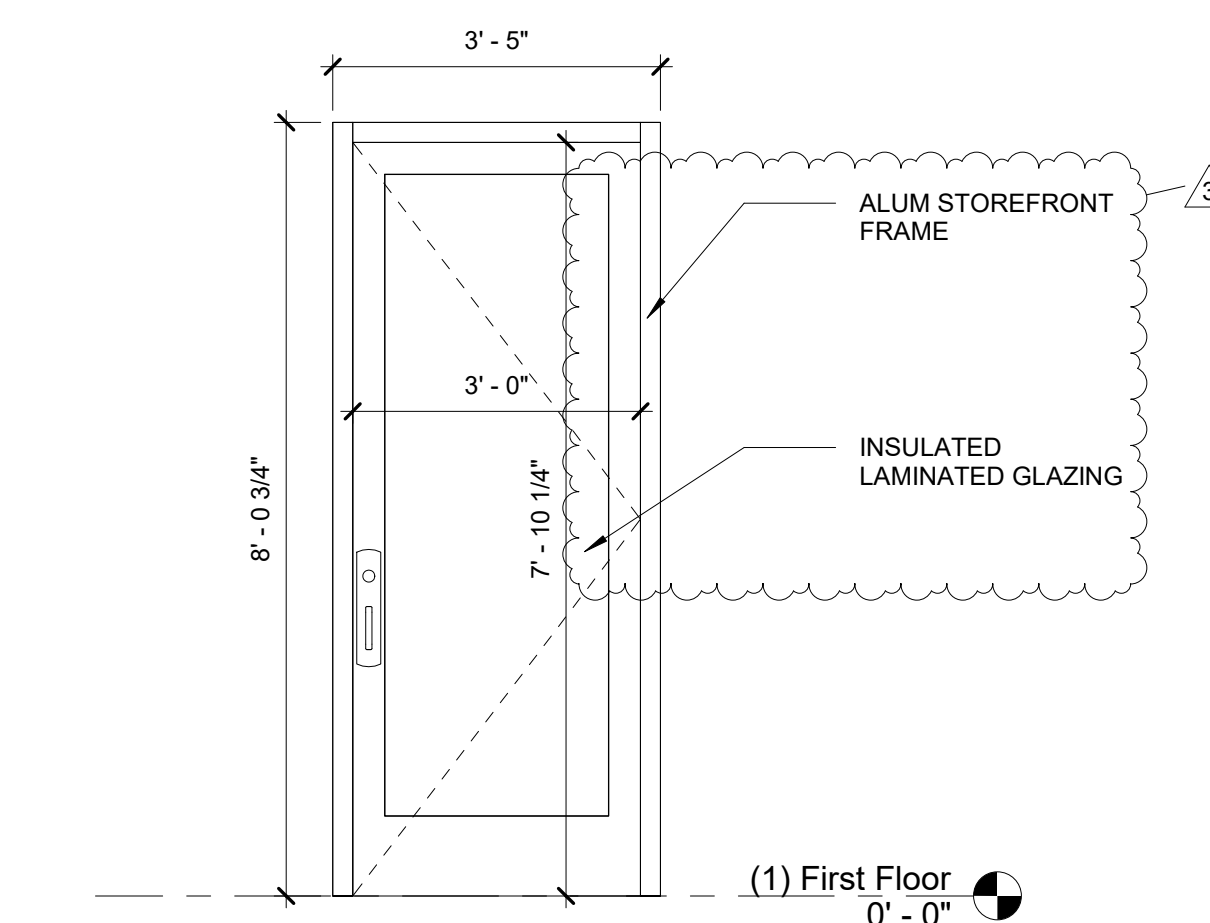
Door Schedule Comm											
Door Number	Type	Door					Frame			Door Hardware Set	Comments
		Width	Height	Thickness	Door Material	Finish	Type	Material	Finish		
101	SFA	3' - 0"	7' - 10 1/4"	0' - 1 3/4"	ALUM/GLAS	ANDZ	SF	ALUM	ANDZ	1	
102	SFB	3' - 0"	7' - 10 1/4"	0' - 1 3/4"	ALUM/GLAS	ANDZ	SF	ALUM	ANDZ	1	
103	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	4	
104	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	4	
105	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	3	
106	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	3	
107	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	3	
109	A	3' - 6"	7' - 0"	0' - 1 3/8"	GALV/GLAS/INSUL/HM	PTND	WLDED HM	GLAV STL	PNTD	2	
110	B	3' - 6"	7' - 0"	0' - 1 3/8"	SC/GLAS	CLR	KNKDN HM	STL	PNTD	3	
111	C	3' - 0"	7' - 0"	0' - 1 3/8"	SC/GLAS	CLR	KNKDN HM	STL	PNTD	3	
112	B	3' - 6"	7' - 0"	0' - 1 3/8"	SC/GLAS	CLR	KNKDN HM	STL	PNTD	3	
113	A	3' - 6"	7' - 0"	0' - 1 3/8"	GALV/GLAS/INSUL/HM	PTND	WLDED HM	GLAV STL	PNTD	2	
114		12' - 0"	14' - 0"	0' - 1 1/2"							



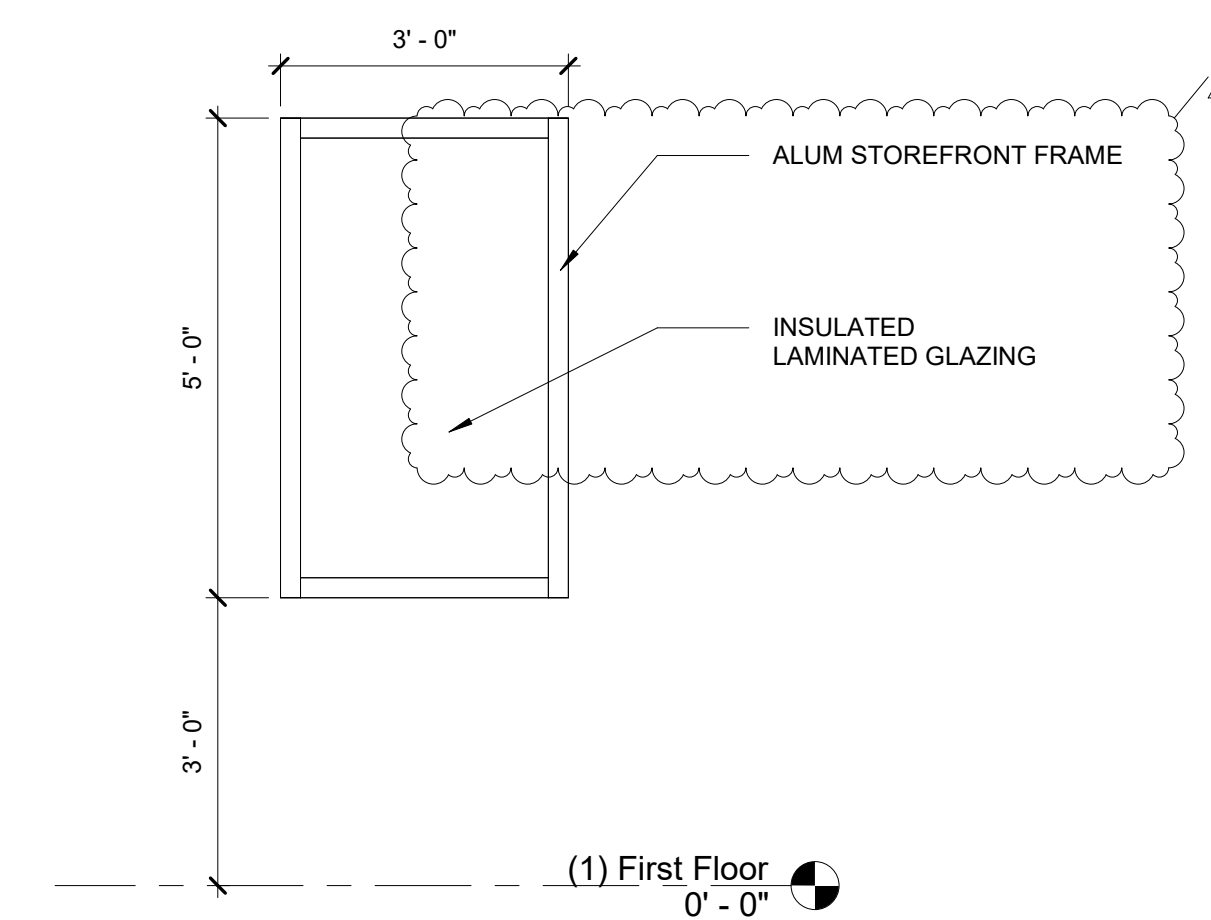
○ Door Types
1/2" = 1'-0"



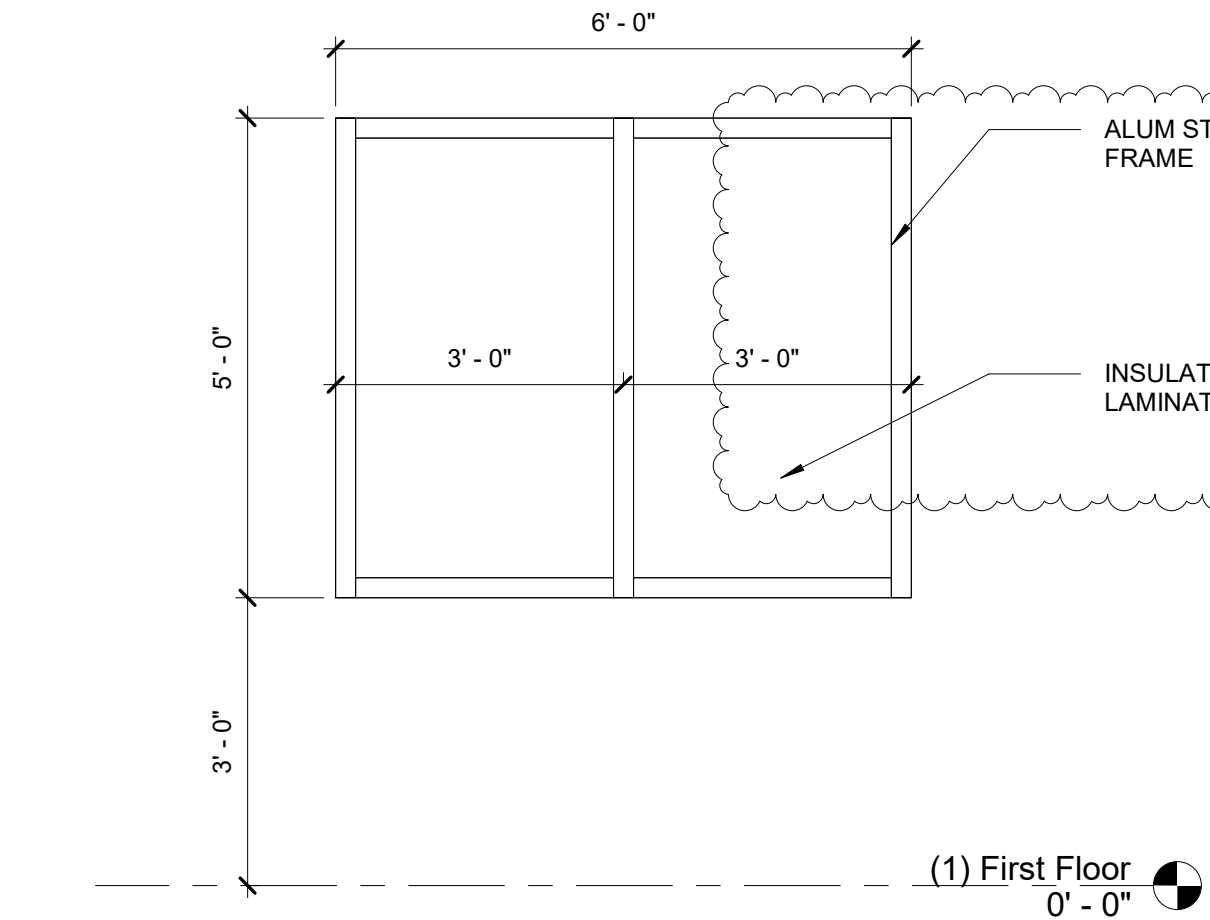
① Storefront SFA
1/2" = 1'-0"



② Storefront SFB
1/2" = 1'-0"



③ Storefront SFC
1/2" = 1'-0"

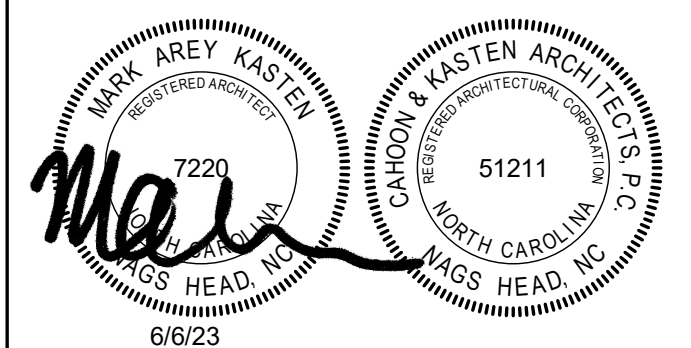


④ Storefront SFD
1/2" = 1'-0"

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Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **Schedules**
Date: **March 10, 2023**
Scale: **As indicated**

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Revisions:

No.	Description	Date
2	Door Clarification	5/25/23
3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File: **A601**

CONCRETE MATERIALS SCHEDULE		
LOCATION	MIN. COMPRESSIVE STRENGTH (AT 28 DAYS)	COMMENTS
FOUNDATIONS	4000 PSI	-
FLOOR SLAB, WALLS, EQUIPMENT PADS	4000 PSI	-
CONCRETE FOR MASONRY CORES, BOND BEAMS	ASTM C476 GROUT	-
SIDEWALKS, BOLLARD FILL, MISC. CONCRETE	3000 PSI	-

3 Concrete Materials Schedule
1 1/2" = 1'-0"

BAR SIZE	CONCRETE LAP REBAR SPLICE SCHEDULE	
	LAP LENGTH (in.)	
	$f_c = 3000$ psi	$f_c = 4000$ psi
#4	29	25
#5	36	31
#6	43	37
#7	63	54
#8	72	61
#9	80	69
#10	89	76

4 Concrete Rebar Lap Splice Schedule
1 1/2" = 1'-0"

EXPOSED CONCRETE FINISH		
LOCATION	FINISH	COMMENTS
FLOOR SLAB, WALLS, EQUIPMENT PADS	SMOOTH FORM	-
EXTERIOR CONCRETE PAVEMENT, SIDEWALKS	COARSE BROOM	-
SLAB ON GRADE	TROWEL	-
EXT. EQUIP. PADS	COARSE BROOM	-
EXT. STAIRS	COARSE BROOM	-

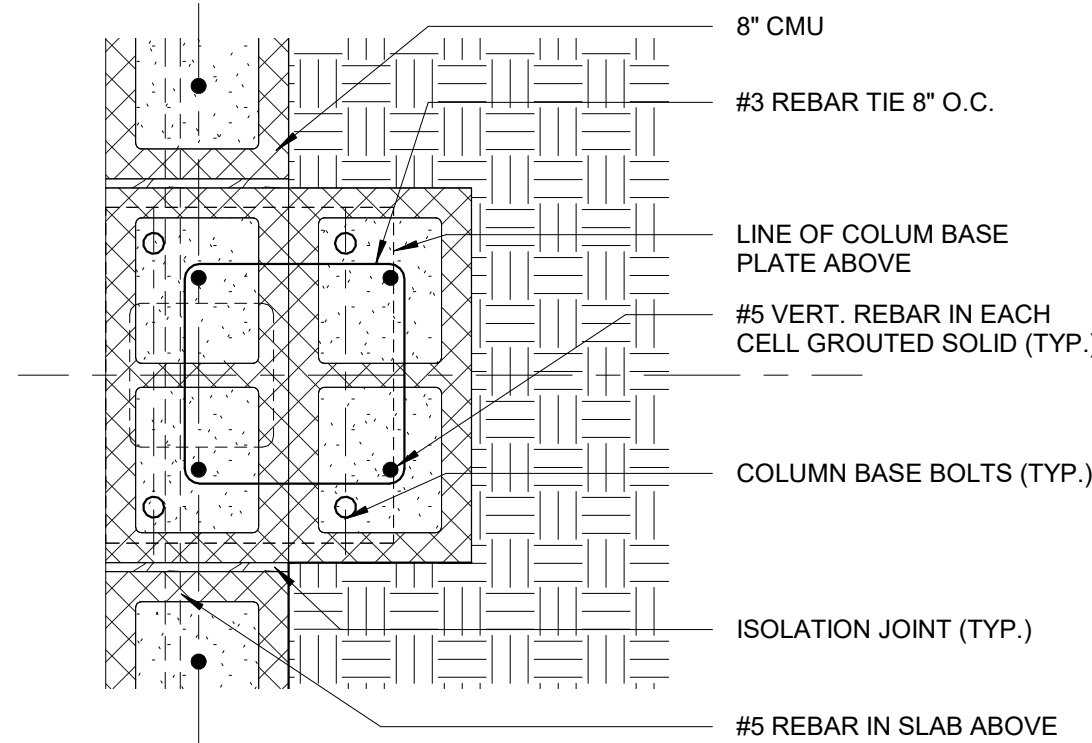
7 Exposed Concrete Finish
1 1/2" = 1'-0"

COLUMN SCHEDULE				
MARK	COL. SIZE	BASE PLATE SIZE	ANCHOR # & BOLT DIA.	COMMENTS
C1	HSS 6" x 6" x 1/2"	12" x 12" x 3/4"	(4) 3/4"	
C2	HSS 6" x 6" x 1/2"	12" x 12" x 3/4"	(4) 3/4"	
C3	HSS 6" x 6" x 1/2"	12" x 12" x 3/4"	(4) 3/4"	

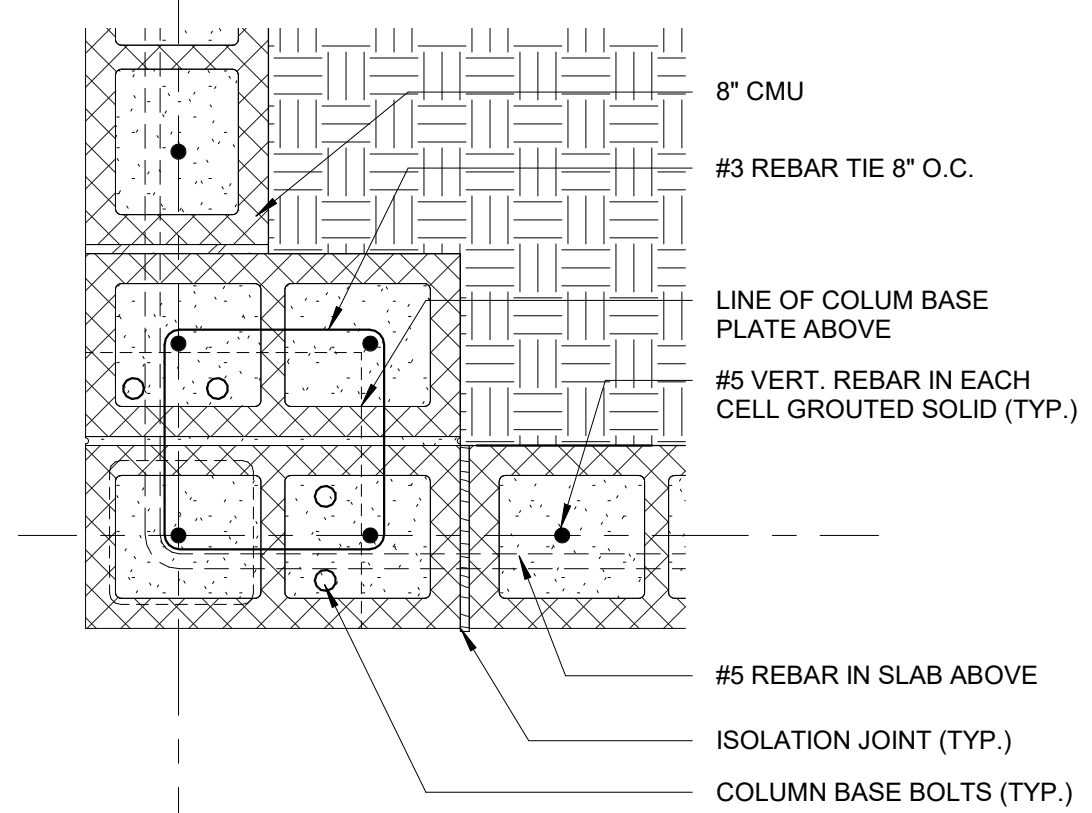
2 Column Schedule
1/4" = 1'-0"

FOOTING SCHEDULE			
MARK	DIMENSIONS	REINFORCEMENT	COMMENTS
F1	4'-0" x 4'-0" x 18"D	(6) #5 EW TOP & BOTTOM	

8 Footing Schedule
1/4" = 1'-0"



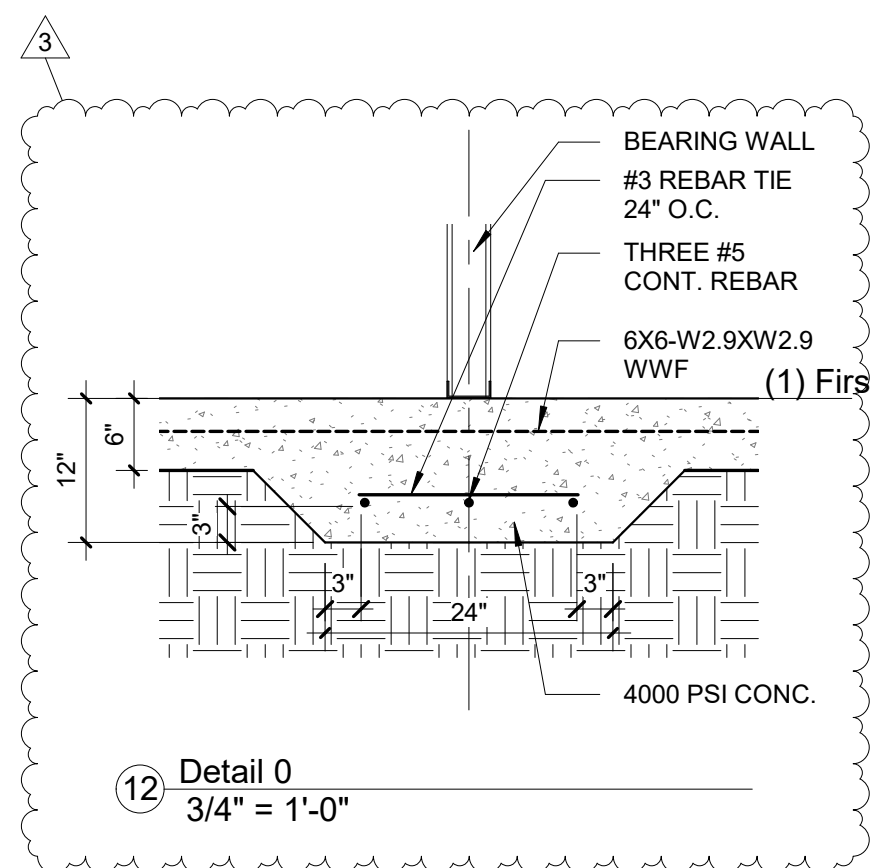
10 Structural Foundation Detail 1
1 1/2" = 1'-0"



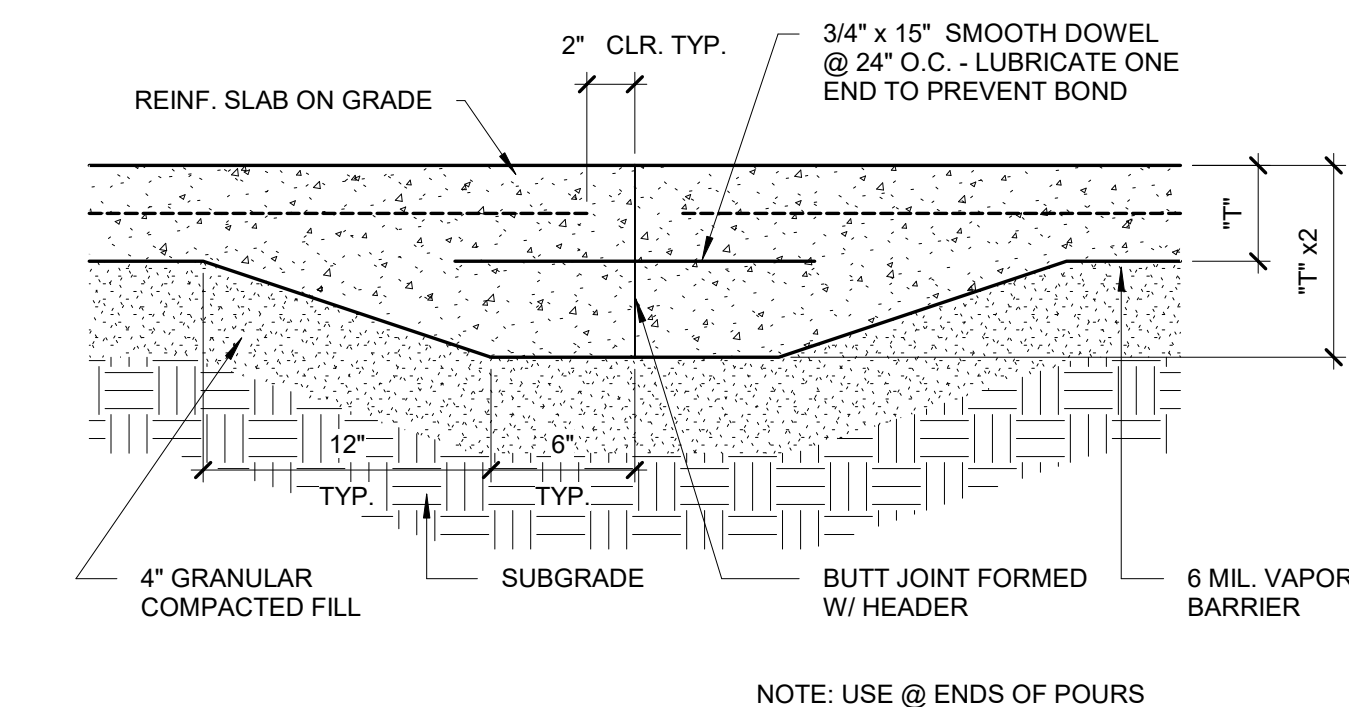
11 Structural Foundation Detail 2
1 1/2" = 1'-0"

SLAB-ON-GRADE NOTES:

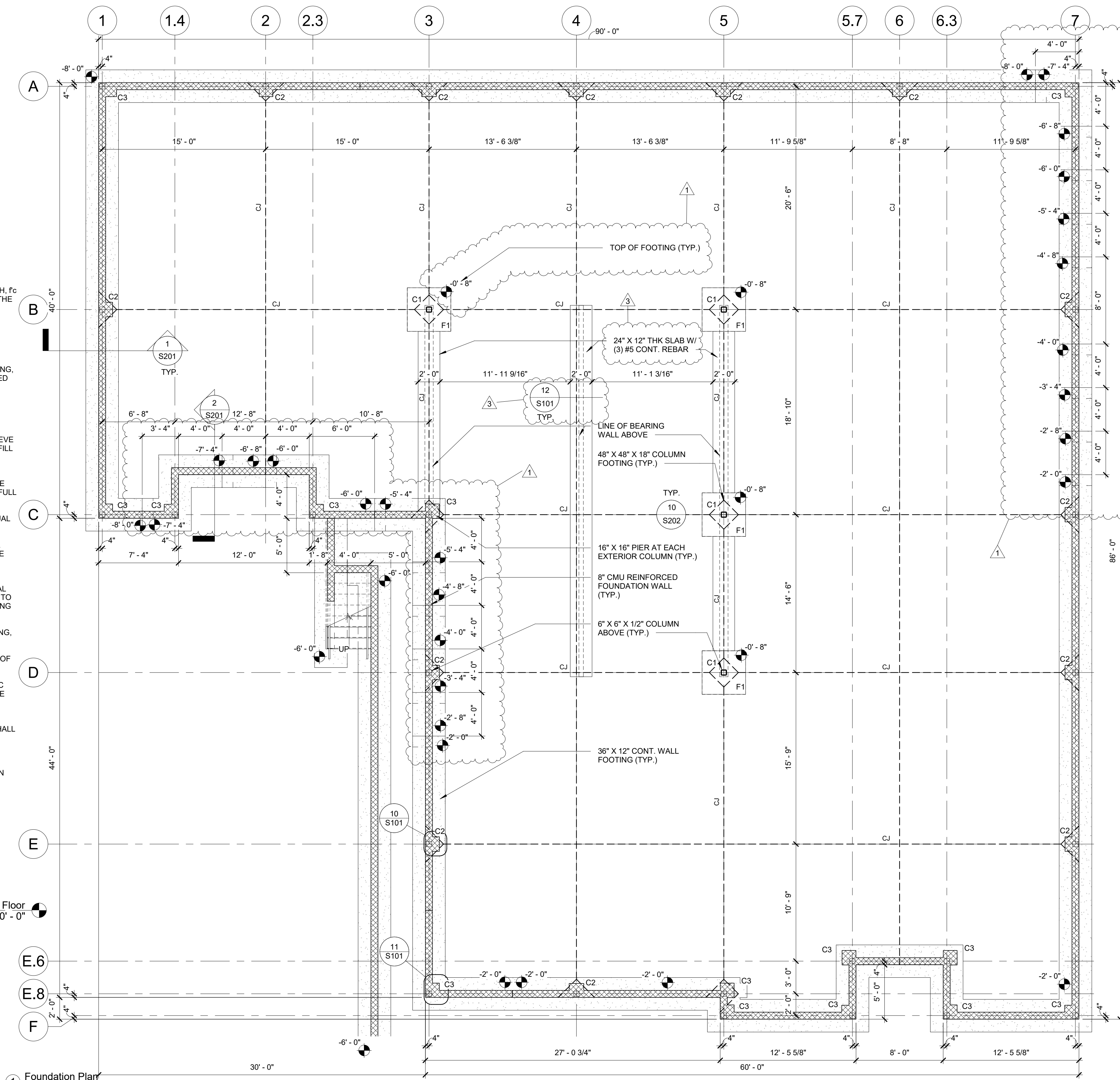
- ALL SLABS-ON-GRADE SHALL BE 4" U.N.O. NORMAL WEIGHT CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH, $f_c = 4000$ PSI. SLABS HAVE BEEN DESIGNED ON THE BASIS OF THE FOLLOWING CRITERIA:
SUBGRADE MODULUS, $K = 200$ PCI (ASSUMED)
UNIFORM LIVE LOADING = 100PSF
MAX. CONCENTRATED POST LOAD = 6,000 LB.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR DIFFERENTIAL SETTLEMENT, SLAB CRACKING AND/OR CURLING, OR OTHER FUTURE DEFECTS RESULTING FROM UNREPORTED OR UNPLANNED CONDITIONS THAT MITIGATE THE ABOVE CRITERIA.
- SLABS-ON-GRADE SHALL BE PLACED OVER A 6 MIL POLYETHYLENE VAPOR BARRIER AND A MINIMUM OF 4" OF COMPACTED GRANULAR FILL. ALL FILL MATERIAL SHALL BE CLEAN GRANULAR MATERIAL WITH 100% PASSING A 1-1/2" SIEVE AND NO MORE THAN 5% PASSING A NO.4 SIEVE. GRANULAR FILL SHALL BE COMPACTED TO 95% MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D-698.
- ALL WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A-185. LAP ADJOINING SECTIONS AT LEAST ONE FULL MESH, UNLESS APPROVED OTHERWISE. ALL WELDED WIRE FABRIC SHALL BE BLOCKED INTO POSITION WITH PRECAST CONCRETE BLOCK HAVING A COMPRESSIVE STRENGTH EQUAL TO OR GREATER THAN THE SLAB.
- SLABS TO BE PERMANENTLY EXPOSED TO WEATHER SHALL BE AIR ENTRAINED TO 5% (+/- 1%) WITH AN ADMIXTURE THAT CONFORMS TO ASTM C-260.
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 "SPECIFICATION FOR STRUCTURAL CONCRETE". HOT WEATHER CONCRETING SHALL CONFORM TO THE REQUIREMENTS OF ACI 305. COLD WEATHER CONCRETING SHALL CONFORM TO THE REQUIREMENTS OF ACI 306.
- IN ORDER TO AVOID CONCRETE SHRINKAGE CRACKING, PLACE CONCRETE SLABS IN AN ALTERNATING LANE OR A CHECKERBOARD PATTERN. MAXIMUM LENGTH OF CONTINUOUSLY CAST SLAB IS 100 FEET. MAXIMUM SPACING OF SLAB JOINTS IS 25 FEET.
- THE ALTERNATE WIRES OF THE WELDED WIRE FABRIC MUST BE PRECUT AT SLAB CONTRACTION JOINTS TO CREATE THE "WEAKENED" PLANE NECESSARY FOR CRACK PROPAGATION.
- THE FINISH TOLERANCE OF ALL SLABS-ON-GRADE SHALL BE IN ACCORDANCE WITH ACT 301, TYPE A, UNLESS NOTED OTHERWISE.
- THE USE OF POLYPROPYLENE FIBERS IN LIEU OF WELDED WIRE FABRIC IS NOT PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE STRUCTURAL ENGINEER.



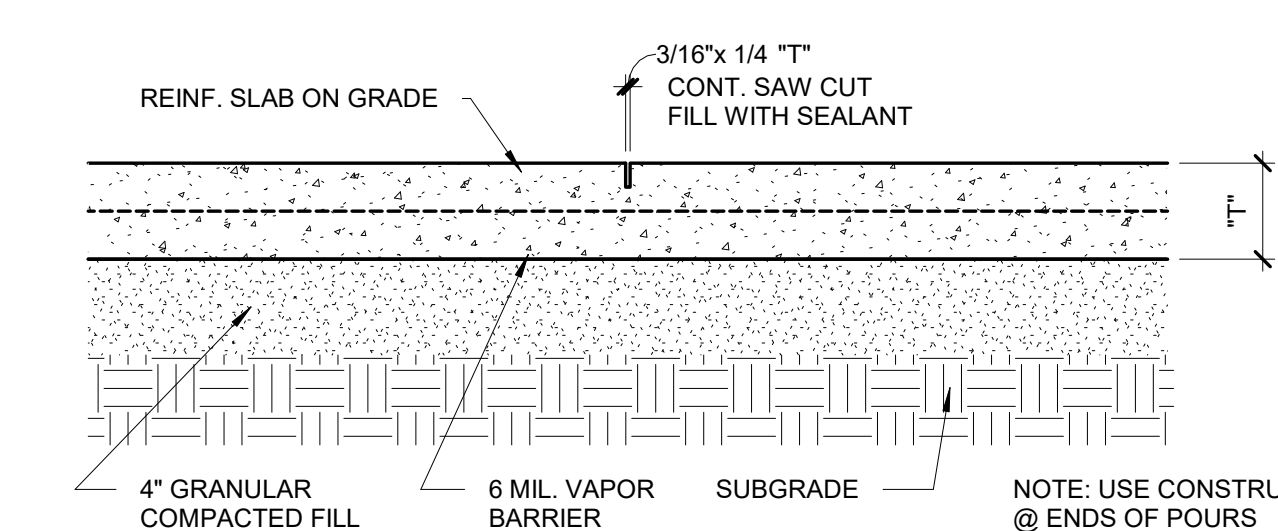
12 Detail 0
3/4" = 1'-0"



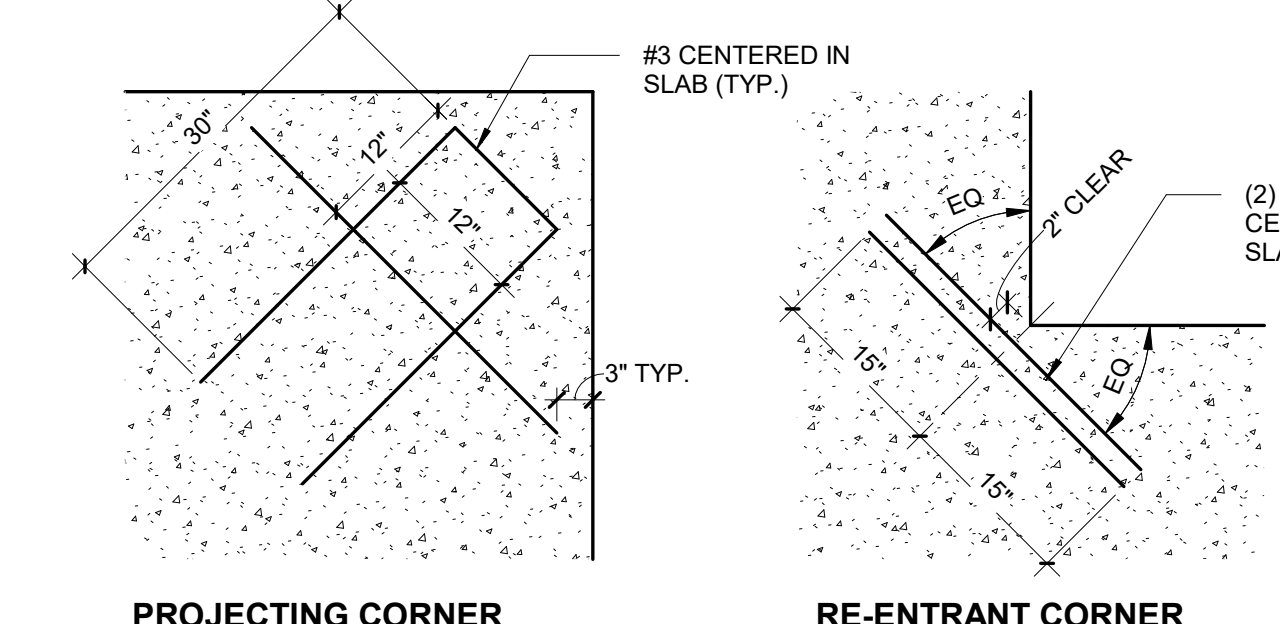
5 Construction Joint Detail (End Pour)
1 1/2" = 1'-0"



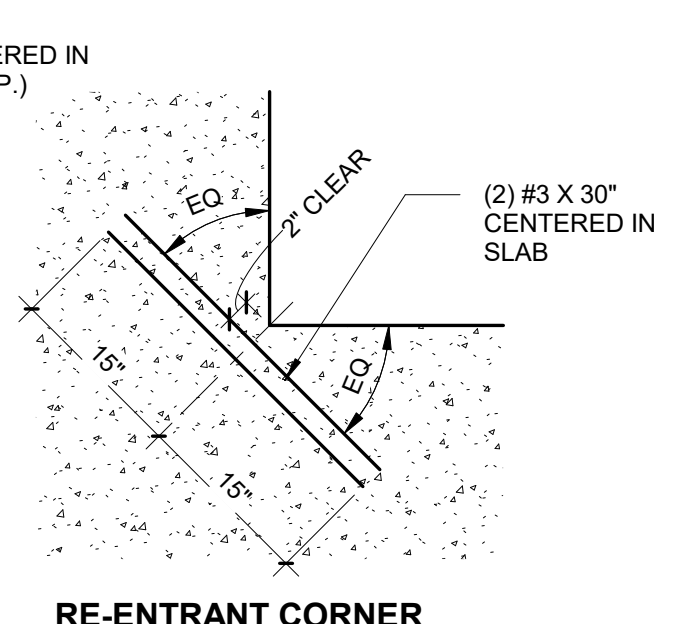
1 Foundation Plan
3/16" = 1'-0"



6 Control Joint Detail (Saw Cut)
1 1/2" = 1'-0"



9 PROJECTING CORNER Reinforcing @ Slab Corners
3/4" = 1'-0"



RE-ENTRANT CORNER

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Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **Structural Foundation Plan**
Date: **March 10, 2023**
Scale: **As indicated**

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Professional Engineer Seal: MAK AREY KASTEN ARCHITECTS P.C. 7220 NORTH CAROLINA 51211
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Revisions:

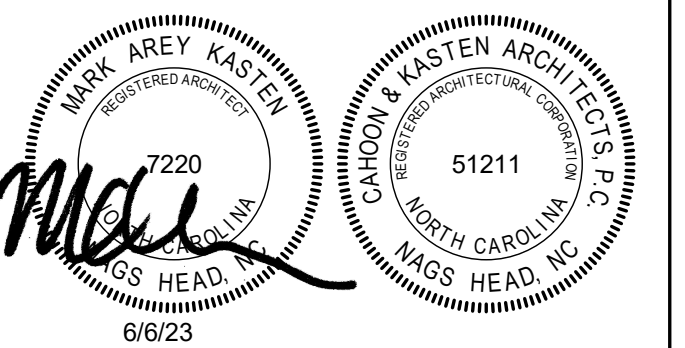
No.	Description	Date
1	Structural Footing Revisions	5/19/23
3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

S101

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Structural First Floor
Plan**
Date: **March 10, 2023**
Scale: **As indicated**

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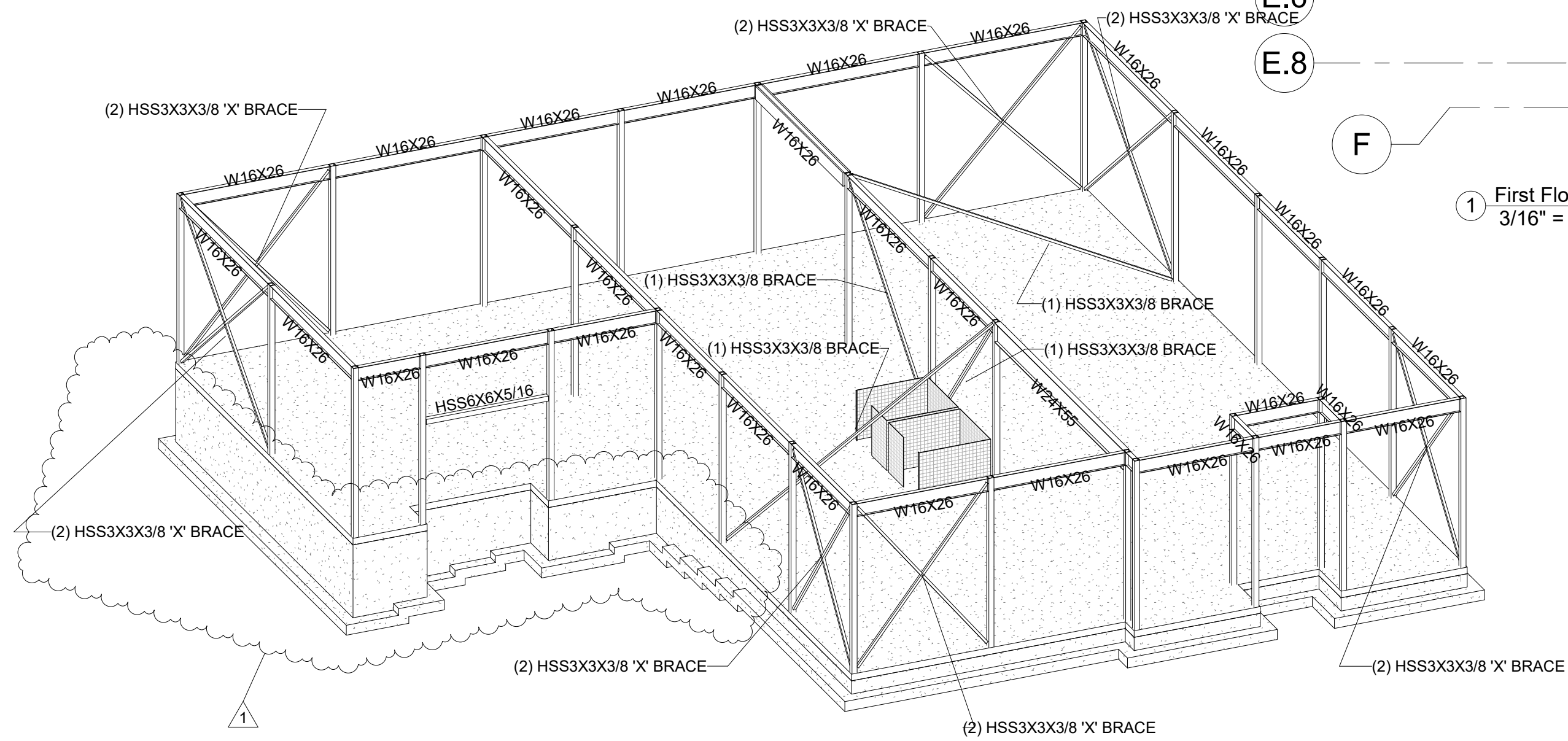
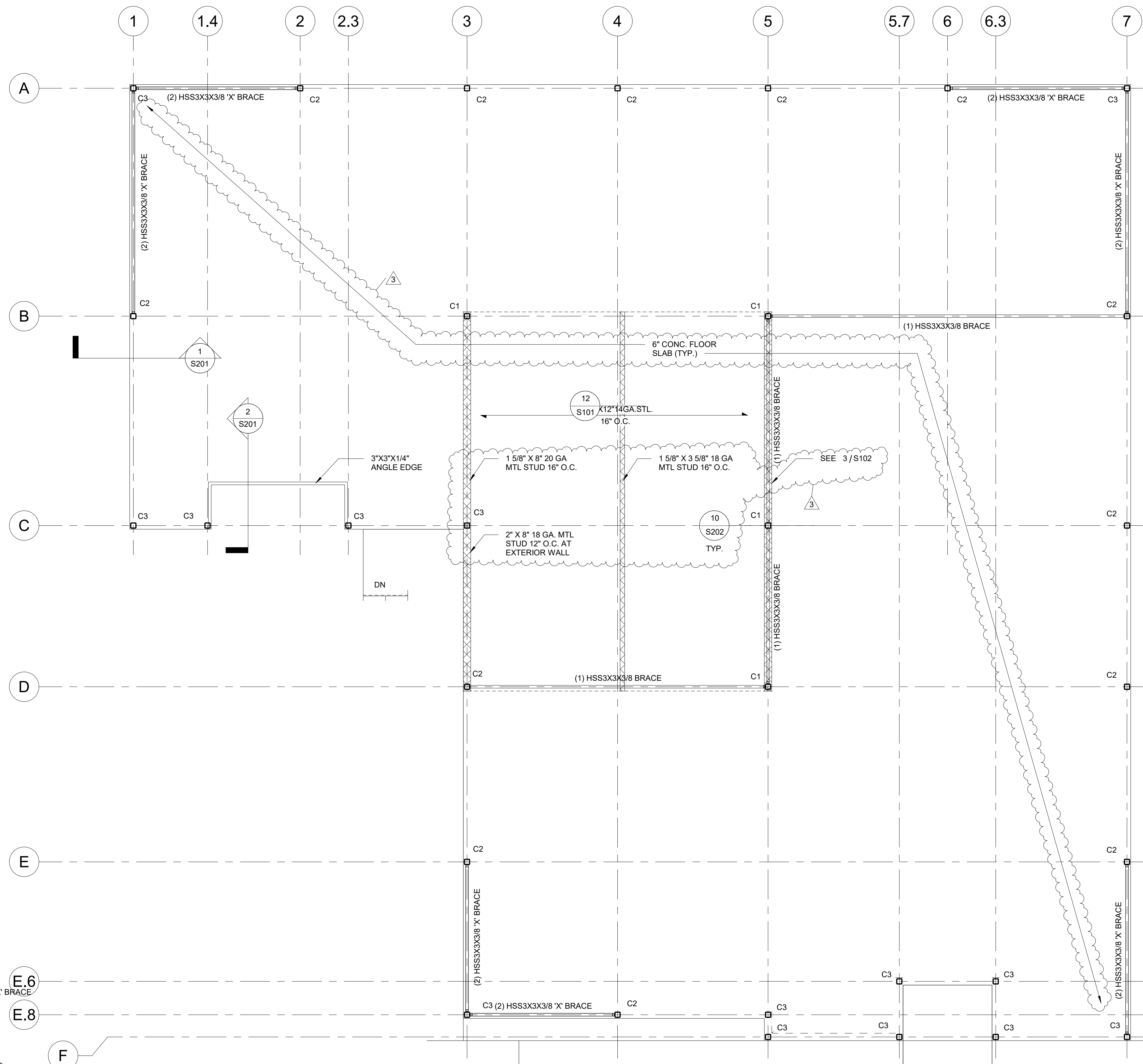


Revisions:

No.	Description	Date
1	Structural Footing Revisions	5/19/23
3	Misc. Add #3	6/6/23

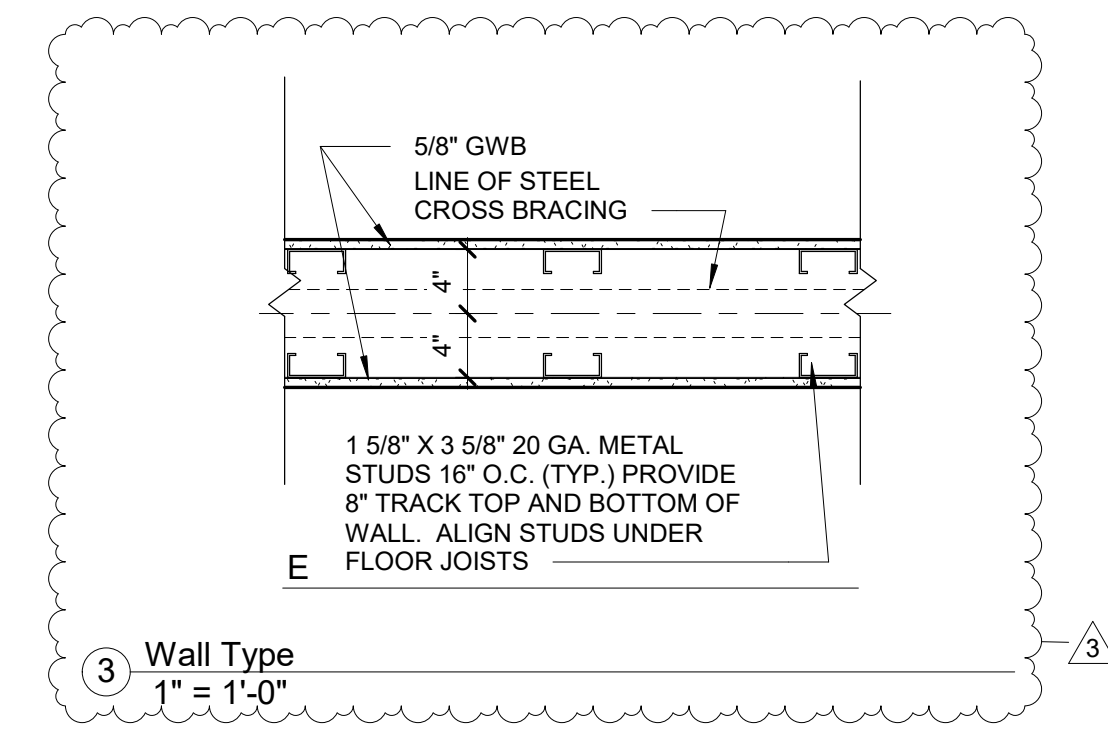
Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

S102



2 Framing Iso

1 First Floor Plan
3/16" = 1'-0"



3 Wall Type
1" = 1'-0"

Project: **ABC Buxton**

Project No: **22041**

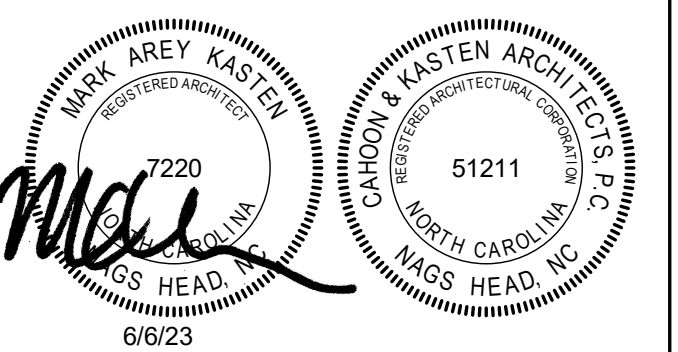
Location: **47290 Hwy 12
Buxton, NC**

Title: **Structural Wall
Sections**

Date: **March 10, 2023**

Scale: **3/4" = 1'-0"**

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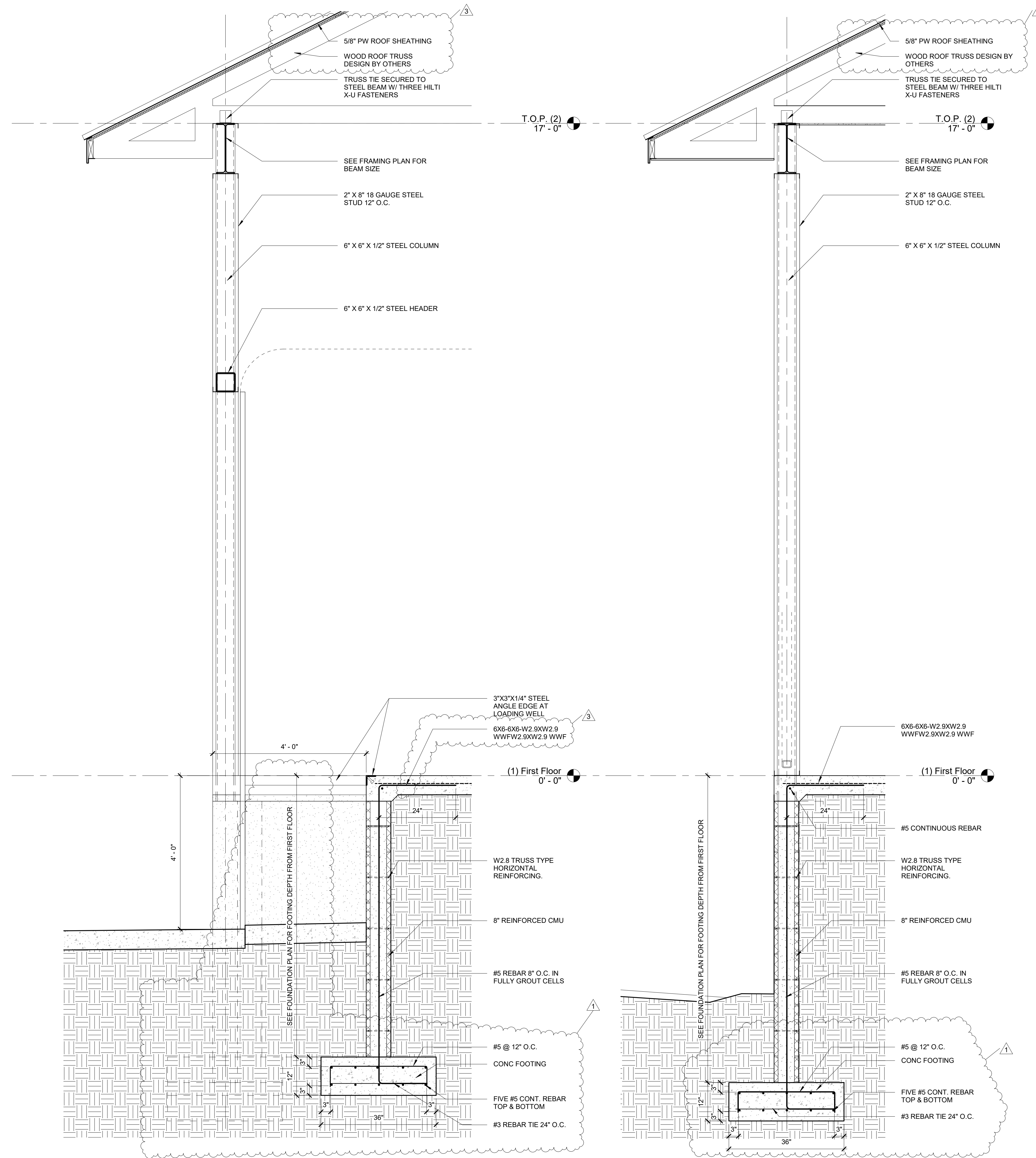


Revisions:

No.	Description	Date
1	Structural Footing Revisions	5/19/23
3	Misc. Add #3	6/6/23

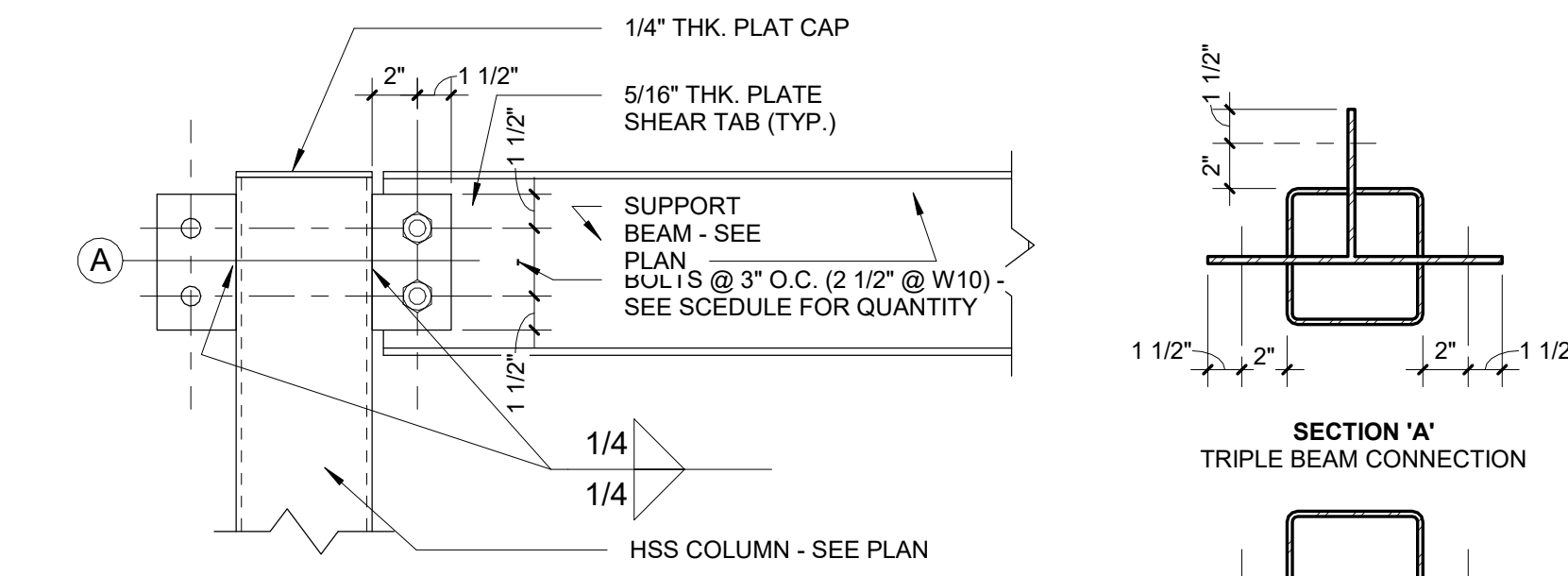
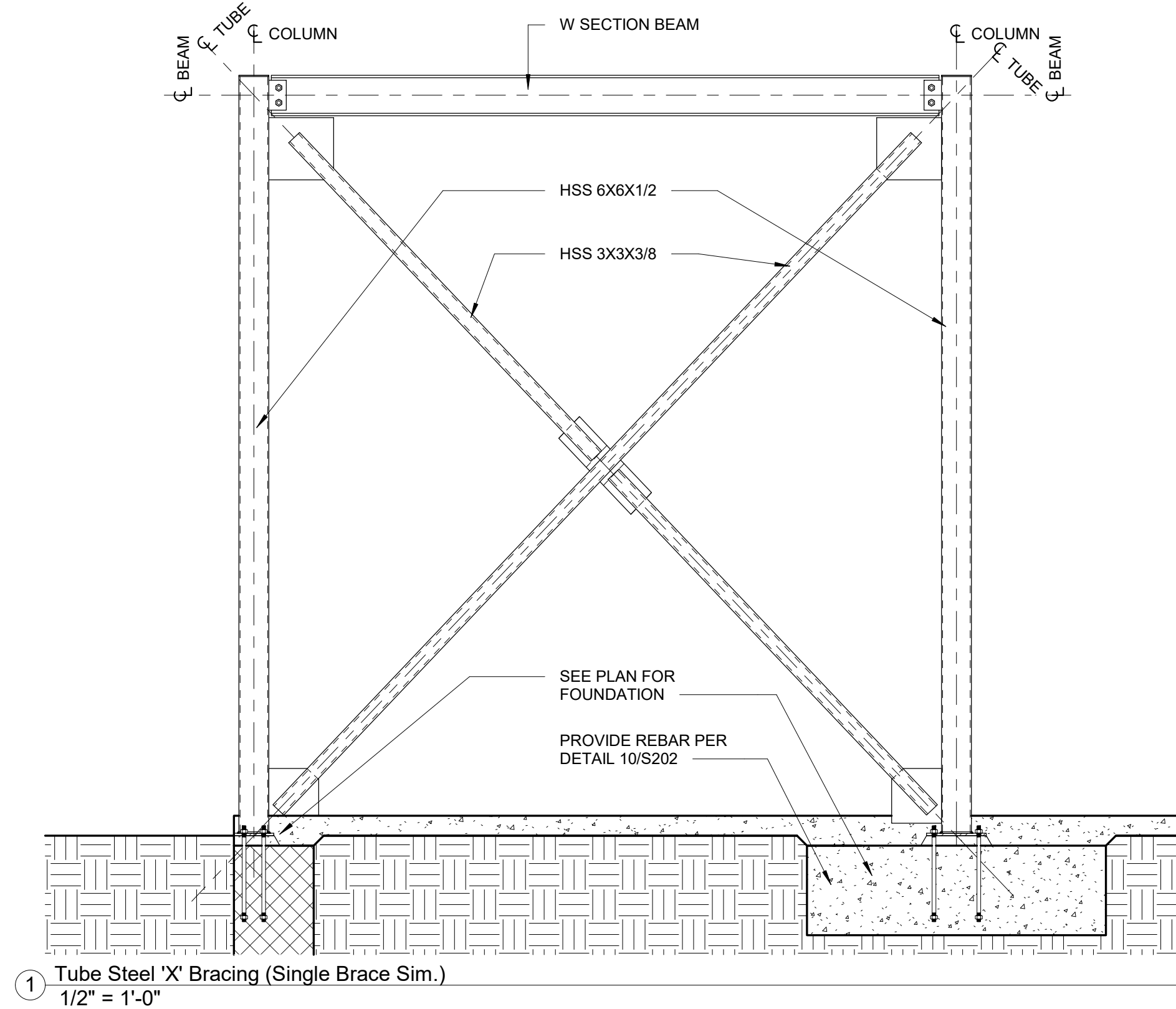
Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

S201

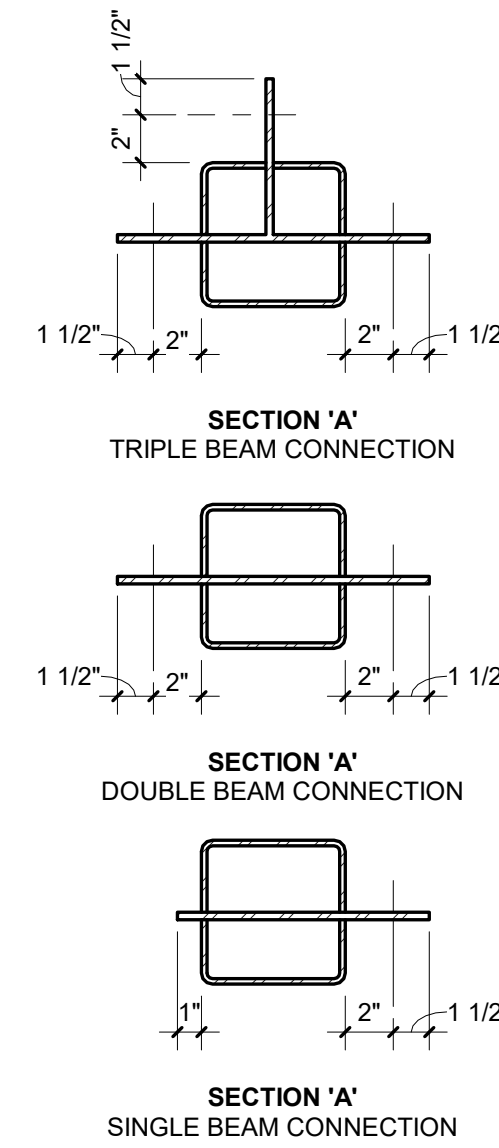


② Structural Wall Section A
3/4" = 1'-0"

① Typical Structural Wall Section
3/4" = 1'-0"

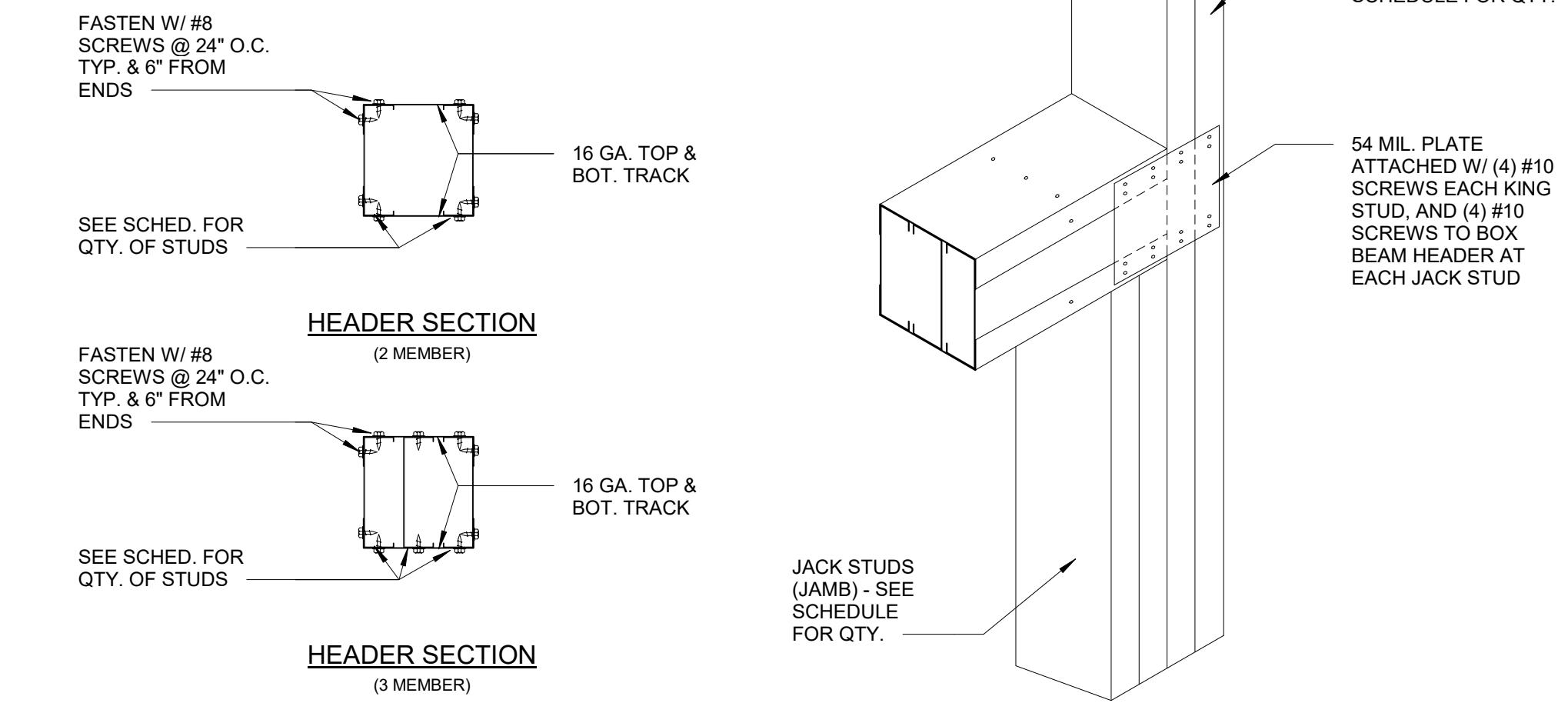
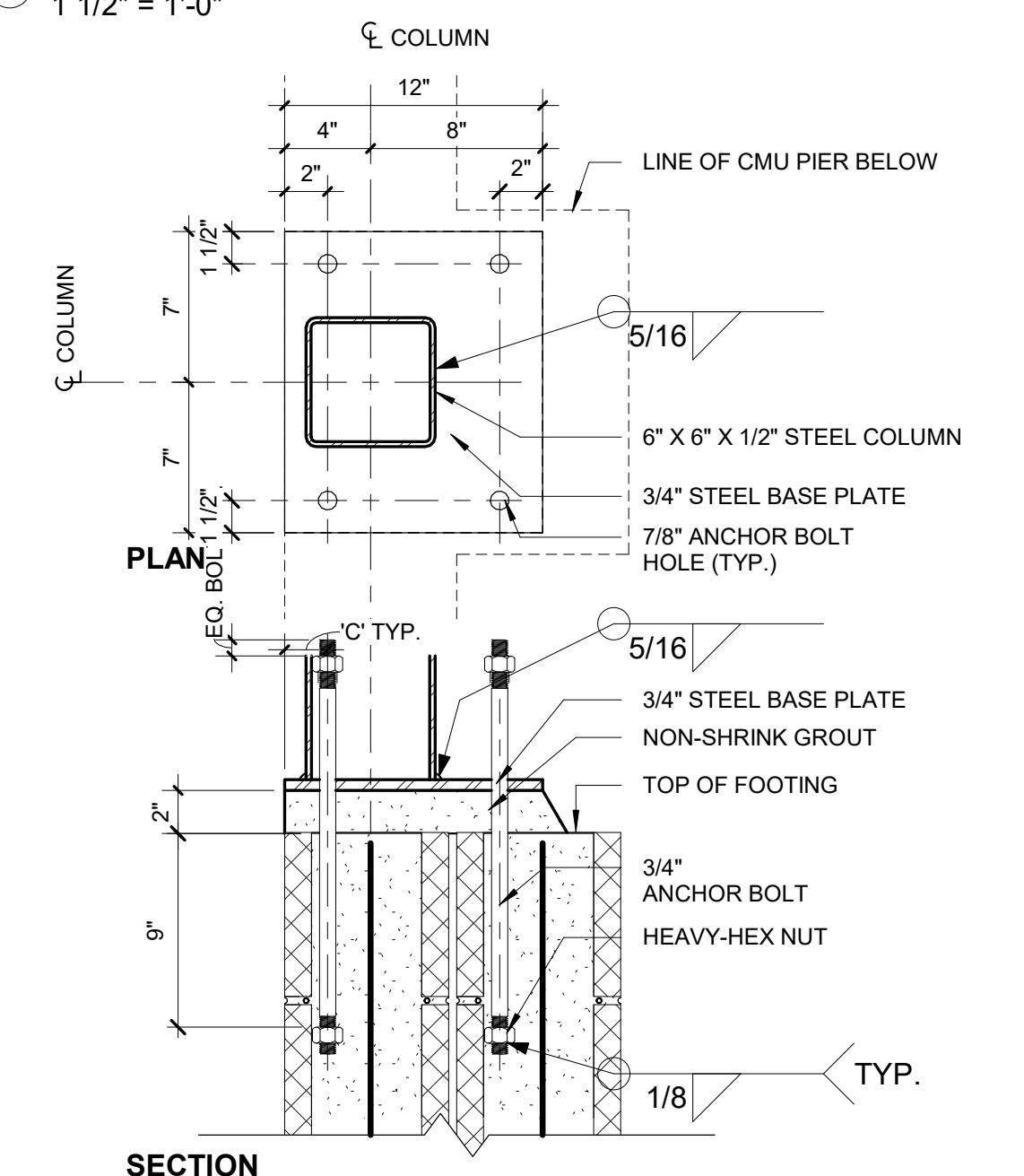
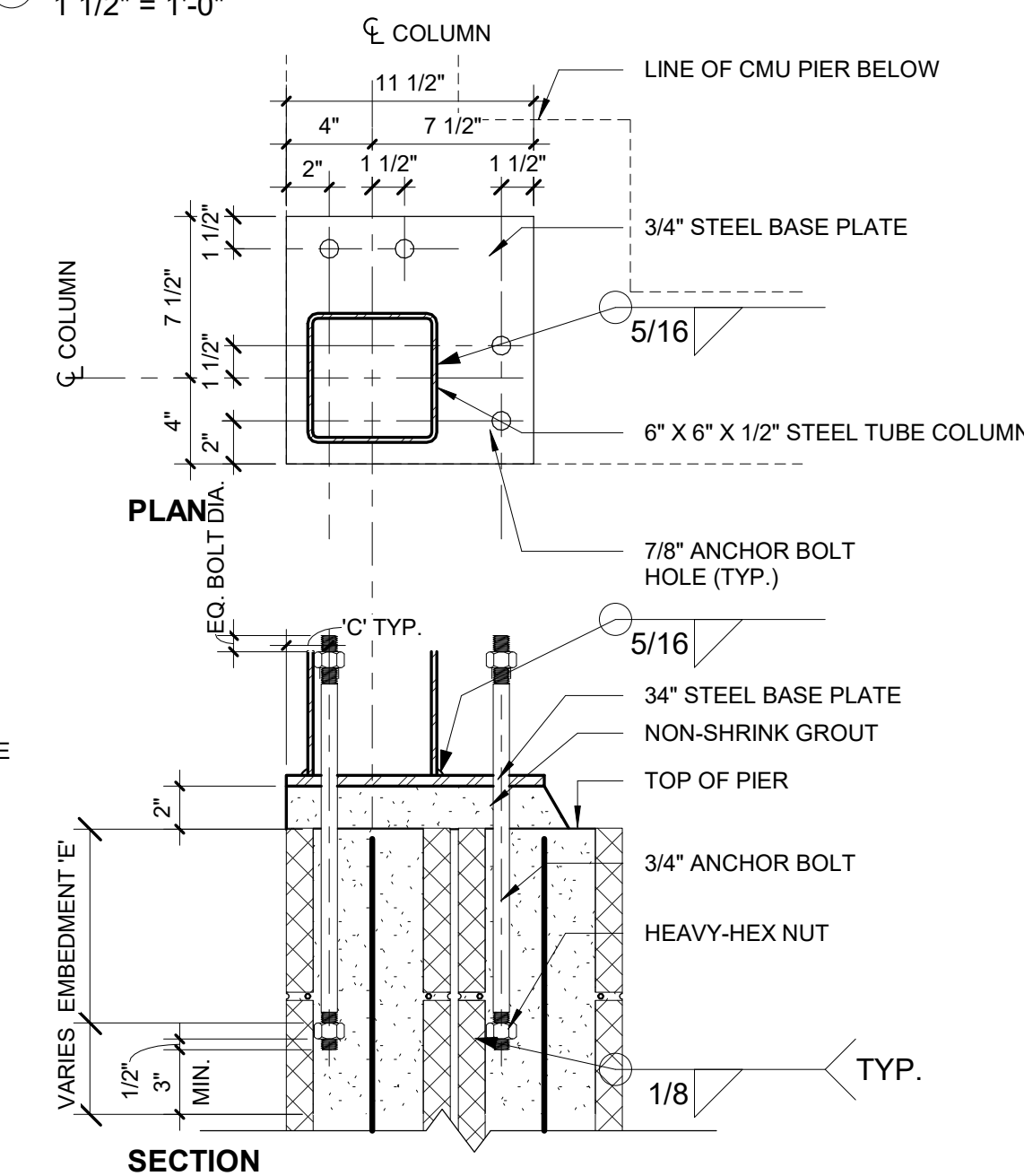
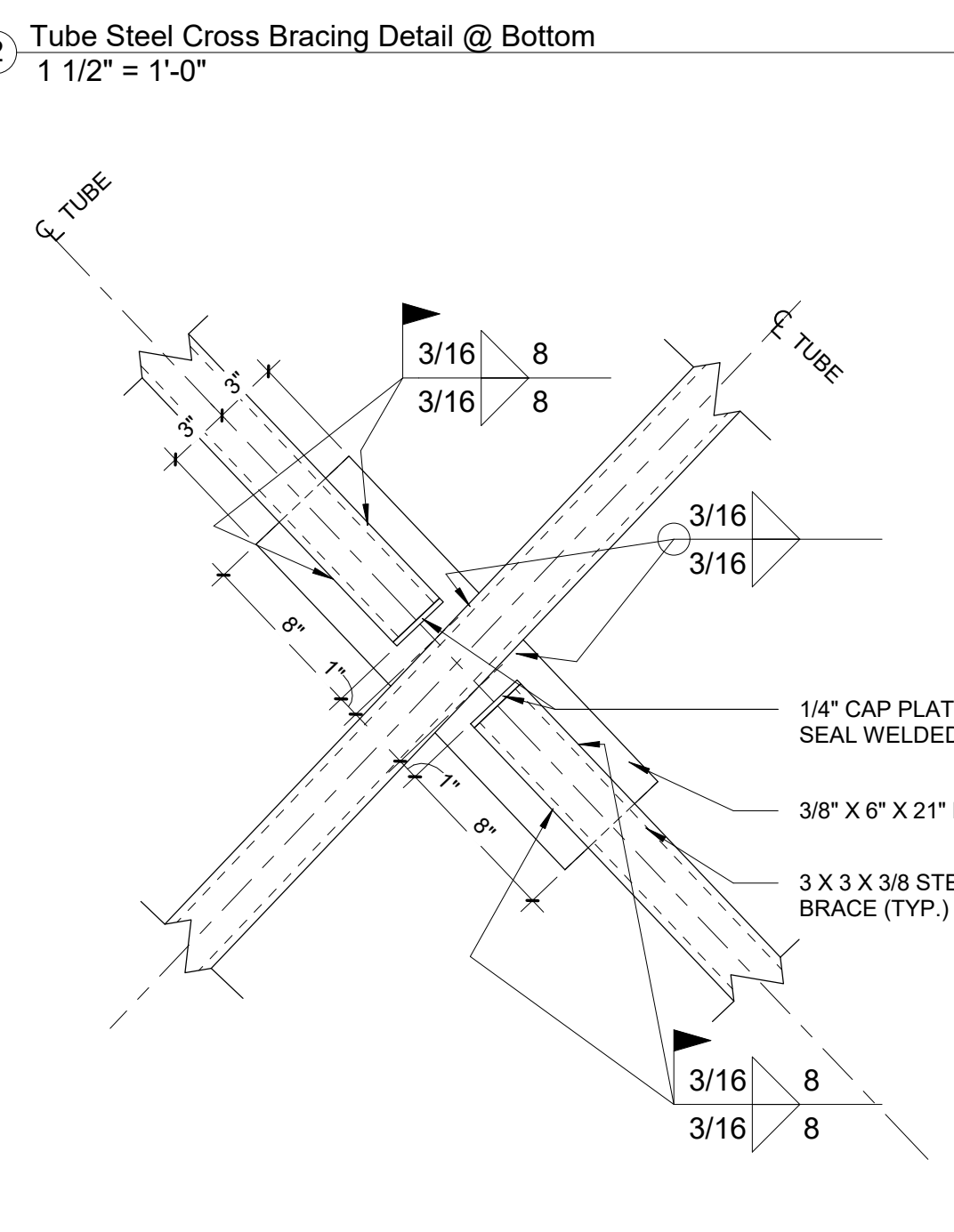
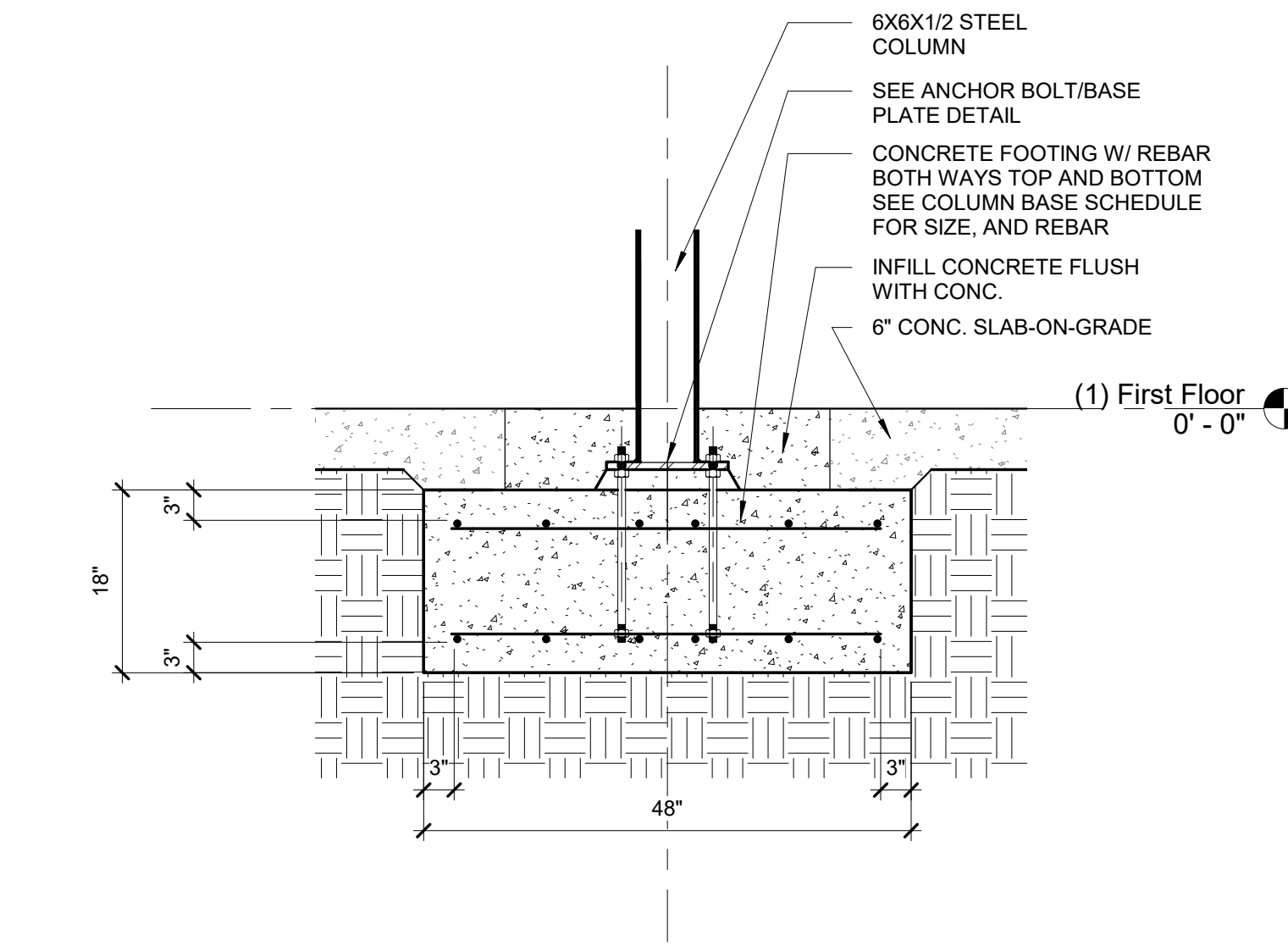
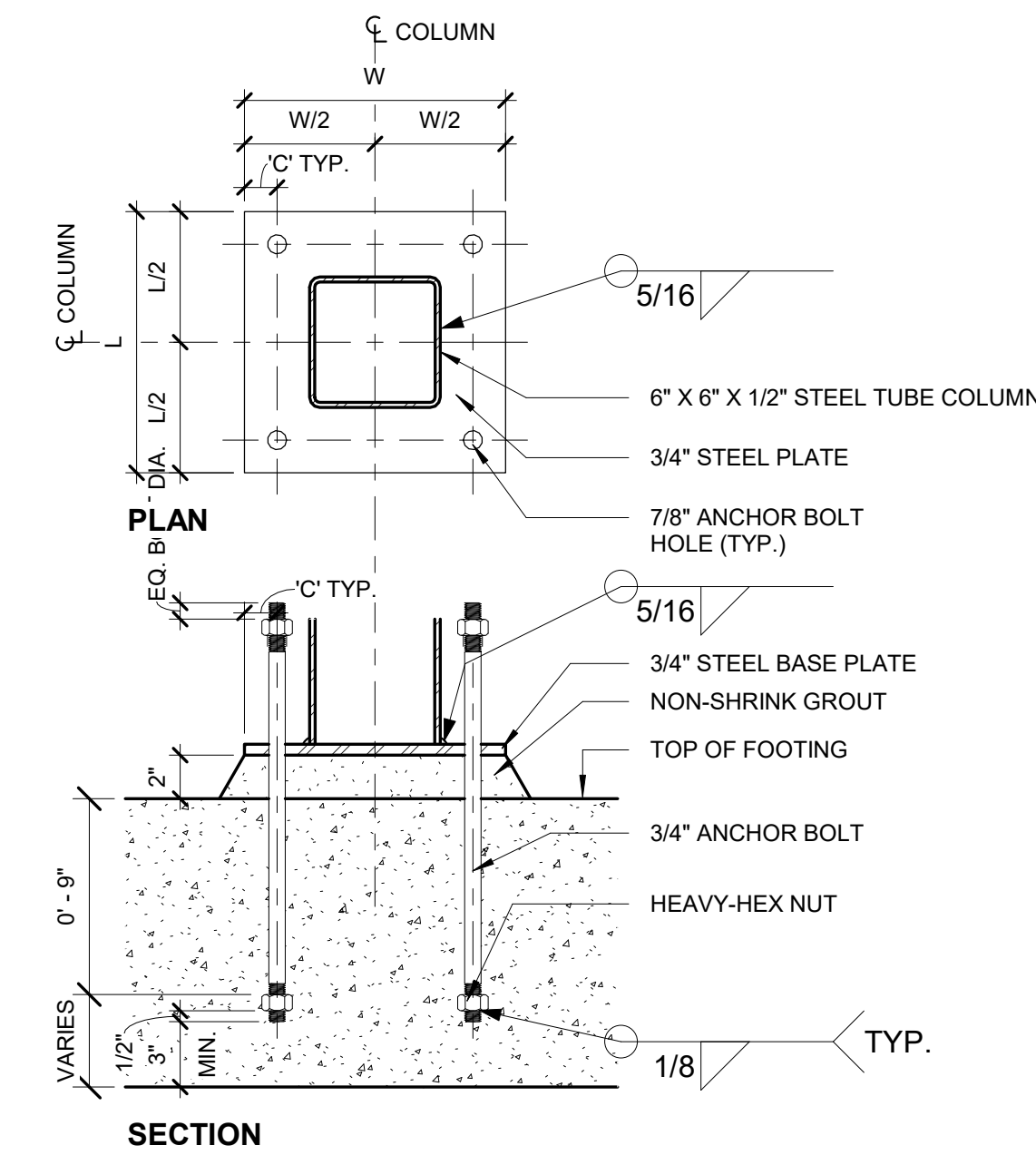
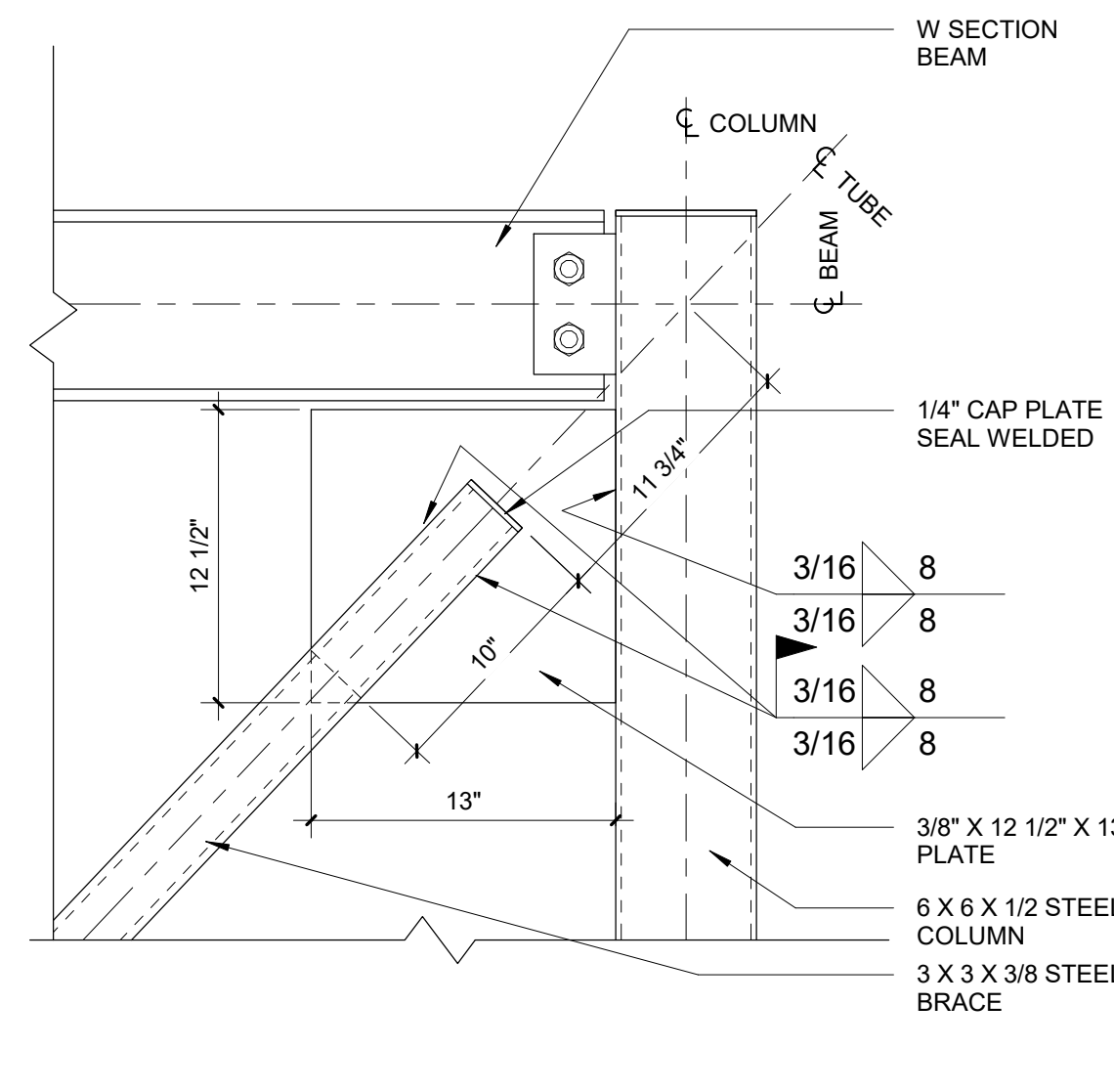
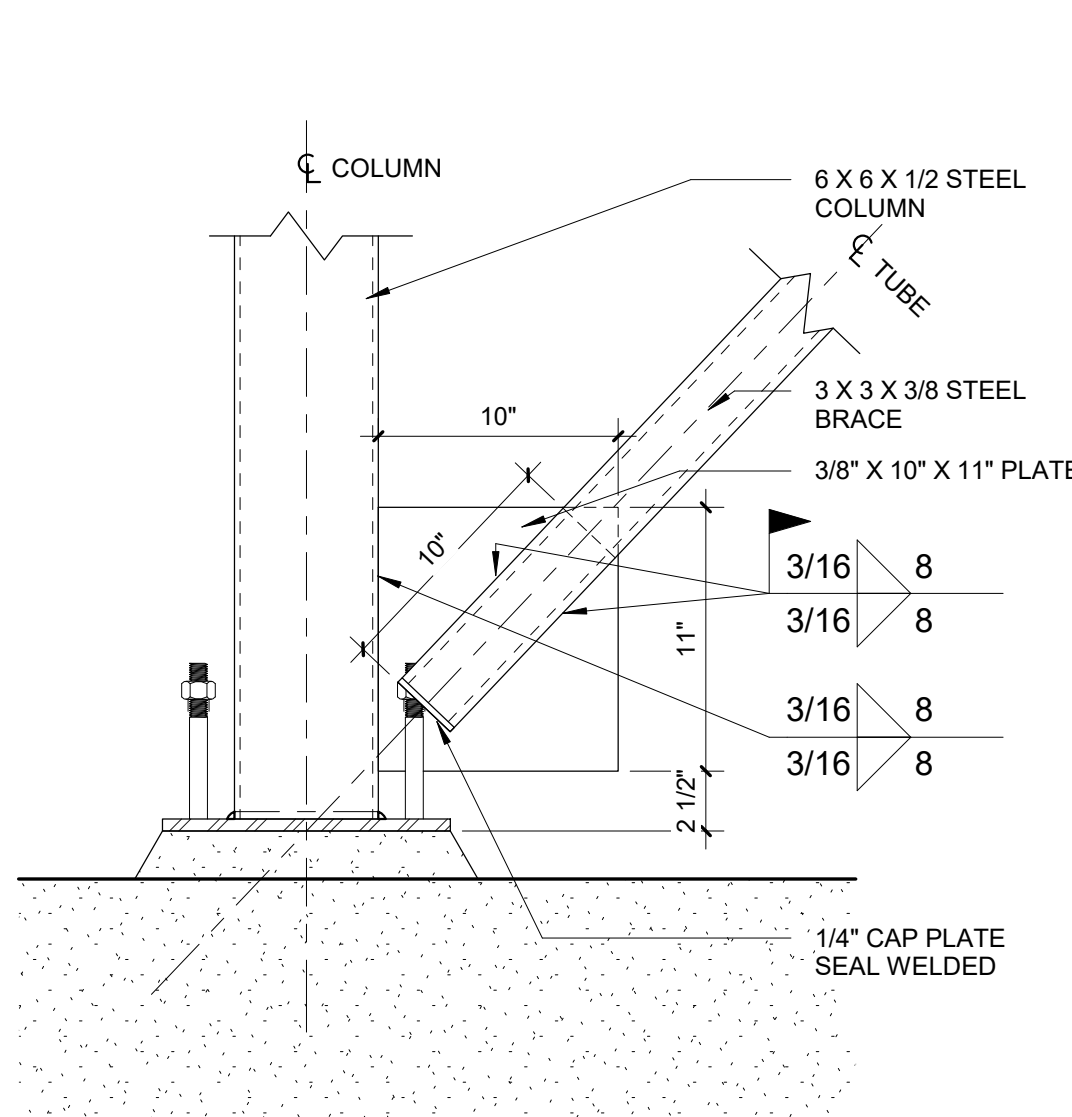


BOLT QUANTITY SCHEDULE	
SUPPORTED BEAM	QTY. 3/4" DIA A325N BOLTS
W8	2
W10 & W12	3
W14 & W16	4
W18	5
W21	6
W24	7



BOX BEAM HEADER SCHEDULE			
OPENING WIDTH	JACK STUD QUANTITY	KING STUD QUANTITY	HORIZONTAL MEMBER QTY. & CONFIG
0' - 0" TO 4' - 0"	1	2	(3) 6" x 16 GA. OR (2) 8" x 16 GA.
4' - 1" TO 8' - 0"	2	3	(3) 8" x 16 GA. OR (2) 10" x 16 GA.
8' - 1" TO 12' - 0"	3	4	(3) 10" x 16 GA.

- NOTES:
- USE INFORMATION IN THIS SCHEDULE UNLESS OTHERWISE NOTED ON PLAN.
 - SEE GENERAL STRUCTURAL NOTES FOR "COLD FORMED METAL FRAMING" FOR ADDITIONAL INFORMATION.
 - SEE Ref AND Ref FOR ADDITIONAL INFORMATION.
 - CONNECT KING STUD TO JACK STUDS WITH #10 SCREWS 12" O.C. MAX.



Project: **ABC Buxton**

Project No: **22041**

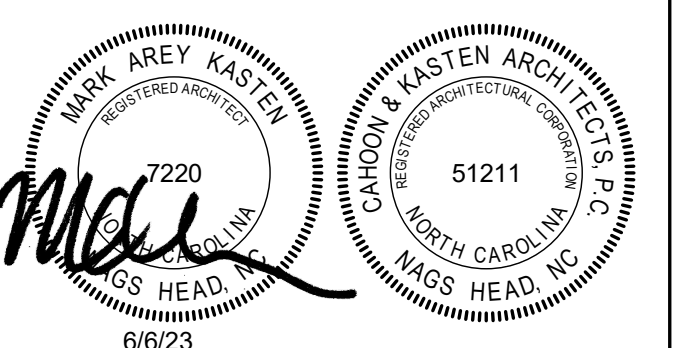
Location: **47290 Hwy 12 Buxton, NC**

Title: **Structural Details**

Date: **March 10, 2023**

Scale: **As indicated**

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Revisions:

No.	Description	Date
3	Misc. Add #3	6/6/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File: S202