

ABC Buxton

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ARCHITECTS

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ABBREVIATIONS

1R1S	(1) ROD + (1) SHELF	NCSBC	NORTH CAROLINA STATE BUILDING CODE
ACI	AMERICAN CONCRETE INSTITUTE	N.I.C.	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NO.	NUMBER
AFF	ABOVE FINISH FLOOR	NOM.	NOMINAL
AFG	ABOVE FINISH GRADE	O.C.	ON CENTER
AHU	AIR HANDLING UNIT	O.D.	OVERFLOW DRAIN/OUTSIDE DIAMETER
ALUM.	ALUMINUM	O.H.	OPPOSITE HAND
AM	ANTE MERIDEN	OPNG.	OPENING
ARCH.	ARCHITECTURAL	O/S	OUTSIDE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OTB	OPEN TO BELOW
BFE	BASE FLOOD ELEVATION	PC	PLUMBING CONTRACTOR
B.O.	BOTTOM OF	PH	PHASE
CJ	CONTROL JOINT	PJ	PANEL JOINT
CAB.	CABINET	PL	POINT LOAD
CLG.	CEILING	P-LAM	PLASTIC LAMINATE
CMU	CONCRETE MASONRY UNIT	PME	PLUMBING, MECHANICAL, & ELECTRICAL
CO	CLEANOUT	PP	PUSH PAD
CONC.	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CONC.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CPET	COMMON PATH OF EXIT TRAVEL	PSL	PARALLEL STRAND LUMBER
CW	COLD WATER	P.T.	PRESSURE TREATED
DBL	DOUBLE	PNTD	PAINTED
DR.	DOOR	P.W. / PWD	PLYWOOD
DWG.	DRAWING	RC	REINFORCED CONCRETE
DWV	DRAIN/WASTE/VENT	RCP	REFLECTED CEILING PLAN
DS	DOWNSPOUT	RD	ROOF DRAIN
DTL.	DETAIL	REINF	REINFORCED OR REINFORCING
EC	ELECTRICAL CONTRACTOR	REQD	REQUIRED
EJ	EXPANSION JOINT	RL	ROOF LEADER
ELECT.	ELECTRICAL	RUB	RUBBER
ELEV.	ELEVATION	SAN	SANITARY
ETC.	ETCETERA	SF	SQUARE FOOT OR SQUARE FEET
E.T.R.	EXISTING TO REMAIN	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SP	SOUTHERN PINE
EXIST.	EXISTING	SPF	SPRUCE/ PINE/ FIR
EXT.	EXTERIOR	SS	STAINLESS STEEL
FBGLS.	FIBERGLASS	STOR	STOREFRONT
FCP	FIBER CEMENT PANEL	STL.	STEEL
FD	FLOOR DRAIN	TD	TRAVEL DISTANCE
FF	FINISH FLOOR	TME	TO MATCH EXISTING
FEC	FIRE EXTINGUISHER CABINET	T.O.	TOP OF
FJ	FALSE JOINT	T.O.P.	TOP OF PLATE
FLR.	FLOOR	TRD.	TREAD
GC	GENERAL CONTRACTOR	TYP.	TYPICAL
GA	GUAGE	U.N.O.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	V	VOLTY VOLTAGE
GEN	GENERAL	VCT	VINYL COMPOSITE TILE
GS	GANG STUD	VERT.	VERTICAL
GWB	GYPSPUM WALL BOARD	VIF	VERIFY IN FIELD
H/C	HANDICAPPED	W/	WITH
HDWR	HARDWARE	WGL	WIRE GLASS
HM	HOLLOW METAL	WD	WOOD
HORIZ.	HORIZONTAL		
HP	HEAT PUMP		
IM	ICEMAKER		
INSUL.	INSULATION		
INT.	INTERIOR		
KW	KILOWATT		
LOCS.	LOCATIONS		
LSL	LAMINATED STRAND LUMBER		
MAX.	MAXIMUM		
MBT	MARBLE THRESHOLD		
MC	MECHANICAL CONTRACTOR		
MCJ	MASONRY CONTROL JOINT		
MEJ	MASONRY EXPANSION JOINT		
MECH.	MECHANICAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MT	METAL THRESHOLD		
MTL.	METAL		



1 Perspective

	DRAWING NUMBER	DRAWING TITLE
	DRAWING NUMBER	EXTERIOR ELEVATION KEY
	DRAWING NUMBER	INTERIOR ELEVATION KEY
	Name	LEVEL CALLOUT
	Elevation	DOOR TAG
		WINDOW TAG
		WALL TAG
	Room name	ROOM TAG
		DIMENSION (FACE OF STUD U.N.O.)
		SECTION KEY
		DETAIL KEY
		ENLARGED PLAN OR DETAIL KEY
		DRAWING SYMBOLS 1/4" = 1'-0"

Project: **ABC Buxton**

Project No: **22041**

Location: **47290 Hwy 12
Buxton, NC**

Title: **Cover Sheet**

Date: **September 18, 2023**

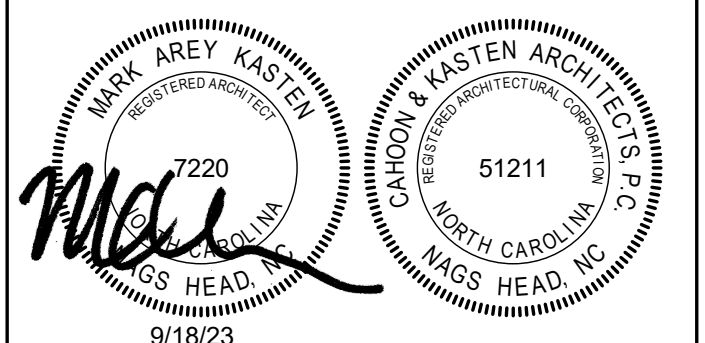
Scale: **1/4" = 1'-0"**

GENERAL CONSTRUCTION NOTES

- THESE DRAWINGS CONTAIN THE MINIMUM INFORMATION NECESSARY FOR ANY REPUTABLE CONTRACTOR TO UNDERTAKE CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE COMPLETION OF THE PROJECT. HE SHALL COMPLETE THE WORK IN THE BEST AND MOST WORKMANLIKE MANNER, AND DO EVERYTHING PROPERLY INCIDENTAL THERETO, AS SHOWN ON THE PLANS, REQUIRED BY ALL APPLICABLE CODES, AS RECOMMENDED BY PRODUCT MANUFACTURERS, AND IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE BEGINNING WORK. DIMENSIONS FOR NEW CONSTRUCTION SHOULD BE HELD TO THE MAXIMUM EXTENT POSSIBLE.
- PREMISES OF THE ENTIRE JOB SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF OSHA.
- PRIOR TO THE FINAL PAYMENT THE CONTRACTOR SHALL GIVE TO THE OWNER A LABELED BINDER CONTAINING A LIST OF ALL SUPPLIERS AND SUBCONTRACTORS WITH ADDRESSES AND PHONE NUMBERS, GUARANTEES, AND OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT. THE CONTRACTOR SHALL WARRANT THE WORK FOR A PERIOD OF ONE YEAR.
- IF A PORTION OF THE WORK HAS BEEN COVERED WHICH THE ARCHITECT HAS NOT SPECIFICALLY REQUESTED TO OBSERVE PRIOR TO ITS BEING COVERED, THE ARCHITECT MAY REQUEST TO SEE SUCH WORK AND IT SHALL BE UNCOVERED BY THE CONTRACTOR, IF SUCH WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. COSTS OF UNCOVERING AND REPLACEMENT SHALL, BY APPROPRIATE CHANGE ORDER, BE CHARGED TO THE ARCHITECT, IF SUCH WORK IS NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PAY SUCH COSTS UNLESS THE CONDITION WAS CAUSED BY THE OWNER OR A SEPARATE CONTRACTOR IN WHICH EVENT THE OWNER SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH COSTS. THE CONTRACTOR SHALL PROMPTLY CORRECT THE WORK REJECTED BY THE ARCHITECT OR FAILING TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ALL CONCRETE SHALL BE 3000 PSI MINIMUM, AND ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE ACI AND ASTM.
- LIGHT GAUGE STEEL FRAMING SHALL BE IN ACCORDANCE WITH THE LIGHT-GAUGE STEEL FRAMING CONSTRUCTION MANUAL AND AS PER ASTM A448, A570, OR A611.
- REINFORCING BARS FOR CONCRETE WORK SHALL BE GRADE #6, DEFORMED AS PER ASTM A615.
- WELDED WIRE FABRIC SHALL BE AS PER ASTM A185 OF SIZES AND TYPE AS SHOWN ON DRAWINGS.
- METAL TIE DOWN STRAPS, ANCHORS AND CLIPS SHALL BE AS PER "SIMPSON STRONGTIE" OR EQUAL.
- WOOD FRAMING AND BLOCKING SHALL BE #2 SPF OF THE SIZES INDICATED AND SHALL HAVE A MIN. F_b VALUE OF 1200 PSI.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ROOFING IN ACCORDANCE WITH NRCA REQUIREMENTS AND THE ROOFING PRODUCT MANUFACTURER'S RECOMMENDATIONS INCLUDING WATERPROOFING OF ALL PENETRATIONS AND SUPPORTS FOR MECHANICAL EQUIPMENT, AND AS SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL DETERMINE BEFORE BEGINNING WORK WHETHER AN ELEVATION CERTIFICATE WILL BE REQUIRED AND SHALL OBTAIN THE CERTIFICATE AT THE EARLIEST OPPORTUNITY. ONE COPY MUST BE PROVIDED FOR THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION. INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH SHEATHING AND GWB OF WALL CAVITY. FLOOR AND CEILING INSULATION SHALL BE IN FULL CONTACT WITH GWB. INSULATION SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS, WITH NO SUBSTANTIAL GAPS, Voids, COMPRESSION OR WIND INTRUSION.
- SOIL SHALL BE FREE OF ORGANIC MATERIAL AND CONSOLIDATED TO BE CAPABLE OF 1,500 PSF AND LIMIT LONG TERM SETTLEMENT.
- CAULK ALL GAPS IN FRAMING AND SHEATHING AT FRAMING ROUGH-IN. CAULK GAPS IN GWB NOT SEALED BY TAPE AND JOINT COMPOUND. AIR TIGHTNESS SHALL BE LESS THAN OR EQUAL TO .30 CFM50 PER SQUARE FOOT OF CONDITIONED ENVELOPE AREA.

Drawing Index	
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A003	Life Safety Plans
C1	Civil Site Plans
C2	Civil Grading Plan
C3	Civil Erosion Plan
C4	Civil Site Details
C5	Civil Storm Water Details
C6	Civil E&S Details
C7	Civil E&S Notes & Details
C8	Civil E&S Notes & Details
C8	Paving & Lighting Diagram
1	Waste Water Plan
2	Waste Water Details
A101	Foundation Plan
A102	First Floor Plan
A103	Mezzanine Floor Plan
A104	Roof Plan
A105	Roof Framing Plan
A106	Reflected Ceiling Plans
A107	Equipment
A201	Elevations
A202	Elevations
A301	Building Sections
A302	Building Sections
A401	Interior Elevations
A501	Wall Sections
A502	Wall Sections & Details
A503	Details
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P101	Plumbing Waste Plan
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P103	Plumbing Second Floor Supply Plan
P201	Plumbing Notes, Details, & Schedules
P202	Plumbing Riser Diagram & Details
M101	Mechanical First Floor Plan
M102	Mechanical Mezzanine Plan
M201	Mechanical Notes & Details
M301	Mechanical Details
E101	Electrical First Floor Plans
E102	Electrical Mezzanine Plans
E201	Electrical Panel Schedules & Details
E301	Electrical Notes, Schedules, & Details

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A001

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: ABC Buxton
 Address: 47290 Hwy 12
Buxton, NC
 Owner/Authorized Agent: Owner
 Phone #: _____ E-Mail: _____
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City County State

CONTACT: Mark Kastan, AIA

DESIGNER	FIRM	NAME	LIC #	TELEPHONE #	E-MAIL
Architectural	Cahoon + Kastan Architects	Mark Kastan	7220	252.441.0271	mark@cbkarchitects.com
Civil	Deel Engineering, PLLC	David A. Deel	205258	252.202.3803	dadeeleng@gmail.com
Electrical	Atlantec Engineers, P.A.	David J. Whitney	17382	919.571.1111	david@atlantecengineers.com
Fire Alarm					
Plumbing	Atlantec Engineers, P.A.	James B. Delpapa	22035	919.571.1111	jim@atlantecengineers.com
Mechanical	Atlantec Engineers, P.A.	James B. Delpapa	22035	919.571.1111	jim@atlantecengineers.com
Sprinkler-Standpipe					
Structural	Kitty Hawk Engineering	Barrett Crook	027540	252.655.1056	barretcrook@kittyhawkengineering.com
Retaining Walls >5'h					
Other					

2018 NC BUILDING CODE: New Building Addition 1st Time Interior Completion
 Shell / Core* Phased Construction*

*Contact the local inspection jurisdiction for possible additional procedures and requirements.
2018 NC EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III

CONSTRUCTED: (date) _____ **CURRENT OCCUPANCY(S)** (Ch. 3): _____
RENOVATED: (date) _____ **PROPOSED OCCUPANCY(S)** (Ch. 3): _____
RISK CATEGORY (Table 1604.5): **Current:** _____ **Proposed:** _____

BASIC BUILDING DATA
Construction Type (check all that apply): I-A II-A III-A IV V-A
 I-B II-B III-B V-B
Sprinklers: No Partial NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Class I II III Wet Dry
Primary Fire District: No Yes **Flood Hazard Area:** No Yes
Special Inspections Required: No Yes If special inspections are required, contact the local inspection jurisdiction for additional procedures and requirements.

Gross Building Area Table			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine		907 SF	907 SF
1st Floor		6306 SF	6306 SF
Basement			
Total		7213 SF	7213 SF

ALLOWABLE AREA

Primary Occupancy Classification(s):
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Defflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-1 & I-2 Condition 1 2
 I-3 I-4 I-3 Condition 1 2 3 4 5
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High Pile Repair Garage
 Utility and Miscellaneous

Accessory Occupancy Classification(s): _____
Incidental Uses (Table 509): _____
Special Uses (Chapter 4 - List Code Sections): _____
Special Provisions (Chapter 5 - List Code Sections): _____
Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
 Non-Separated Use (508.3) Separated Use (508.4) See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} = \leq 1$$

$$+ \dots = \leq 1$$

STORY #	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
1	Retail	7213 SF	9000 SF		9000 SF
	Building Area	7213 SF	Maximum Allowable Building Area		

¹Frontage area increases from Section 506.3 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 b. Total Building Perimeter = _____ (P)
 c. Ratio (F/P) = _____ (F/P)
 d. W = Minimum width of public way = _____ (W)
 e. Percent of frontage increase If = 100 [F/P - 0.25] x W/30 = _____ (%)
²Unlimited area applicable under conditions of Section 507.
³Maximum Building Area = total number of stories in the building x D (maximum 3 stories)(506.2).
⁴The maximum area of open parking garages must comply with Table 406.5.4.
⁵Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE ¹
Building Height in Feet (Table 504.3) ²	55'	22	
Building Height in Stories (Table 504.4) ³	2	1	

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
 2. The maximum height of air traffic control towers must comply with Table 412.3.1.
 3. The maximum height of open parking garages must comply with Table 406.5.4.

PERCENTAGE OF WALL OPENING CALCULATIONS				
WALL	FIRE SEPARATION DISTANCE FROM PROPERTY LINES (FEET)	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQD	RATING		DETAIL# AND SHEET#	DESIGN# FOR ASSEMBLY	SHEET# FOR RATED PENETRATION	SHEET# FOR RATED JOINTS
			PROVIDED (W/ REDUCTION)	* SHEET#				
Structural frame, including columns, girders, & trusses		0						
Bearing walls								
Exterior								
North		0						
East		0						
West		0						
South		0						
Interior		0						
Nonbearing walls and partitions								
Exterior walls								
North		0						
East		0						
West		0						
South		0						
Interior walls and partitions		0						
Floor construction including supporting beams and joists		0						
Floor Ceiling Assembly		0						
Columns Supporting Floors		0						
Roof Construction, including supporting beams and joists		0						
Roof Ceiling Assembly		0						
Columns Supporting Roof		0						
Shafts Enclosures - Exit								
Shafts Enclosures - Other								
Corridor Separation								
Occupancy/ Fire Barrier Separation								
Party/Fire Wall Separation								
Smoke Barrier Separation								
Smoke Partition								
Tenant/Dwelling Unit/ Sleeping Unit Separation								
Incidental Use Separation								

* Indicate section number permitting reduction

LIFE SAFETY SYSTEM REQUIREMENTS
 Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes Partial
 Smoke Detection Systems: No Yes Partial
 Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS
 Life Safety Plan Sheet #: _____
 Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculations (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (1006.2.1 & 1006.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification 1-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)								
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED	

ACCESSIBLE PARKING (SECTION 1106)						
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

USE	PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)					
	WATERCLOSETS	URINALS	LAVATORIES	SHOWERS	DRINKING FOUNTAINS	
	MALE/FEMALE/UNISEX	MALE/FEMALE/UNISEX	/TUBS	REGULAR	ACCESSIBLE	
EXISTING						
NEW	2				2	
REQD	2	0			2	0 0 0

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHA, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: (If checked the remainder of this section is not applicable.)

Exempt Building: Provide code or statutory reference: _____

Climate Zone: 3A 4A 5A

Method of Compliance:
 Energy Code Performance Prescriptive
 ASHRAE 90.1 Performance Prescriptive
 Other Performance (specify source) _____

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____ R38 Batt Insulation
 Skylights in each assembly:
 U-Value of skylights: _____
 total s.f. of skylights in each assembly: _____

Exterior Walls (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____ R7.5 CI & R19 Batt Insulation
 Openings (windows or doors with glazing)
 U-Value of assembly: _____
 Solar heat gain coefficient: _____
 Projection factor: _____
 Door R-Values: _____

Walls below grade (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 Slab heated: _____

Floors over unconditioned space (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors slab on grade
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 Slab heated: _____

STRUCTURAL DESIGN

DESIGN LOADS

Importance Factors: Wind (I_w) 1
 Snow (I_s) 1
 Seismic (I_e) 1

Live Loads: Roof 20 psf
 Mezzanine 125 psf
 Floor 100 psf

Ground Snow Load: 20 psf

Wind Load: Basic Wind Speed 140 mph (ASCE-7)
 Exposure Category C

SEISMIC DESIGN CATEGORY: A B C D
 Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5) I II III IV
Spectral Response Acceleration S_s 0.076 %g S₁ 0.044 %g
Site Classification (ASCE-7) A B C D E F
 Data Source: Field Test Presumptive Historical Data

Basic structural system (check one)
 Bearing wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum

Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITIES:
 Field Test (provide copy of test report) _____ psf
 Presumptive Bearing capacity 1500 psf
 Pile size, type, and capacity _____

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
 winter dry bulb: _____
 summer dry bulb: _____

Interior design conditions
 winter dry bulb: _____
 summer dry bulb: _____
 relative humidity: _____

Building heating load: _____

Building cooling load: _____

Mechanical Spacing Conditioning System
 Unitary
 description of unit: _____
 heating efficiency: _____
 cooling efficiency: _____
 size category of unit: _____
 Boiler
 Size category. If oversized, state reason: _____
 Chiller
 Size category. If oversized, state reason: _____

List equipment efficiencies: _____

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance:
 Energy Code: Prescriptive Performance
 ASHRAE 90.1: Prescriptive Performance

Lighting Schedule (each fixture type)
 lamp type required in fixture _____
 number of lamps in fixture _____
 ballast type used in the fixture _____
 number of ballasts in fixture _____
 total wattage per fixture _____
 total interior wattage specified vs. allowed (whole building space by space) _____
 total exterior wattage specified vs. allowed _____

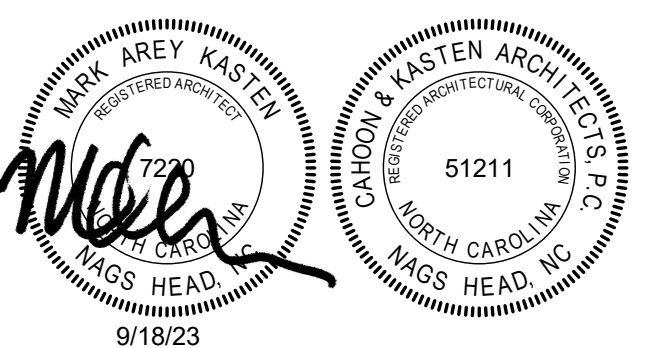
Additional Efficiency Package Options
 (When using the 2018 NCECC; not required for ASCE 90.1)
 C406.2 More Efficient HVAC Equipment Performance
 C406.3 Reduced Lighting Power Density
 C406.4 Enhanced Digital Lighting Controls
 C406.5 On-Site Renewable Energy
 C406.6 Dedicated Outdoor Air System
 C406.7 Reduced Energy Use in Service Water Heating

SEE MECHANICAL

SEE ELECTRICAL

Project: **ABC Buxton**
 Project No: **22041**
 Location: **47290 Hwy 12**
Buxton, NC
 Title: **Appendix B**
 Date: **September 18, 2023**
 Scale: _____

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Revisions:

No.	Description	Date

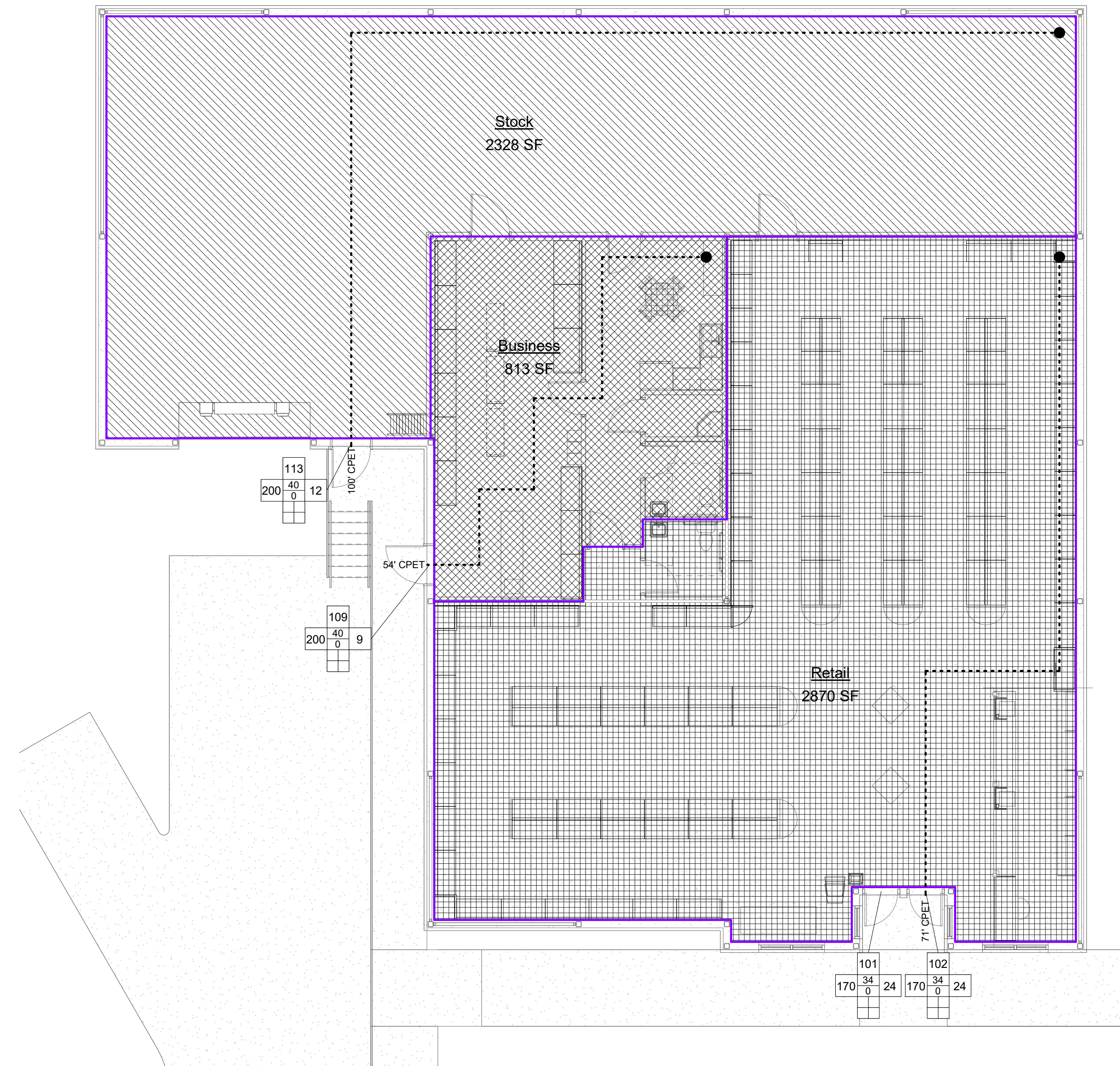
Designed: MAK
 Drawn: MAK
 Reviewed: MAK
 Cad File: _____

A002

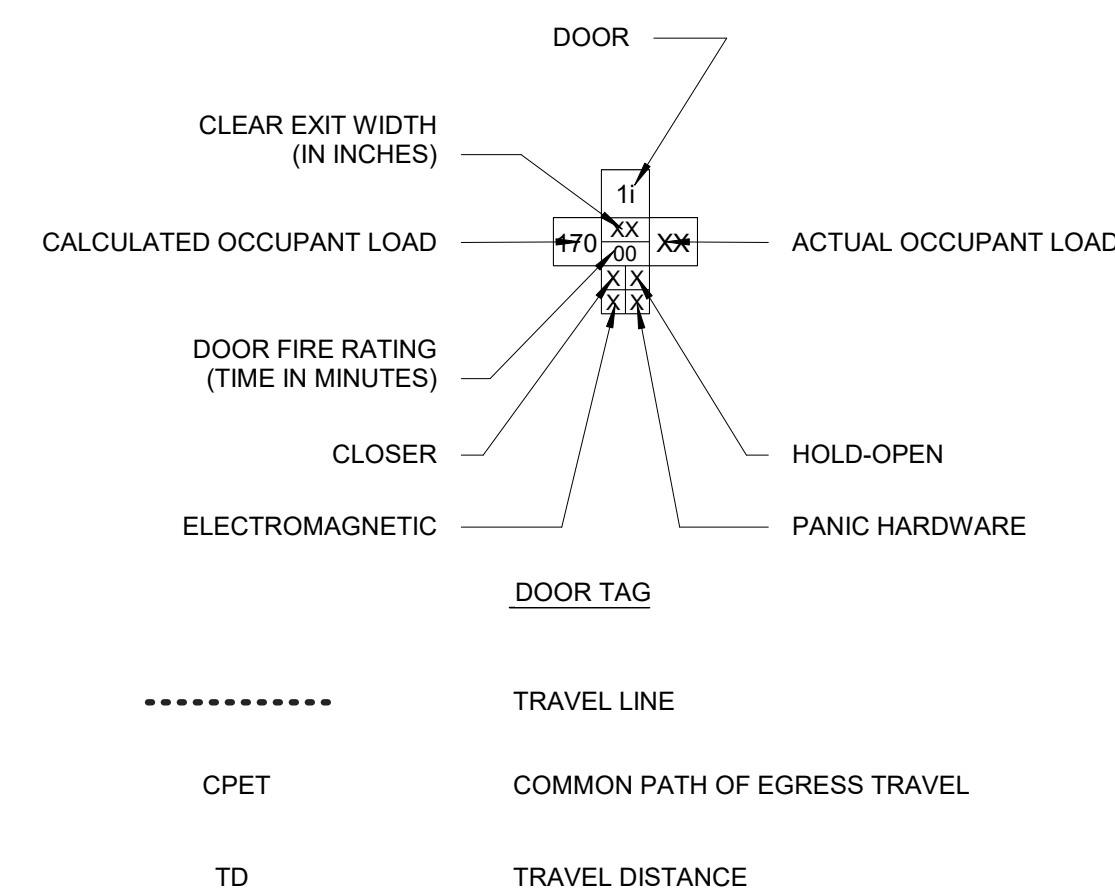


② (2) Mezzanine
1/8" = 1'-0"

Occupant Schedule						
Number	Name	Area	Occupancy	Occupancy S.F. Type	Area Per Occupant	Occupants
2	Retail	2870 SF	Mercantile	Gross	60 SF	48
3	Business	813 SF	Business Areas	Gross	100 SF	9
4	Stock	2328 SF	Mercantile - Storage, Stock, Shipping Areas	Gross	300 SF	8
5	Storage Mezzanine	907 SF	Mercantile - Storage, Stock, Shipping Areas	Gross	300 SF	4
						69



① (1) First Floor
1/8" = 1'-0"



○ Life Safety Legend
1/4" = 1'-0"

Project: **ABC Buxton**

Project No: **22041**

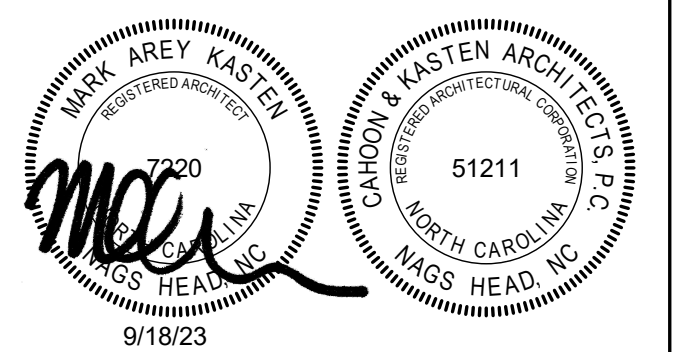
Location: **47290 Hwy 12
Buxton, NC**

Title: **Life Safety Plans**

Date: **September 18, 2023**

Scale: **As indicated**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

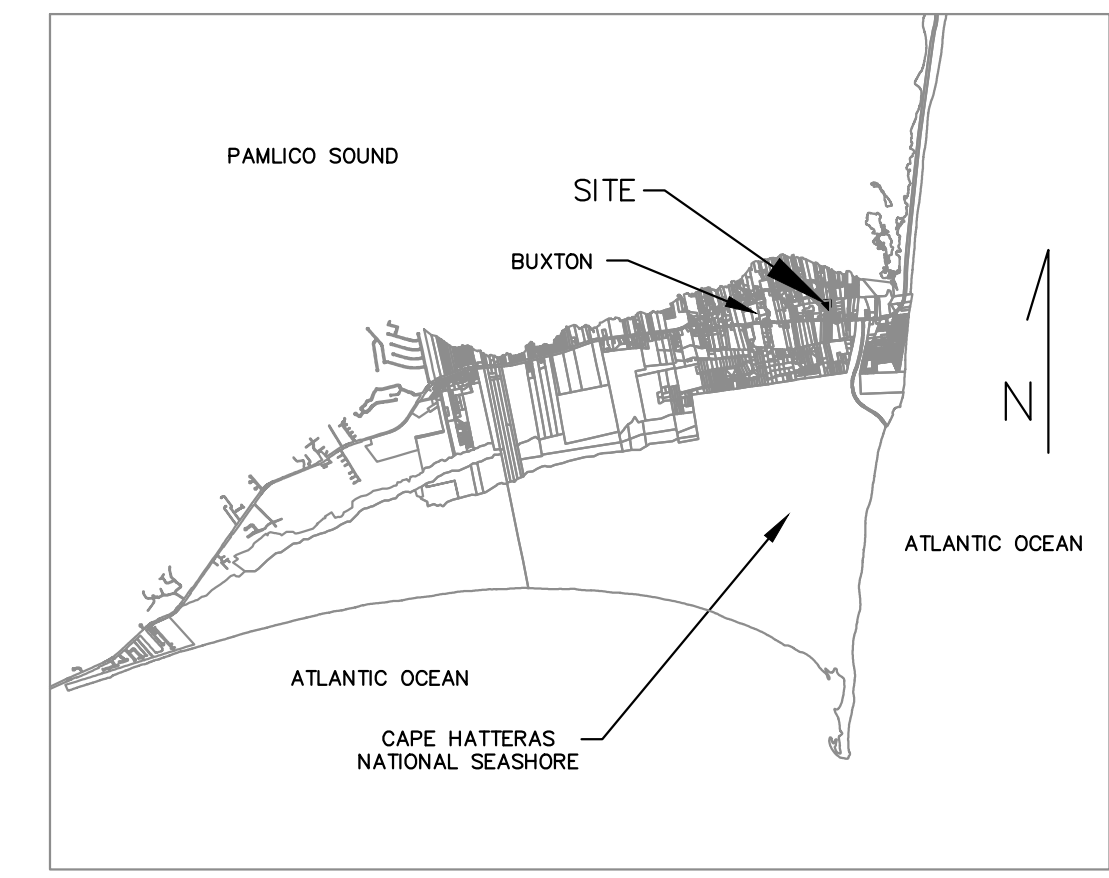
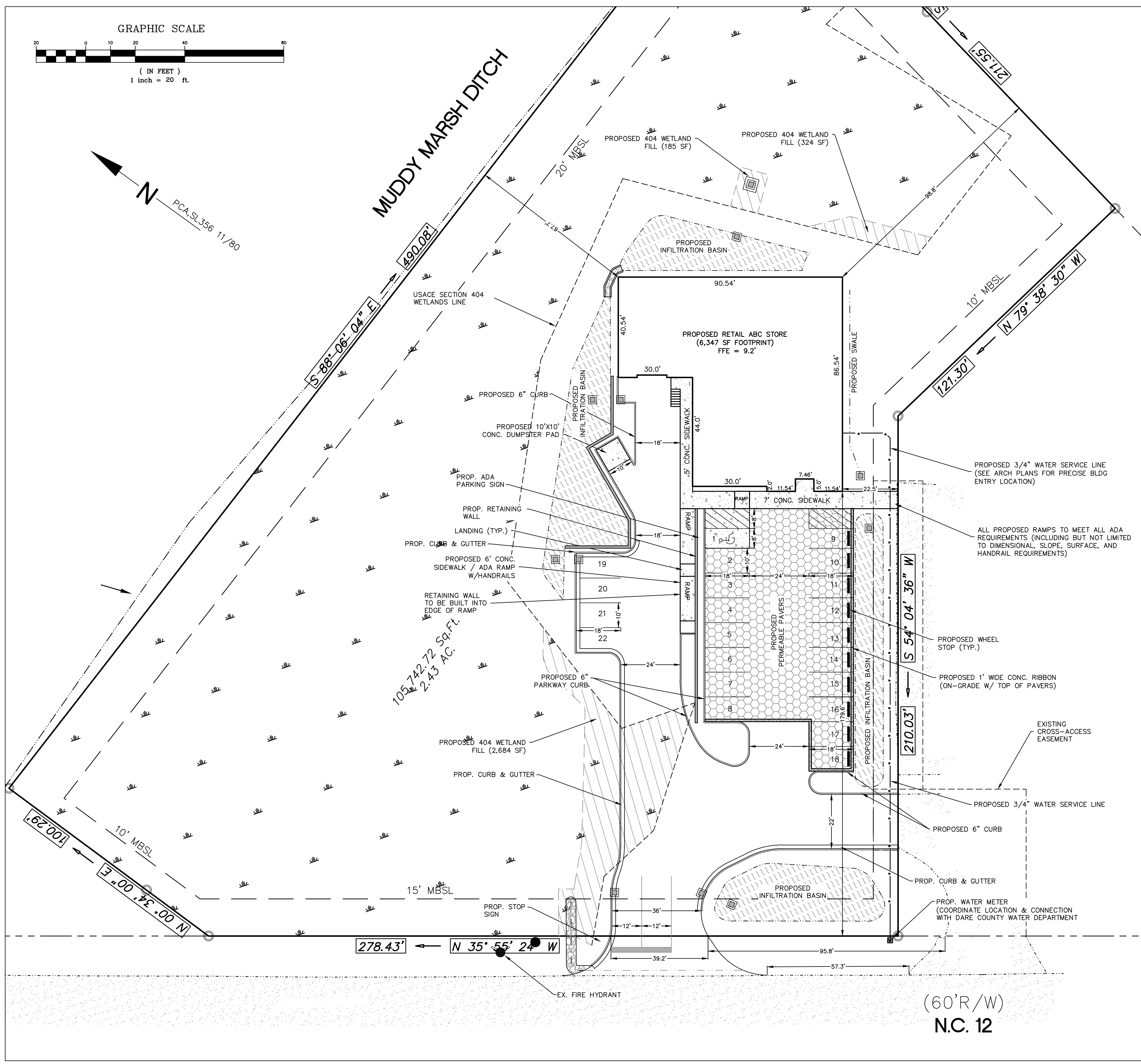
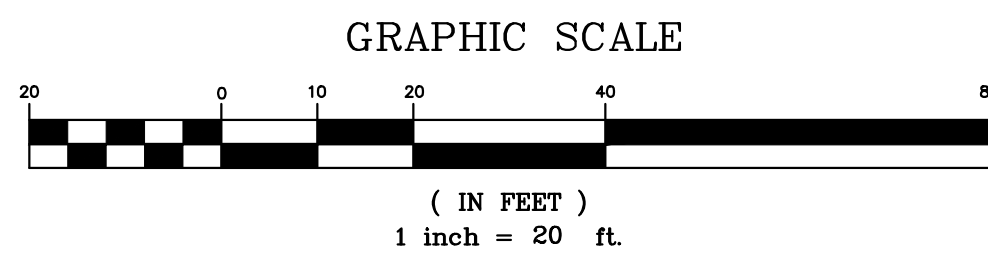


Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

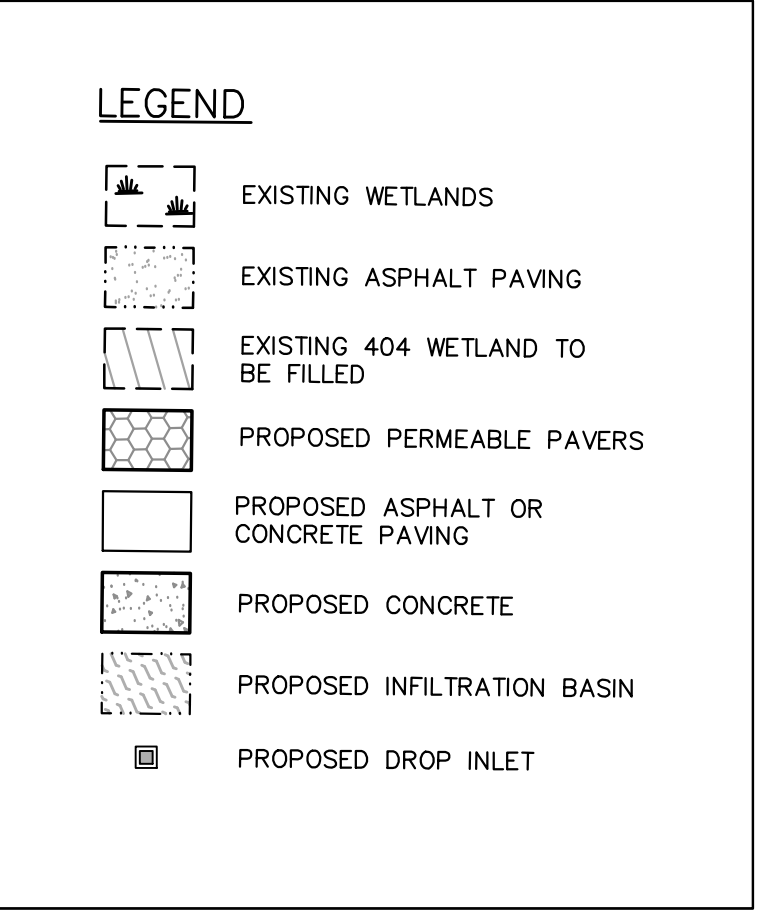
A003



VICINITY MAP
NOT TO SCALE

SITE NOTES:

- OWNER / APPLICANT: DARE COUNTY ABC BOARD
P.O. BOX 1879
NAGS HEAD, NC 27959
- SITE ADDRESS: 47290 NC HWY 12, BUXTON, NC
RECORDED REFERENCE: DB 2588 PG 137
PIN NO. 053719503261
- TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN ON PLAN BASED ON SURVEY BY BARNETTE INTEGRATED LAND DEVELOPMENT DATED 12/9/2021. ELEVATION DATUM NAVD 1988.
- F.I.R.M. ZONE: "AE" (B.F.E. = 6.0') (R.F.P.E. = 8.0')
- ZONE: C-3 COMMERCIAL
PROPOSED USE: RETAIL
- SCOPE OF PROJECT: THE DARE ABC BOARD PROPOSES TO CONSTRUCT A NEW RETAIL SITE IN BUXTON ALONG WITH ASSOCIATED PARKING, STORMWATER, AND UTILITY INFRASTRUCTURE.
- PROPOSED BUILDING WILL BE SINGLE STORY
- A USACE FILL PERMIT WILL BE OBTAINED PRIOR TO ANY WORK LOCATED WITHIN USACE JURISDICTIONAL WETLANDS.
- PARKING: 1 SP/200 SF RETAIL AREA x 2,409 SF = 13 SPACES
-PLUS-
1 SP/EMPLOYEE x 3 EMPLOYEES = 3 SPACES (ACCOUNTS FOR WAREHOUSE AREA)
TOTAL PARKING REQUIRED: 16 SPACES
PARKING PROVIDED: 22 SPACES
- LOT COVERAGE: PARCEL AREA = 105,743 SF (2.43 AC)
IMPERVIOUS COVERAGE:
PROPOSED BUILDING = 6,347 SQ.FT.
PROPOSED SIDEWALK = 1,225 SQ.FT.
PROPOSED CONC/ASPHALT TRAVEL AISLE = 9,625 SQ.FT.
PROPOSED PERMEABLE PAVERS = 5,047 SQ.FT.
PROPOSED MISC. COVERAGE = 182 SQ.FT.
FUTURE MISC. COVERAGE = 600 SQ.FT.
TOTAL IMPERVIOUS = 23,026 SQ.FT. (21.8%)
(60% ALLOWABLE)
- SITE LIGHTING: PLEASE SEE ARCHITECTURAL PLANS FOR SITE LIGHTING
- SIGNAGE: SIGNAGE WILL BE PERMITTED SEPARATELY. SIGNAGE PLAN WILL BE SUBMITTED WITH SEPARATE SIGNAGE PERMIT APPLICATION.



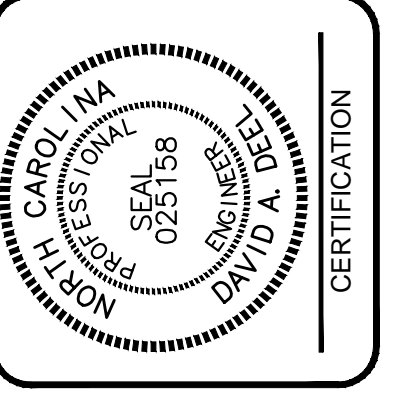
NOTE:
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CIVIL ENGINEERING SERVICES
FIRM LICENSE P-1045
1004 WEST 8TH STREET
MILL DEVI HILLS, NC 27948
Phone: (252) 302-3603 E-Mail: doehel@deel.com

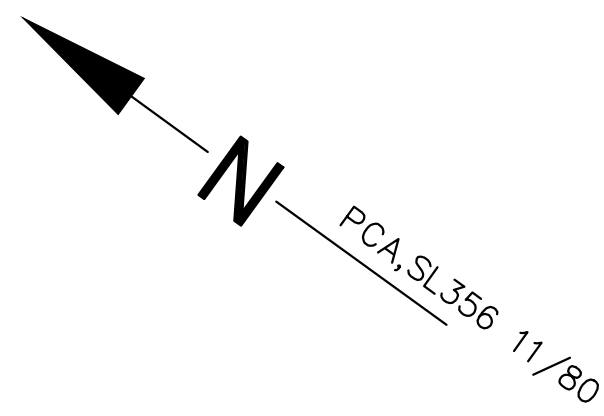
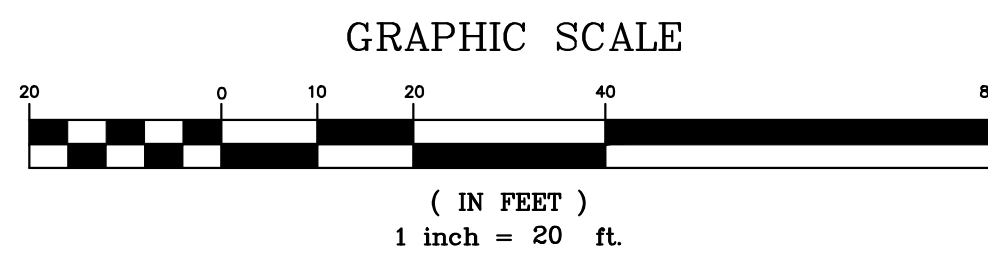
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ISSUED FOR PERMITTING	REVISED FEE PER DARE CO. COMMENT	NO.	DATE	REVISIONS
1	11/22/22			
2	12/15/22			

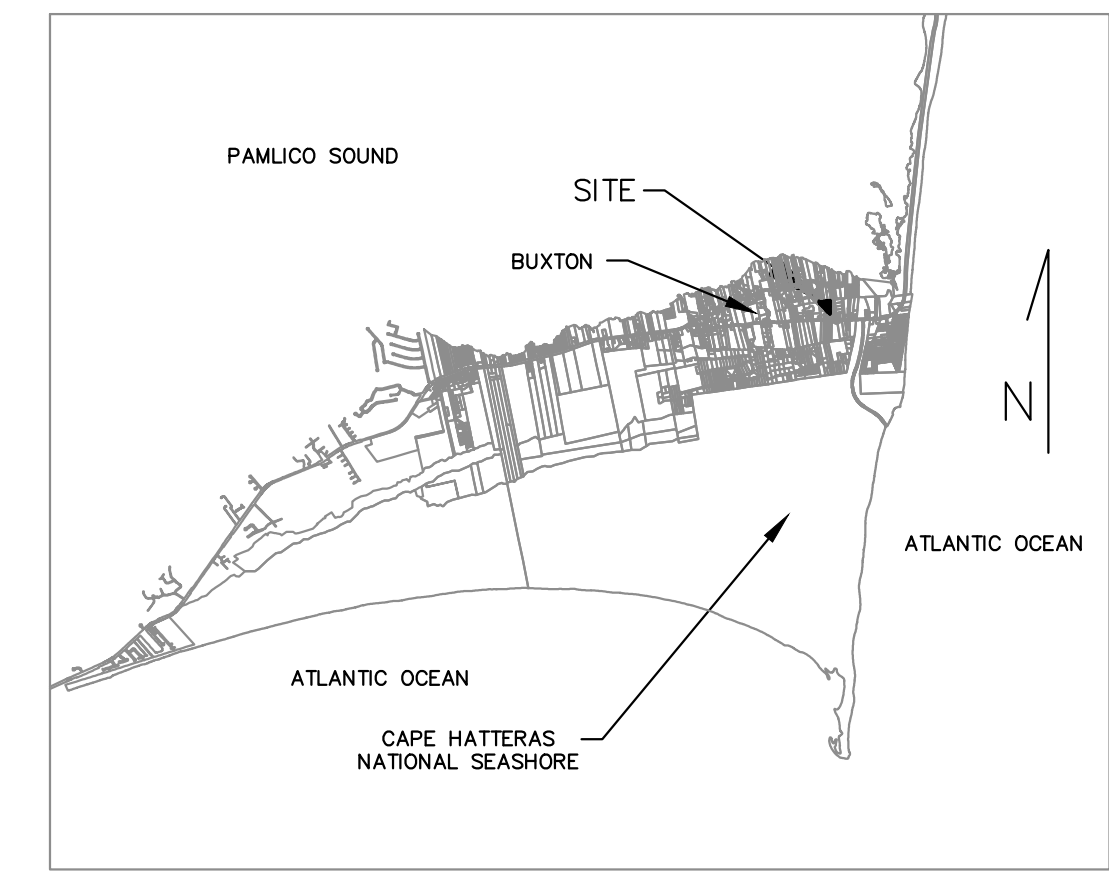
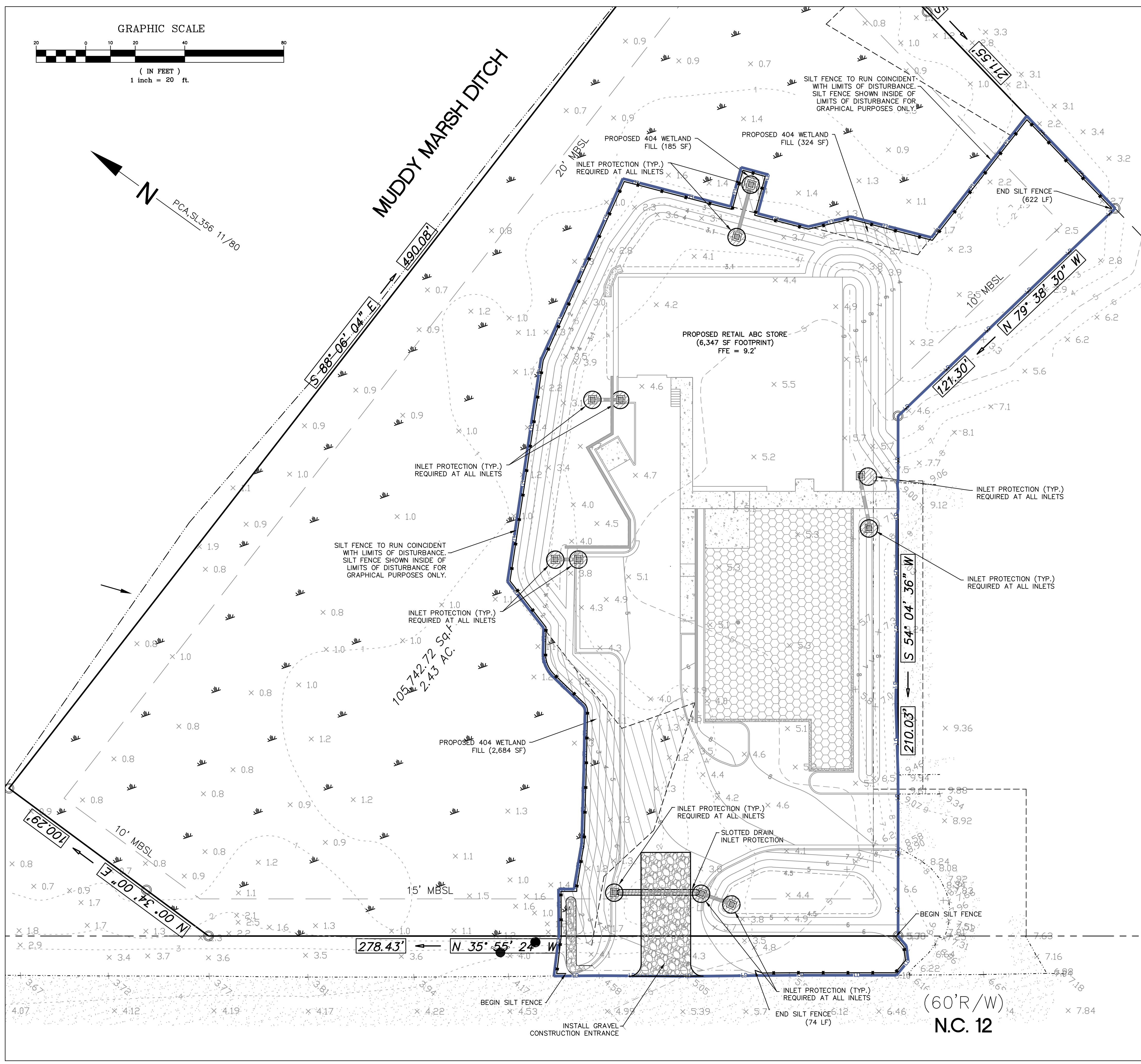


SITE PLAN
DARE ABC RETAIL - BUXTON
47290 NC HWY 12, BUXTON, NC

COMMISSION NO. P2021-20
DESIGNED BY DAD
DRAWN BY DAD
CHECKED BY DAD
ISSUE DATE 7/25/2022
SHEET NO. **C1**



MUDDY MARSH DITCH



VICINITY MAP
NOT TO SCALE

SITE NOTES:

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P.O. BOX 1879
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- A USACE FILL PERMIT WILL BE OBTAINED PRIOR TO ANY WORK LOCATED WITHIN USACE JURISDICTIONAL WETLANDS.

LEGEND

	EXISTING WETLANDS
	EXISTING ASPHALT PAVING
	EXISTING 404 WETLAND TO BE FILLED
	PROPOSED PERMEABLE PAVERS
	PROPOSED ASPHALT OR CONCRETE PAVING
	PROPOSED CONCRETE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED STORM SEWER
	PROPOSED DROP INLET
	PROPOSED SWALE
	PROPOSED TRENCH DRAIN INLET PROTECTION
	PROPOSED SILT FENCE
	LIMITS OF DISTURBANCE
	PROPOSED PIPE INLET PROTECTION

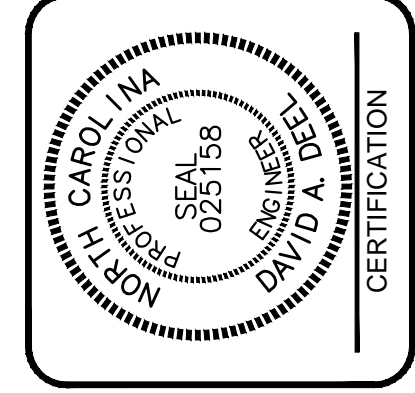
NOTE:
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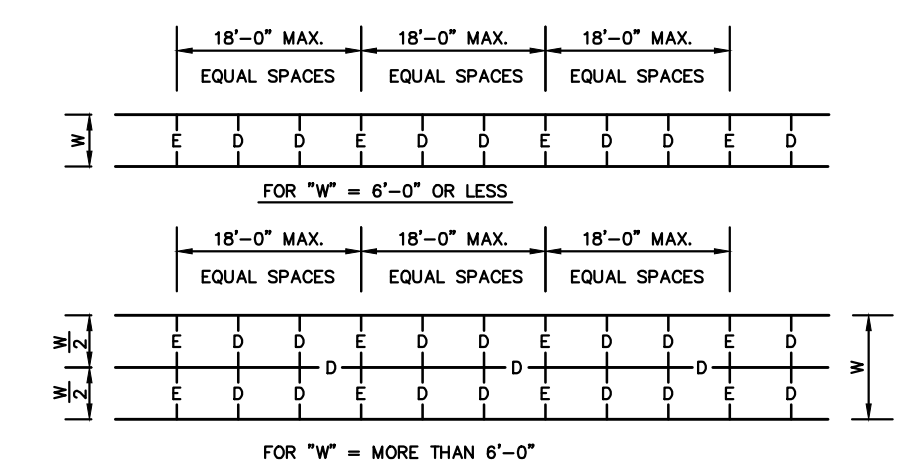
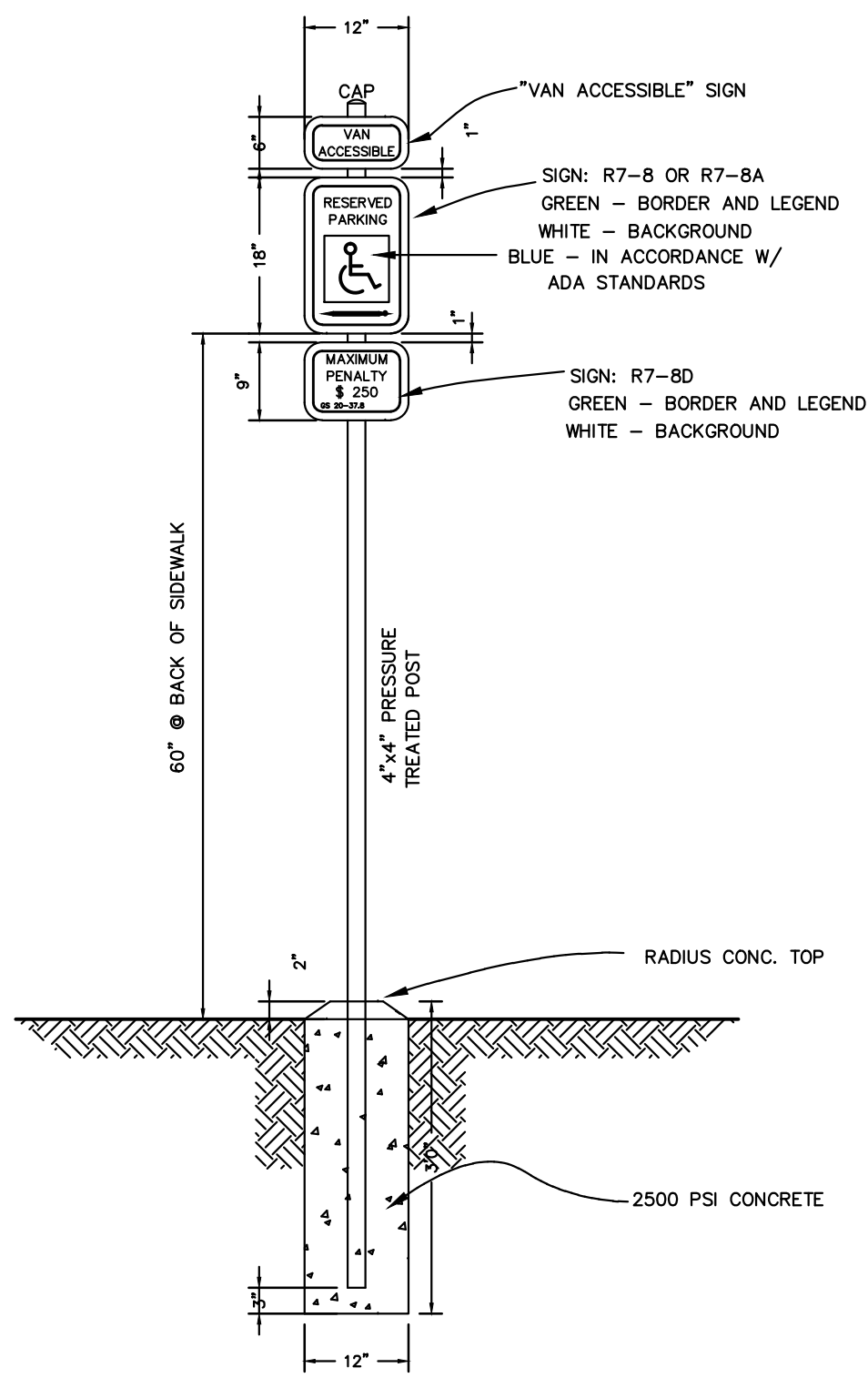
NO.	DATE	REVISIONS
1	11/22/22	ISSUED FOR PERMITTING
2	12/15/22	REVISED FEE PER DARE CO COMMENT



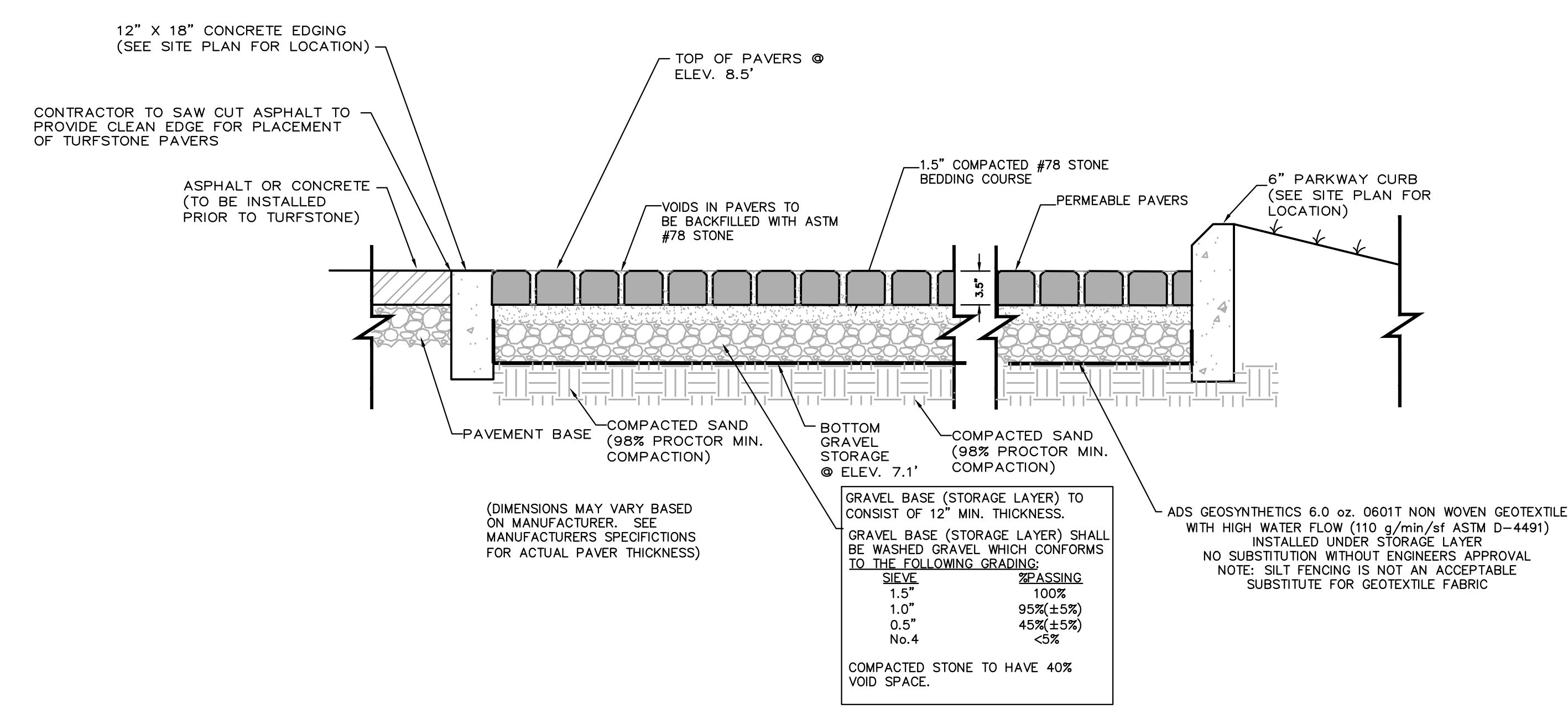
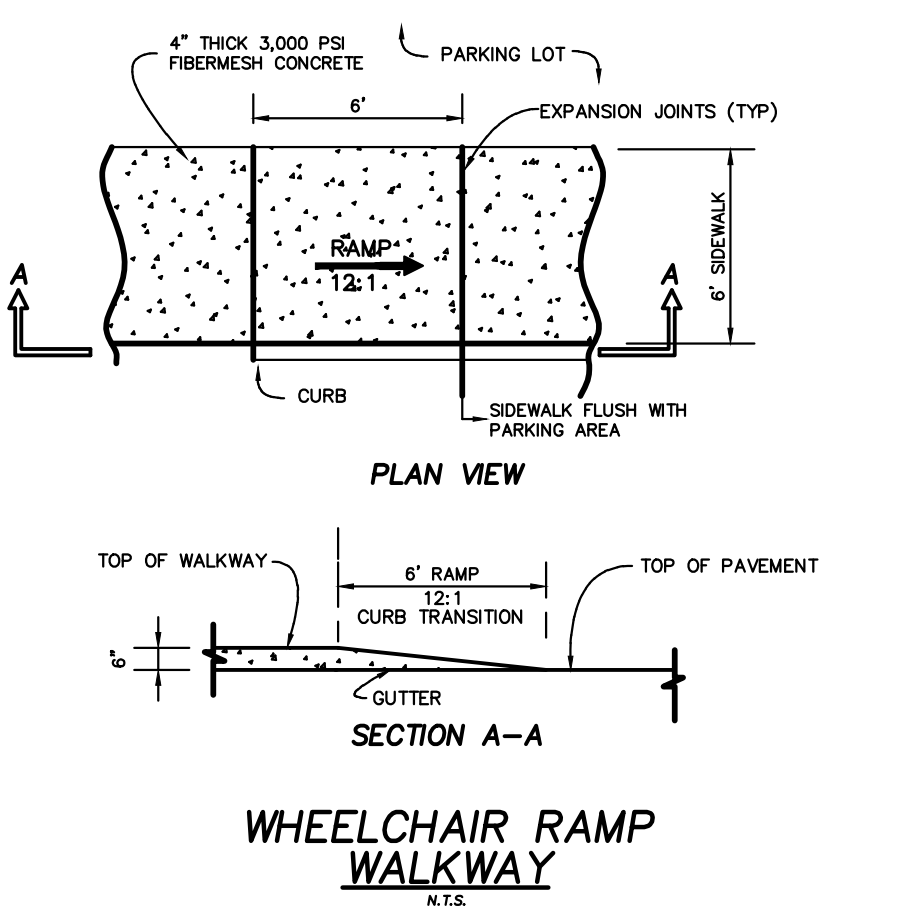
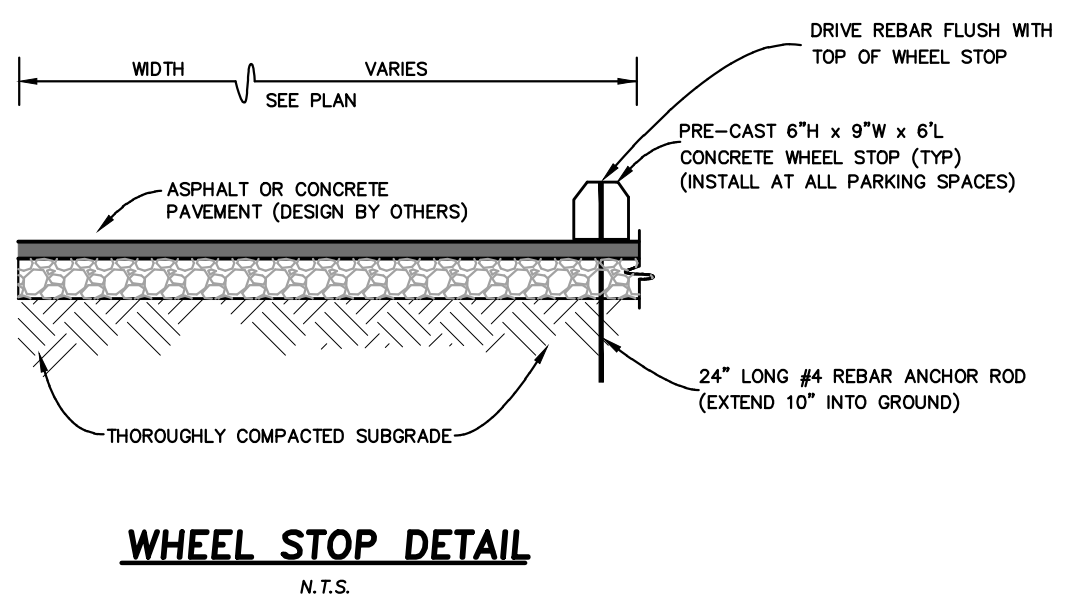
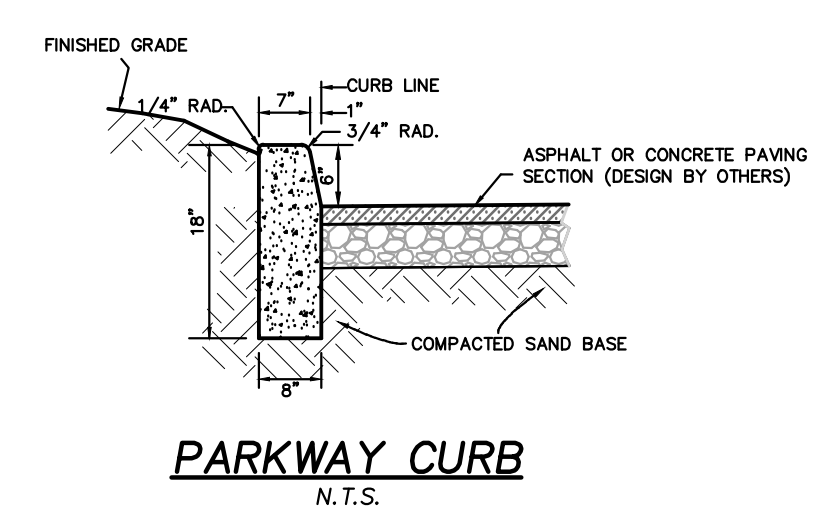
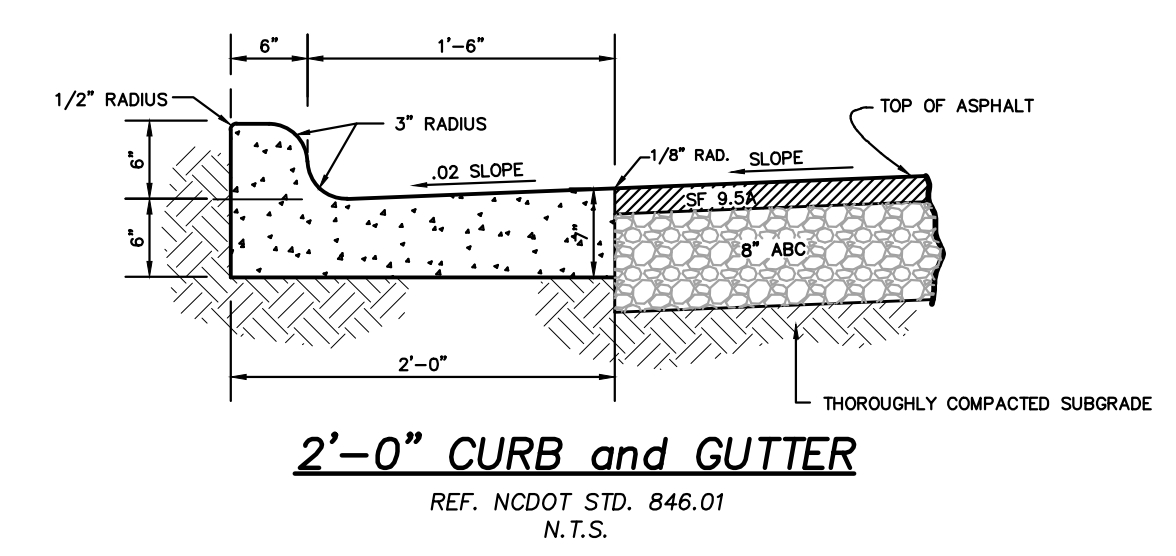
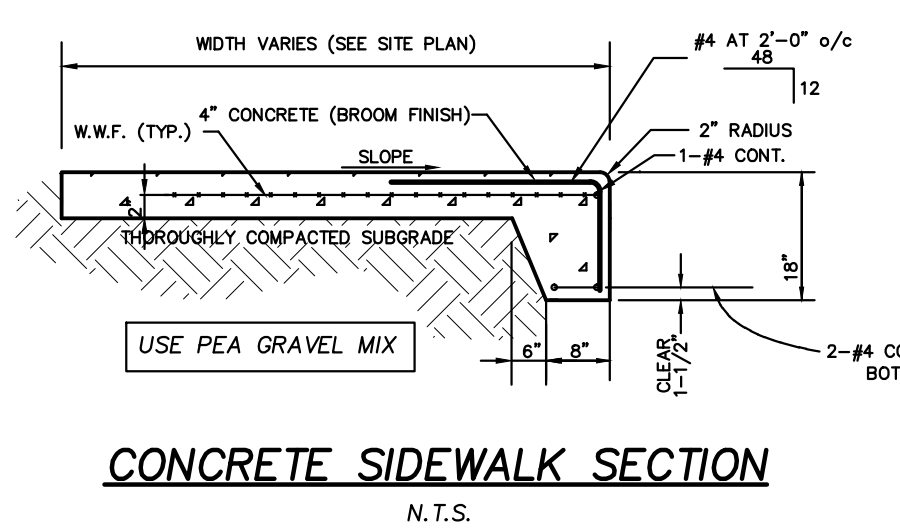
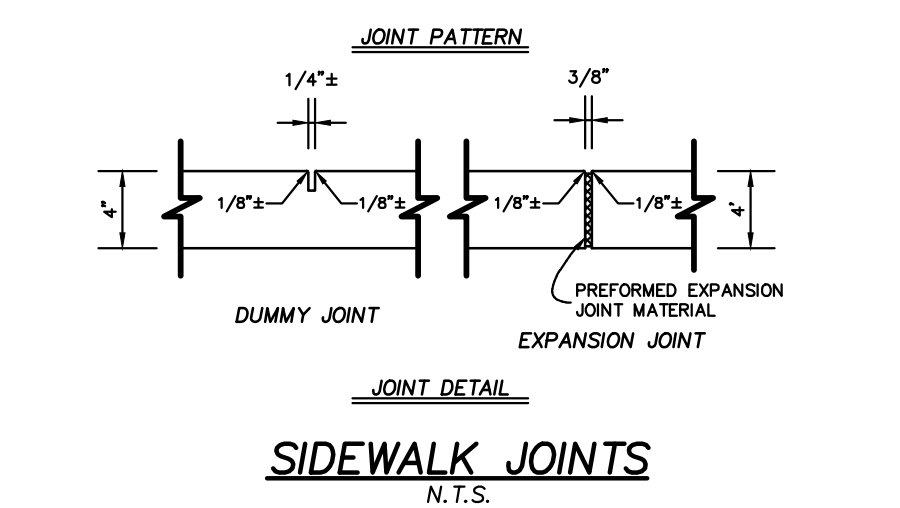
EROSION CONTROL PLAN
DARE ABC RETAIL - BUXTON
47290 NC HWY 12, BUXTON, NC

COMMISSION NO.	P2021-20
DESIGNED BY	DAD
DRAWN BY	DAD
CHECKED BY	DAD
ISSUE DATE	7/25/2022
SHEET NO.	C3

OF 8 SHEETS



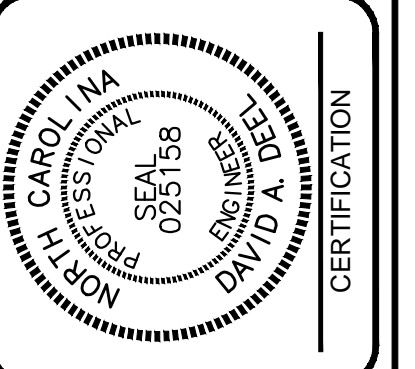
NOTES:
EXCEPT WHERE SHOWN IN THE PLAN, ALL NEW CONC. WALKS SHALL HAVE JOINTS SPACED AS SHOWN IN THESE DETAILS.
AN EXPANSION JOINT SHALL BE USED TO SEPARATE THE NEW CONC. WALK FROM OTHER NEW OR EXISTING CONCRETE CONSTRUCTION.



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KILL DEVI HILLS, NC 27488
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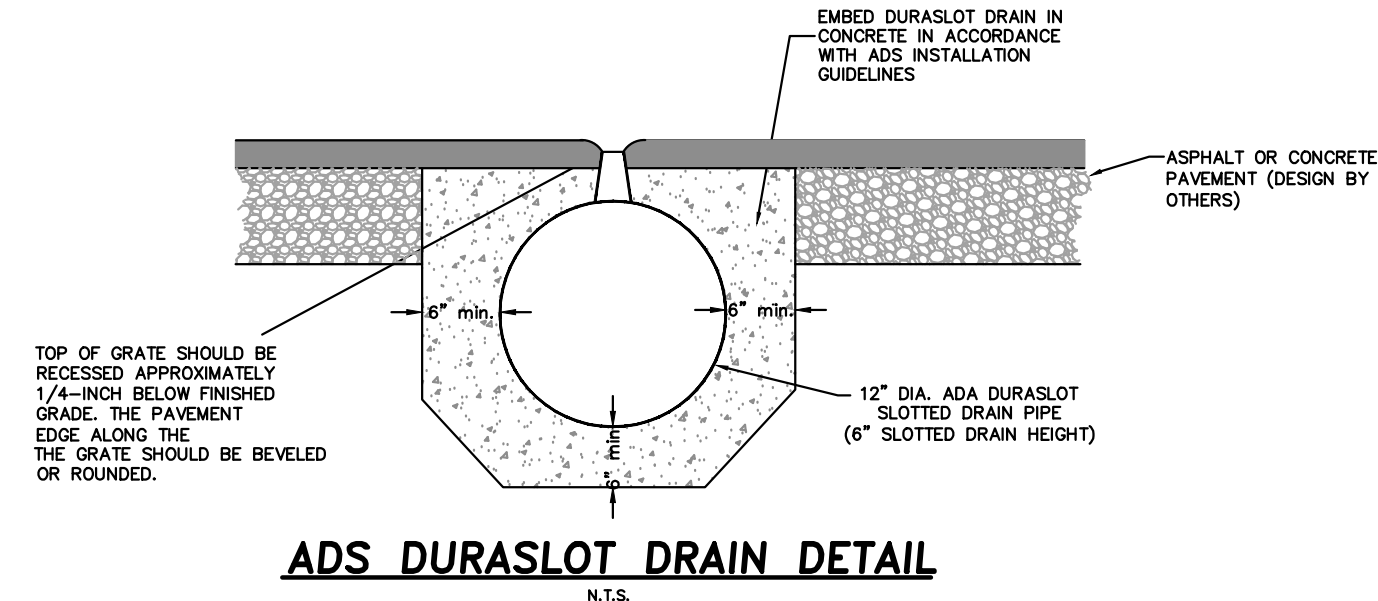
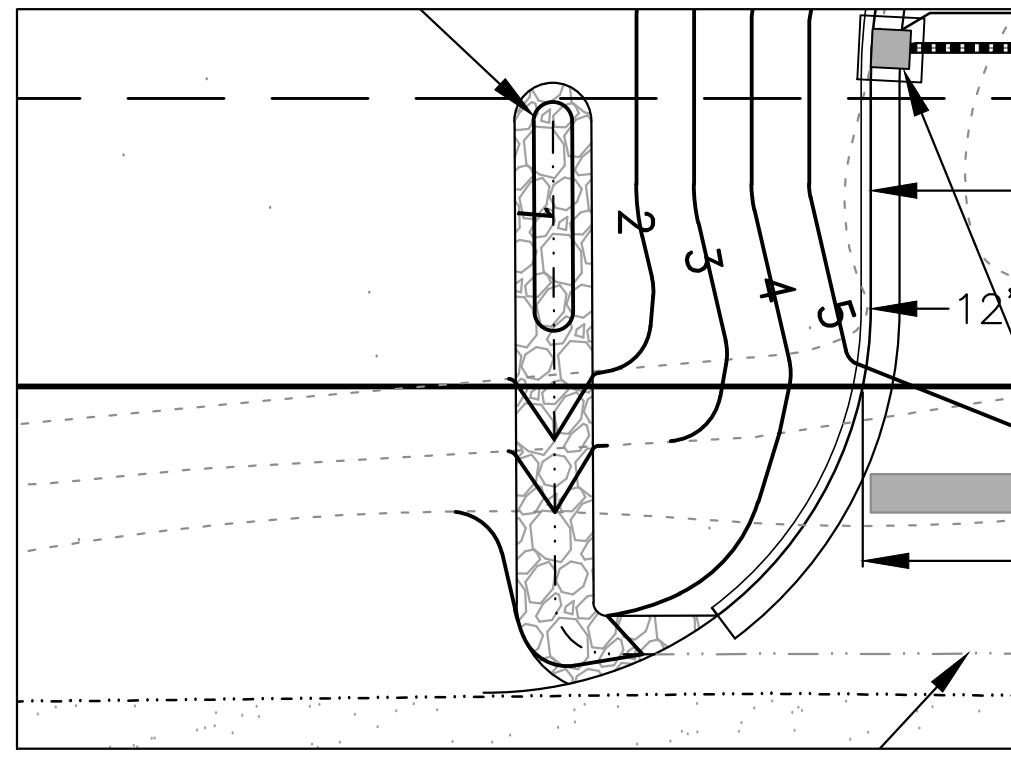
NO.	DATE	REVISIONS
1	11/22/22	ISSUED FOR PERMITTING
2	12/15/22	REVISED PERM. P.V.M.T. ELEVATIONS



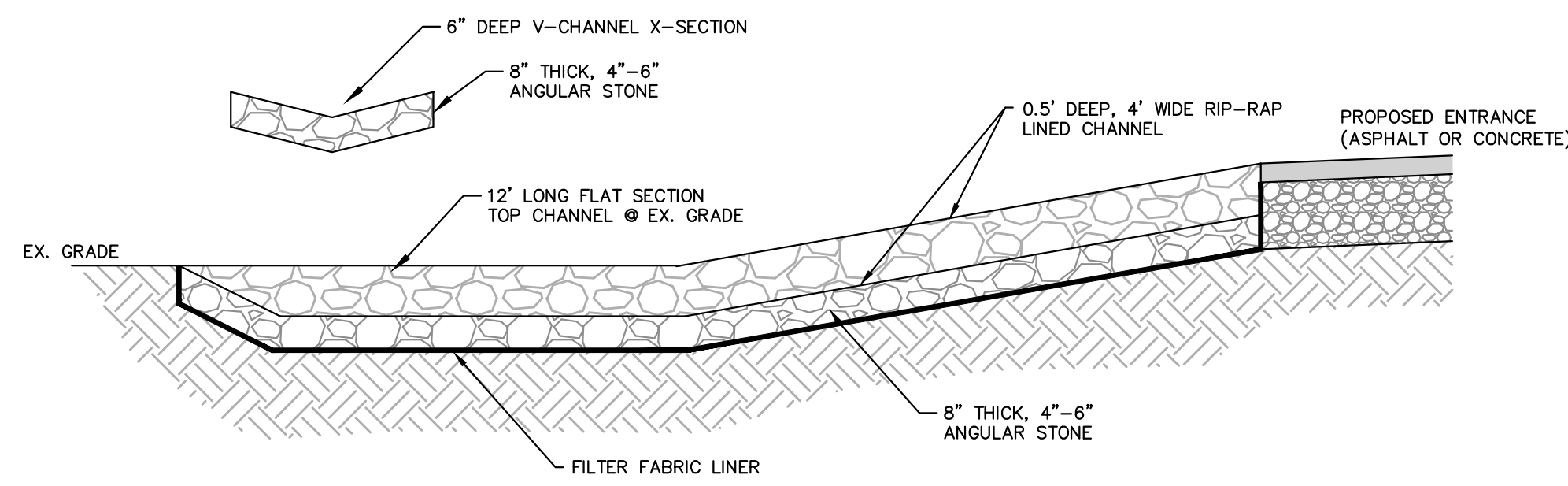
SITE DETAILS
DARE ABC RETAIL - BUXTON
47290 NC 12 HIGHWAY
NORTH CAROLINA
DARE
HATTERAS TOWNSHIP

COMMISSION NO.	P2021-20
DESIGNED BY	DAD
DRAWN BY	DAD
CHECKED BY	DAD
ISSUE DATE	9/15/2022
SHEET NO.	

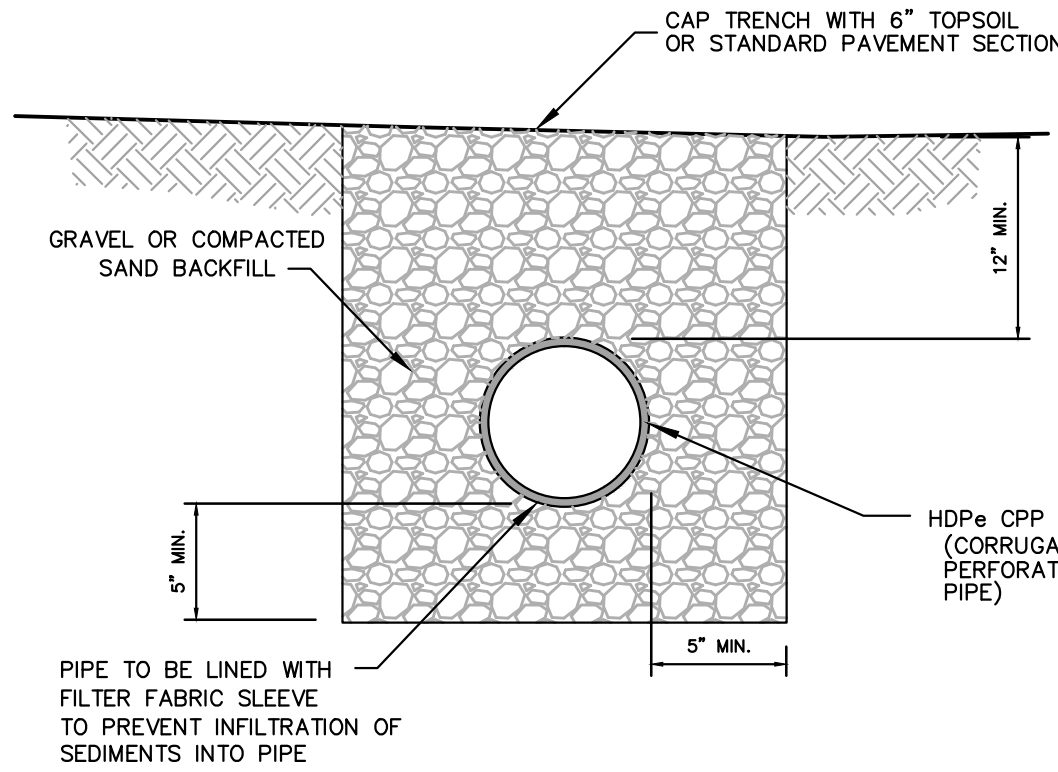
C4
OF 8 SHEETS



ADS DURASLOT DRAIN DETAIL
N.T.S.

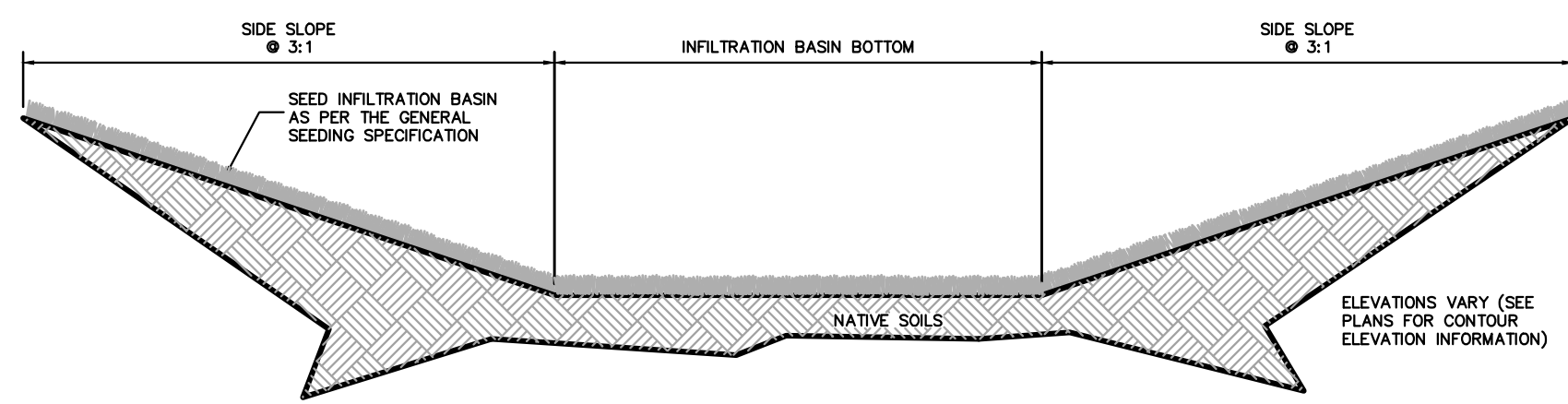


RIP-RAP OUTLET SWALE
N.T.S.

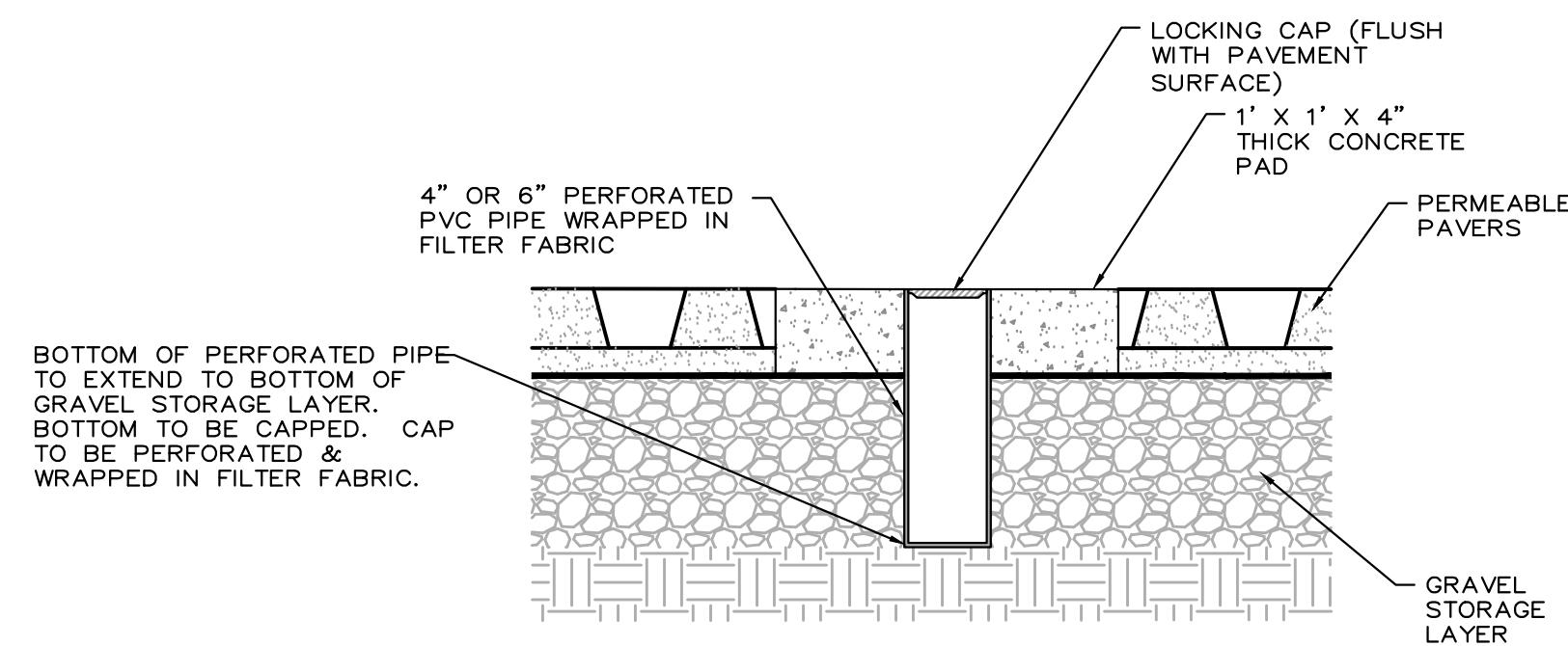


HDPE CPP PIPE INSTALLATION DETAIL
N.T.S.

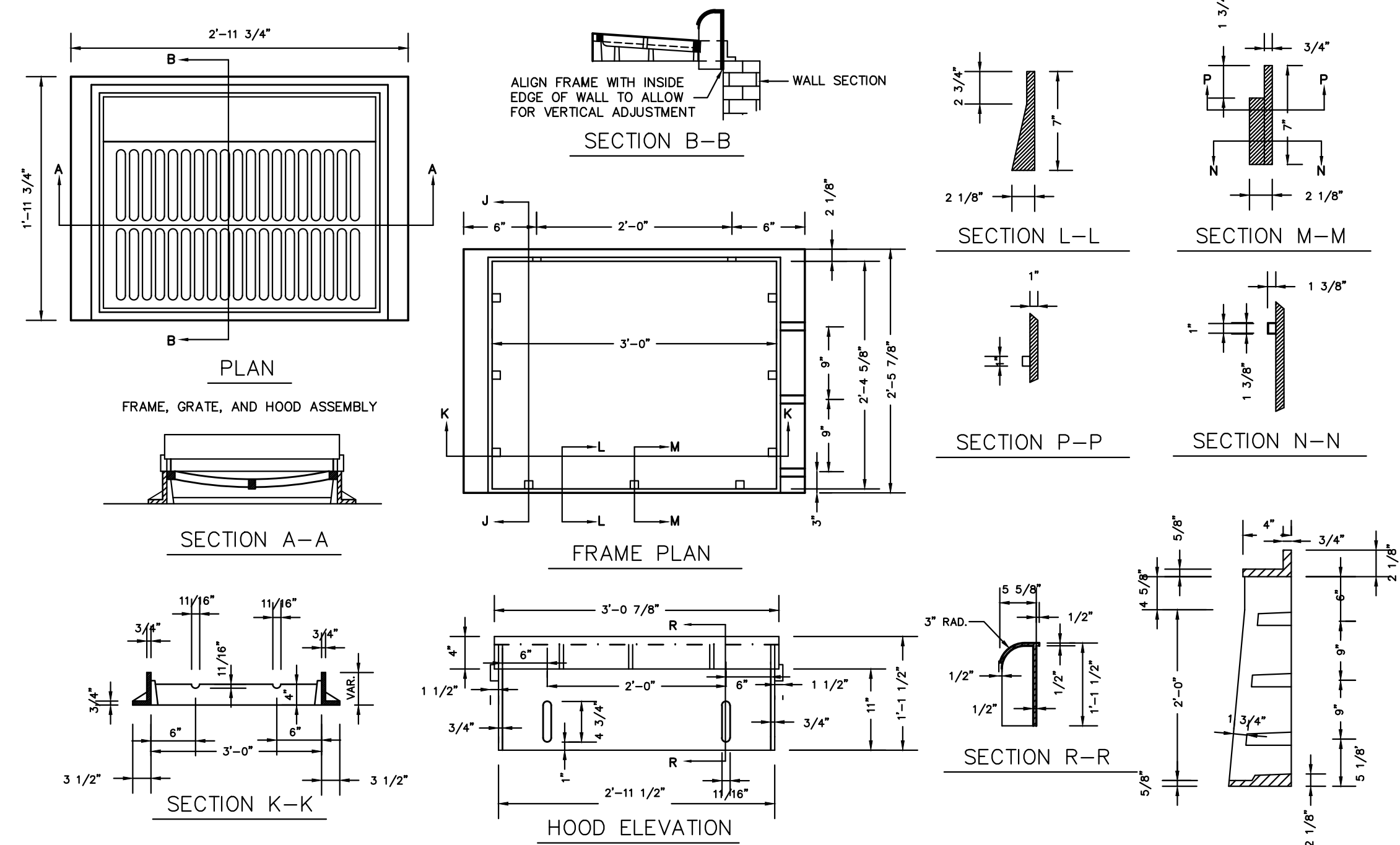
BASIN #	BOTTOM ELEVATION	SEDIMENT SHALL BE REMOVED WHEN THE DEPTH REACHES:	TOP ELEVATION
#1	7.0'	7.35'	8.5'
#2	4.5'	4.83'	5.4'
#3	3.1'	3.43'	3.7'



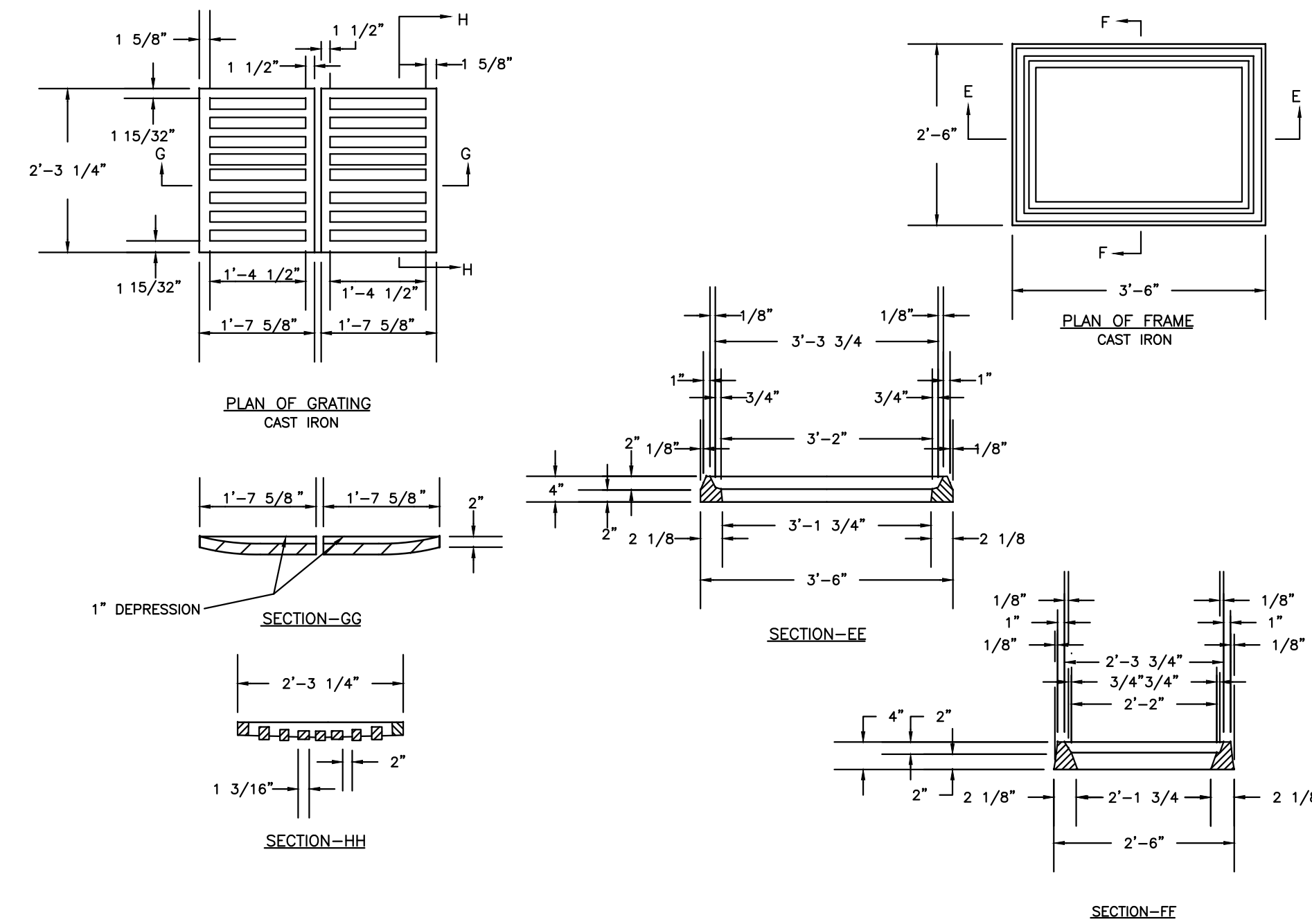
TYPICAL INFILTRATION BASIN CROSS-SECTION DETAIL
N.T.S.



OBSERVATION PORT DETAIL
(ONE REQUIRED TO BE INSTALLED - LOCATED BETWEEN PARKING SPACES 4 AND 5)
N.T.S.

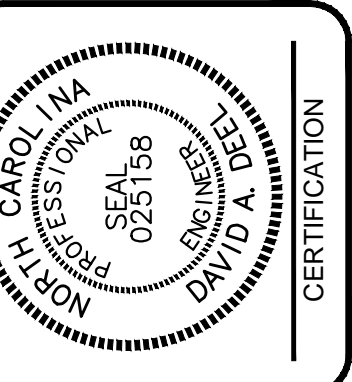


CURB & GUTTER FRAME, GRATE & HOOD
REQUIRED WHEREVER STORM INLET IS PLACED IN CURB & GUTTER
REF. NCDOT STD. 840.03B
N.T.S.



STANDARD DROP INLET FRAME & GRATE
(INSTALL ON ALL BASINS NOT WITHIN CONC. V-GUTTER)
N.T.S.

NO.	DATE	REVISIONS
1	11/22/22	ISSUED FOR PERMITTING
2	12/15/22	REVISED INFIL BASIN ELEVATIONS



STORMWATER DETAILS
DARE ABC RETAIL - BUXTON
47290 NC 12 HIGHWAY
NORTH CAROLINA
HATTERAS TOWNSHIP
DARE

COMMISSION NO.	P2021-20
DESIGNED BY	DAD
DRAWN BY	DAD
CHECKED BY	DAD
ISSUE DATE	9/15/2022
SHEET NO.	

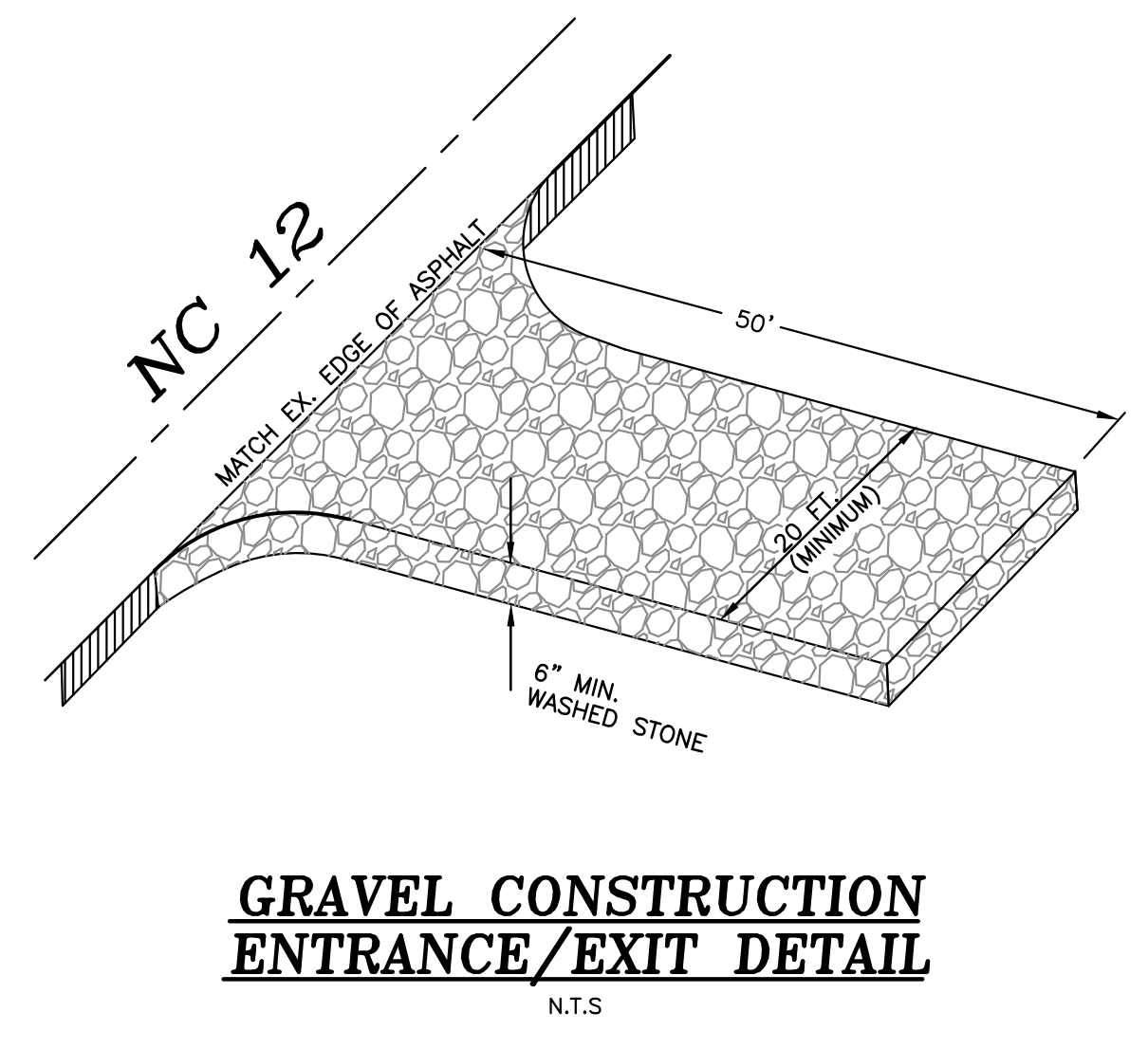
PERMANENT VEGETATION		TEMPORARY VEGETATION	
SEED MIXTURE	APPLICATION RATES/ACRE	SEED MIXTURE	APPLICATION RATES/ACRE
BAMA	50 LBS.	RYE GRASS	175 LBS.
COMMON BERNARDIA (UNRAILED)	50 LBS.	FERTILIZER	
GERMAN MILLETT	15 LBS.	10-10-10 @ 1000 LB/ACRE	
PERCIE	20 LBS.	MULCH	
FERTILIZERS		APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.	
26-13-13 @ 500 LB/ACRE			
MULCH			
APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.			

GENERAL: FERTILIZER RATES SHOWN ARE GENERAL RECOMMENDATIONS; FREQUENCY AND AMOUNT OF FERTILIZATION CAN BEST BE DETERMINED THROUGH SITE SPECIFIC SOIL TESTING.

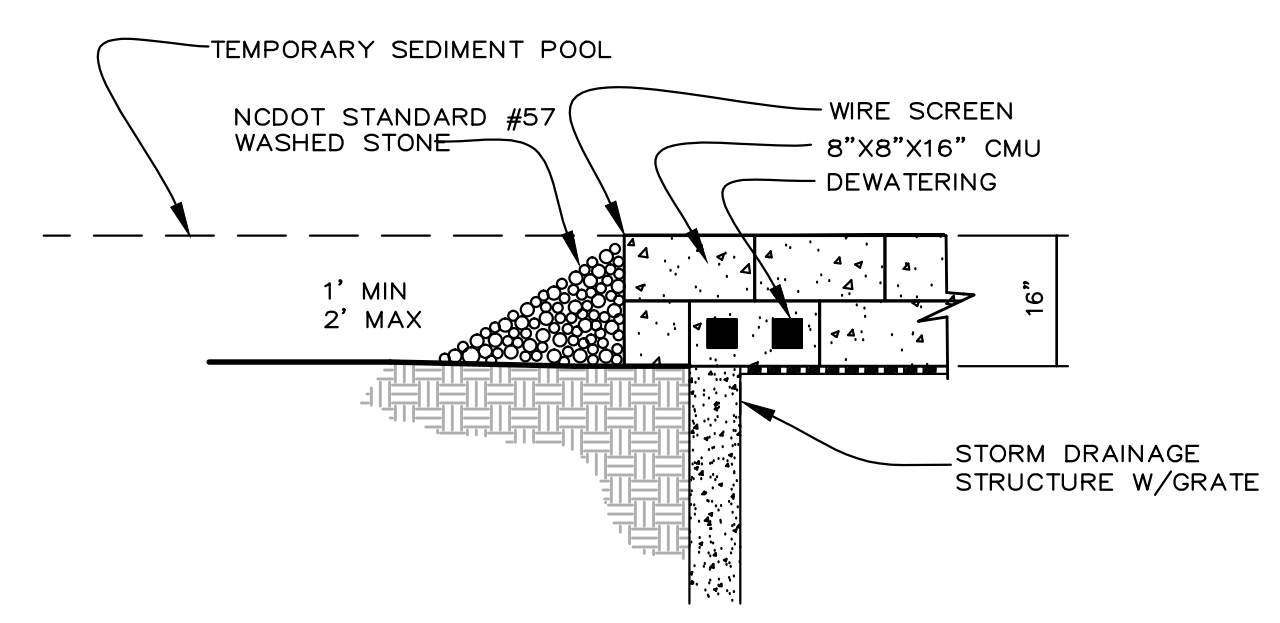
MAINTENANCE: SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN SPREAD EROSION AND ALLOW UNWANTED SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN EVENT SUFFICIENT TO GREATLY BALANCE SOIL LOSSES AND THE LONGER BEFORE ARE SEEN, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF WEEDS AND GRASSES DEVELOP, THEY MUST BE PULLED IN, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIMENSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (UNTIL FINAL COMPLETION IS ANNOUNCED) WEED OR DAMAGED SPOTS MUST BE RE-SEED, FERTILIZED, MULCHED, AND RE-SEED AS PROMPTLY AS POSSIBLE. RESTORATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STAGES.

SEEDING SPECIFICATIONS



GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL
N.T.S.



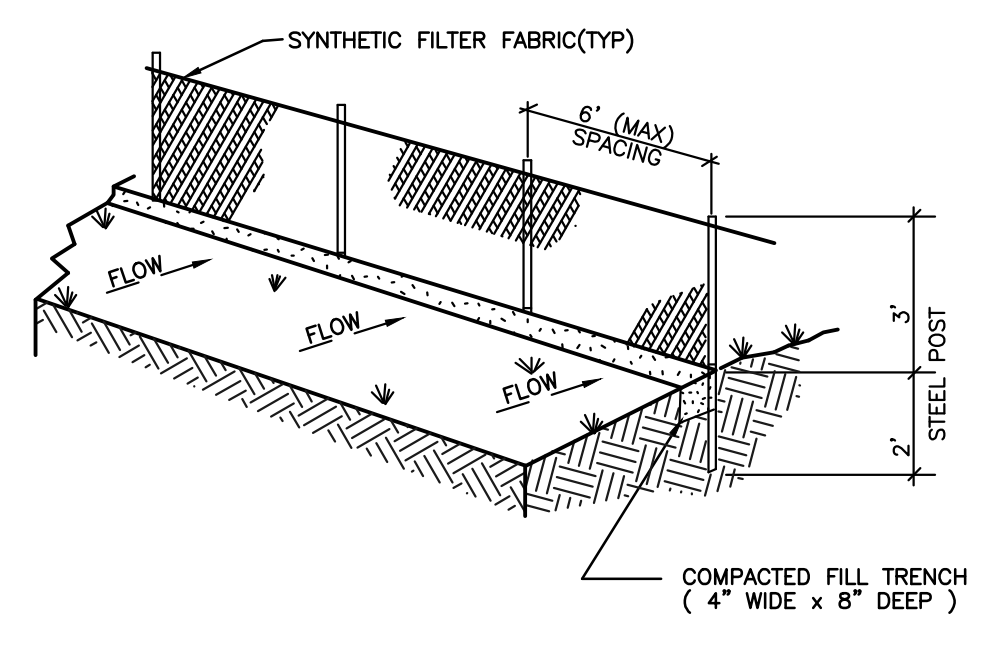
INLET PROTECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, (LATEST EDITION) SECTION 6.52.

INLET PROTECTION SHALL BE PROVIDED AT ALL DROP INLETS, CURB INLETS, YARD INLETS AND ANY OTHER STORMWATER COLLECTION INLET.

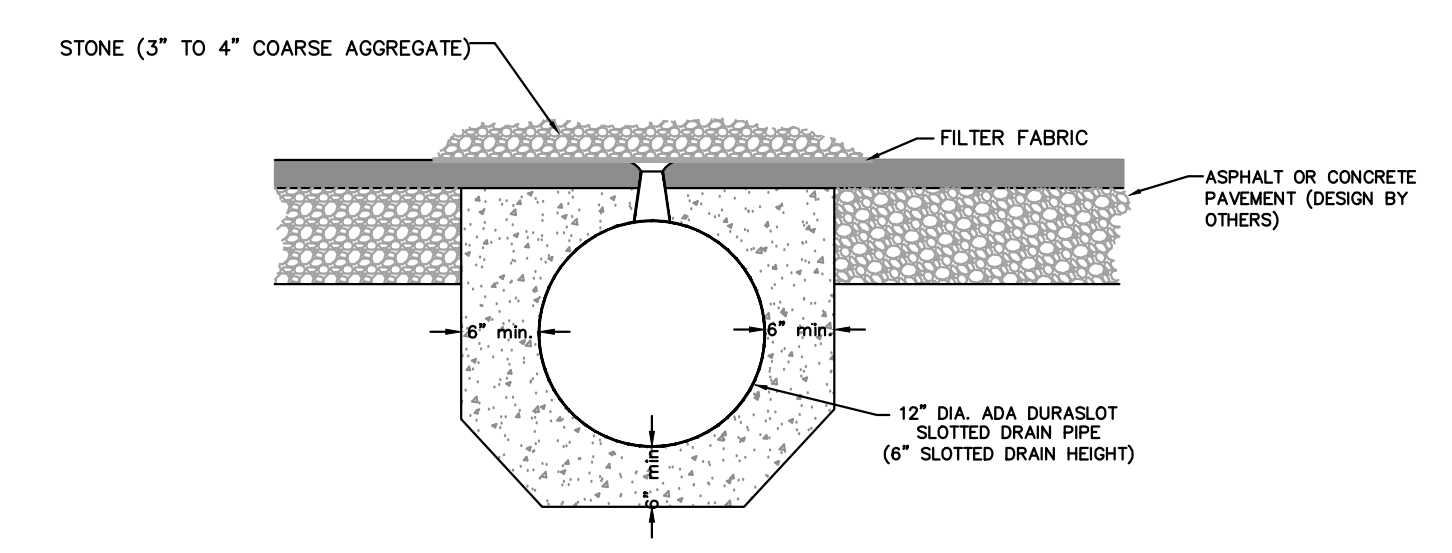
INLET PROTECTION
N.T.S.

SOIL EROSION & SEDIMENTATION CONTROL PLAN NOTES:

- SOIL EROSION & SEDIMENT CONTROL PLAN NOTES:
 - AREA TO BE DISTURBED: ±47,823 sq.ft. ± 1.10 ac.
 - PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON ALL SLOPES 3:1 OR STEEPER WITHIN 7 CALENDAR DAYS AND ALL SLOPES FLATTER THAN 3:1 WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PROVIDE A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
 - IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 - SEP. 30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS ON SHEET ES2).
 - IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL SILT FENCING OR OTHER MEASURES SHALL BE INSTALLED AS DIRECTED BY ENGINEER SO AS TO PREVENT DAMAGE TO ADJACENT PROPERTY. SEE SILT FENCE DETAIL ON THIS SHEET.
 - SOIL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED WEEKLY AND AFTER ANY SIGNIFICANT RAINFALL PRODUCING EVENT AND SHALL BE MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
 - DURING THE CONSTRUCTION PROCESS, NO STAGING OF EQUIPMENT, PARKING, OR UNLOADING OF MATERIALS SHALL OCCUR ON NC12 OR ADJOINING PROPERTIES. THE 20' EASEMENT THAT SERVES AS ACCESS TO OTHER PROPERTIES BEYOND THE FIRE DEPARTMENT SITE SHOULD REMAIN UNBLOCKED DURING CONSTRUCTION ACTIVITIES AS MUCH AS PRACTICABLE.
 - CONSTRUCTION SCHEDULE:
 - OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
 - FLAG AND/OR ROUGH STAKE WORK LIMITS.
 - HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
 - INSTALL SILT FENCING AND ORANGE CONSTRUCTION FENCING @ LOCATIONS SHOWN ON PLAN.
 - COMPLETE CLEARING AND GRUBBING PROCEDURES. REMOVE ANY REMAINING BUILDING FOUNDATION, CONCRETE PAVEMENT FROM THE SITE. DEMOLITION DEBRIS SHALL BE DISPOSED OF LEGALLY WITH A LICENSED HAULER.
 - GRADE SITE ACCORDING TO PLAN.
 - INSTALL INFILTRATION BASINS AND STORM SEWER. DROP INLETS TO BE PROTECTED WITH INLET PROTECTION UNTIL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED. PIPE ENDS AT INFILTRATION BASINS SHALL BE PROTECTED WITH OUTLET PROTECTION.
 - PERMEABLE PAVEMENT SUBGRADE TO BE GRADED IN DRY CONDITIONS. WHEN CONSTRUCTION TRAFFIC IS NO LONGER REQUIRED TO NAVIGATE PERMEABLE PAVEMENT AREA, INSTALL PERMEABLE PAVEMENT GRAVEL BASE. BASE LAYER TO BE PROTECTED FROM SEDIMENT AT ALL TIMES. CONSTRUCTION TRAFFIC TO BE RESTRICTED FROM PERMEABLE PAVEMENT ARE ONCE BASE IS INSTALLED. (AREA TO BE DEFINED BY CONTRACTOR AND CLEARLY DEMARCATED UTILIZING BARRIERS/CONES/TAPE). INSTALLATION OF PERMEABLE PAVEMENT SHALL NOT TAKE PLACE UNTIL ALL EARTHWORK ACTIVITIES AND ALL HEAVY BUILDING CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. INSTALLED PERMEABLE PAVEMENT SHALL BE PROTECTED FROM SEDIMENT AND FROM HEAVY CONSTRUCTION EQUIPMENT AT ALL TIMES.
 - ALL EROSION & SEDIMENTATION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENTS. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
 - ONCE SITE IS FULLY STABILIZED; REMOVE SILT FENCE, REMOVE INLET PROTECTION, CLEAN STORM SEWER OF ANY SEDIMENT, FINE-GRADE AND SEED OR LANDSCAPE INFILTRATION BASINS.
 - ONCE SITE IS FULLY STABILIZED, PERFORM IN-SITU TESTING ON PERMEABLE PAVEMENT UTILIZING NC80 SIMPLIFIED SURFACE INFILTRATION TESTING PROTOCOL TO DOCUMENT A MINIMUM SURFACE INFILTRATION RATE OF 50 IN/HR. IF 50 IN/HR IS NOT ACHIEVED, THE CONTRACTOR SHALL PERFORM REMEDIATION ON THE PERMEABLE PAVEMENT SYSTEM TO BRING IT INTO COMPLIANCE WITH THE 50 IN/HR REQUIREMENT.



SILT FENCE DETAIL
N.T.S.



SLOTTED DRAIN INLET PROTECTION DETAIL
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1-800-632-4949
NORTH CAROLINA
ONE CALL

NOTE:
THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.

DEEL ENGINEERING, PLLC
CIVIL ENGINEERING SERVICES
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NO.	DATE	REVISIONS
1	11/22/22	ISSUED FOR PERMITTING

CERTIFICATION
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E&S DETAILS
DARE ABC RETAIL - BUXTON
47290 NC 12 HIGHWAY
DARE
HATTERAS TOWNSHIP
NORTH CAROLINA

COMMISSION NO.	P2021-22
DESIGNED BY	DAD
DRAWN BY	DAD
CHECKED BY	DAD
ISSUE DATE	9/15/2022
SHEET NO.	

C6
OF 8 SHEETS

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un-attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6). Division staff may waive the requirement for a written report on a case-by-case basis.

NOTES & DETAILS ON THIS SHEET PROVIDED BY NCDEQ

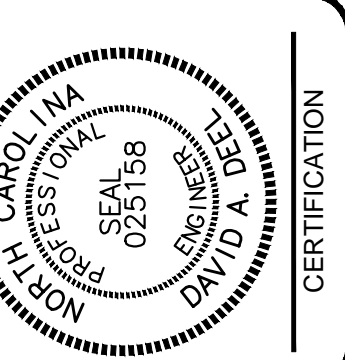


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E&S NOTES & DETAILS
DARE ABC RETAIL - BUXTON
47290 NC HWY 12, BUXTON, NC
BUXTON DARE COUNTY NORTH CAROLINA

COMMISSION NO.	2021-20
DESIGNED BY	DAD
DRAWN BY	DAD
CHECKED BY	DAD
ISSUE DATE	9/15/2022
SHEET NO.	

C7
OF 8 SHEETS

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1
		-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

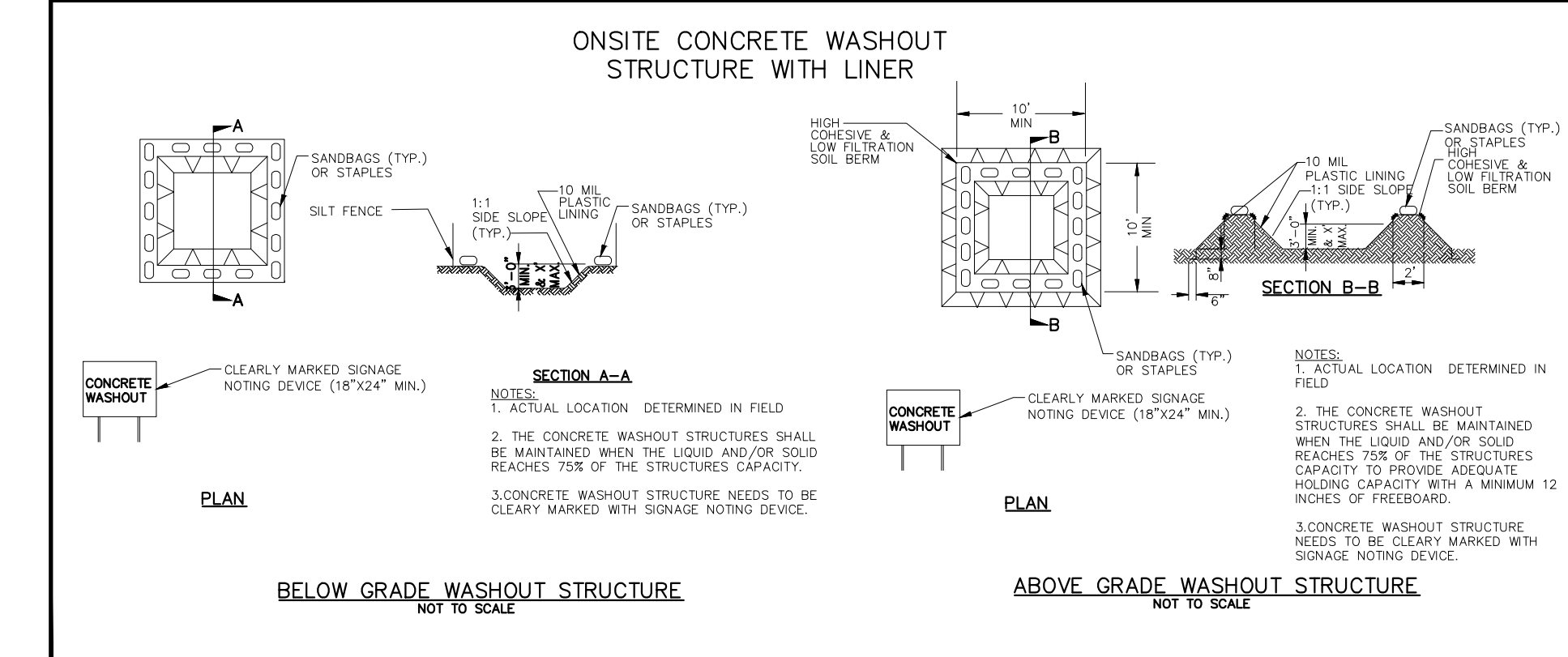
PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

NOTES & DETAILS ON THIS SHEET PROVIDED BY NCDEQ



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

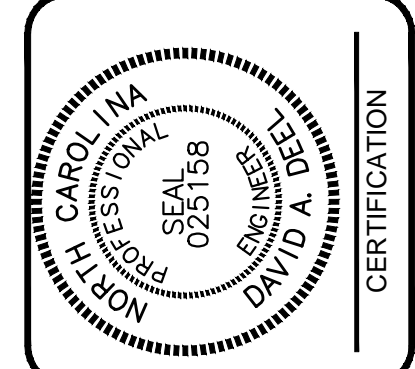
HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

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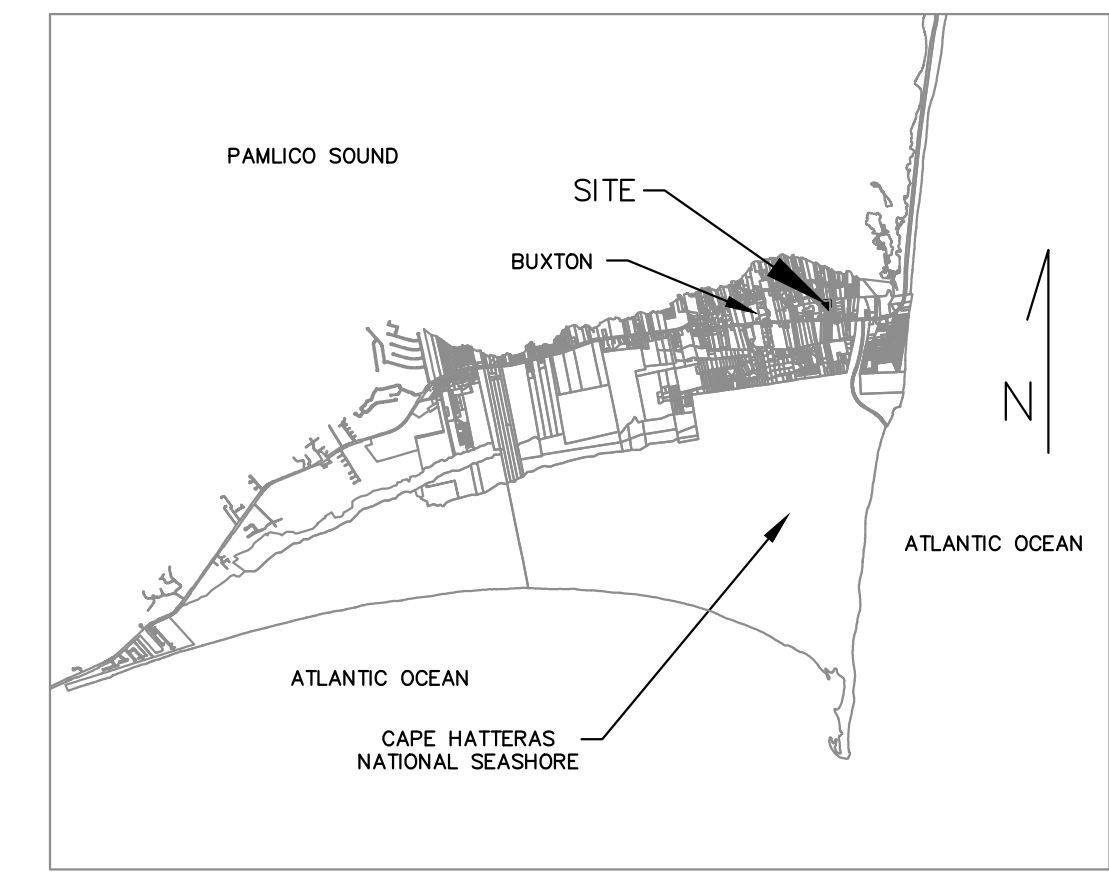
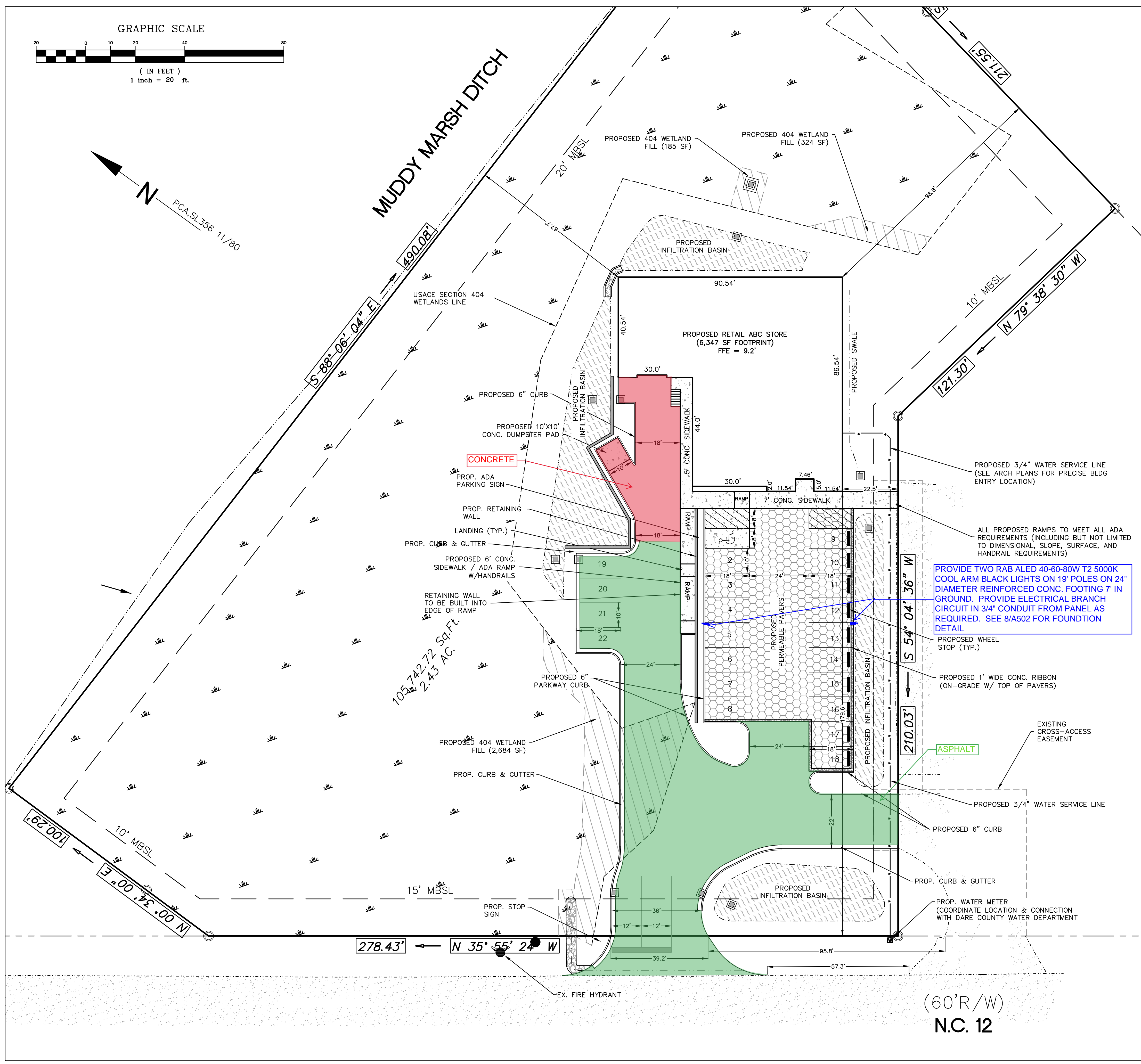
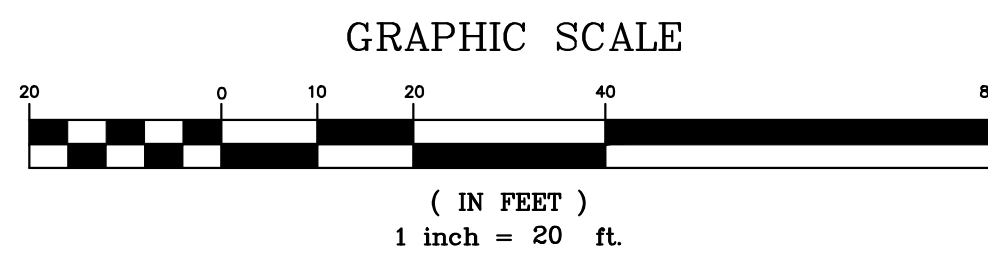
NO.	DATE	REVISIONS
1	11/22/22	ISSUED FOR PERMITTING



E&S NOTES & DETAILS
DARE ABC RETAIL - BUXTON
 47290 NC HWY 12, BUXTON, NC
 NORTH CAROLINA
 DARE COUNTY
 HATTER'S
 CERTIFICATION

COMMISSION NO.	P2021-22
DESIGNED BY	DAD
DRAWN BY	DAD
CHECKED BY	DAD
ISSUE DATE	9/15/2022
SHEET NO.	

C8
 OF 8 SHEETS



VICINITY MAP
NOT TO SCALE

SITE NOTES:

- OWNER / APPLICANT: DARE COUNTY ABC BOARD
P.O. BOX 1879
NAGS HEAD, NC 27959
- SITE ADDRESS: 47290 NC HWY 12, BUXTON, NC
RECORDED REFERENCE: DB 2588 PG 137
PIN NO. 053719503261
- TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN ON PLAN BASED ON SURVEY BY BARNETTE
INTEGRATED LAND DEVELOPMENT DATED 12/9/2021. ELEVATION DATUM NAVD 1988.
- F.I.R.M. ZONE: "AE" (B.F.E. = 6.0') (R.F.P.E. = 8.0')
- ZONE: C-3 COMMERCIAL
PROPOSED USE: RETAIL
- SCOPE OF PROJECT: THE DARE ABC BOARD PROPOSES TO CONSTRUCT A NEW RETAIL SITE IN BUXTON
ALONG WITH ASSOCIATED PARKING, STORMWATER, AND UTILITY INFRASTRUCTURE.
- PROPOSED BUILDING WILL BE SINGLE STORY
- A USACE FILL PERMIT WILL BE OBTAINED PRIOR TO ANY WORK LOCATED WITHIN USACE JURISDICTIONAL
WETLANDS.
- PARKING: 1 SP/200 SF RETAIL AREA x 2,409 SF = 13 SPACES
-PLUS-
1 SP/EMPLOYEE x 3 EMPLOYEES = 3 SPACES (ACCOUNTS FOR WAREHOUSE AREA)
TOTAL PARKING REQUIRED: 16 SPACES
PARKING PROVIDED: 22 SPACES
- LOT COVERAGE: PARCEL AREA = 105,743 SF (2.43 AC)
IMPERVIOUS COVERAGE:
PROPOSED BUILDING = 6,347 SQ.FT.
-PLUS-
PROPOSED SIDEWALK = 1,225 SQ.FT.
PROPOSED CONC/ASPHALT TRAVEL AISLE = 9,625 SQ.FT.
PROPOSED PERMEABLE PAVERS = 5,047 SQ.FT.
PROPOSED MISC. COVERAGE = 182 SQ.FT.
FUTURE MISC. COVERAGE = 600 SQ.FT.
TOTAL IMPERVIOUS = 23,026 SQ.FT. (21.8%)
(60% ALLOWABLE)
- SITE LIGHTING: PLEASE SEE ARCHITECTURAL PLANS FOR SITE LIGHTING
- SIGNAGE: SIGNAGE WILL BE PERMITTED SEPARATELY. SIGNAGE PLAN WILL BE SUBMITTED WITH
SEPARATE SIGNAGE PERMIT APPLICATION.

PROVIDE TWO RAB ALED 40-60-80W T2 5000K
COOL ARM BLACK LIGHTS ON 19' POLES ON 24"
DIAMETER REINFORCED CONC. FOOTING 7' IN
GROUND. PROVIDE ELECTRICAL BRANCH
CIRCUIT IN 3/4" CONDUIT FROM PANEL AS
REQUIRED. SEE 8/A502 FOR FOUNDATION
DETAIL

LEGEND

	EXISTING WETLANDS
	EXISTING ASPHALT PAVING
	EXISTING 404 WETLAND TO BE FILLED
	PROPOSED PERMEABLE PAVERS
	PROPOSED ASPHALT OR CONCRETE PAVING
	PROPOSED CONCRETE
	PROPOSED INFILTRATION BASIN
	PROPOSED DROP INLET

NOTE:
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PRIOR TO CONSTRUCTION. IF A DISCREPANCY
IS FOUND, WORK SHALL CEASE AND THE ENGINEER
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MILL DEVI HILLS, NC 27948
Phone: (252) 302-3603 E-Mail: doehel@deel.com

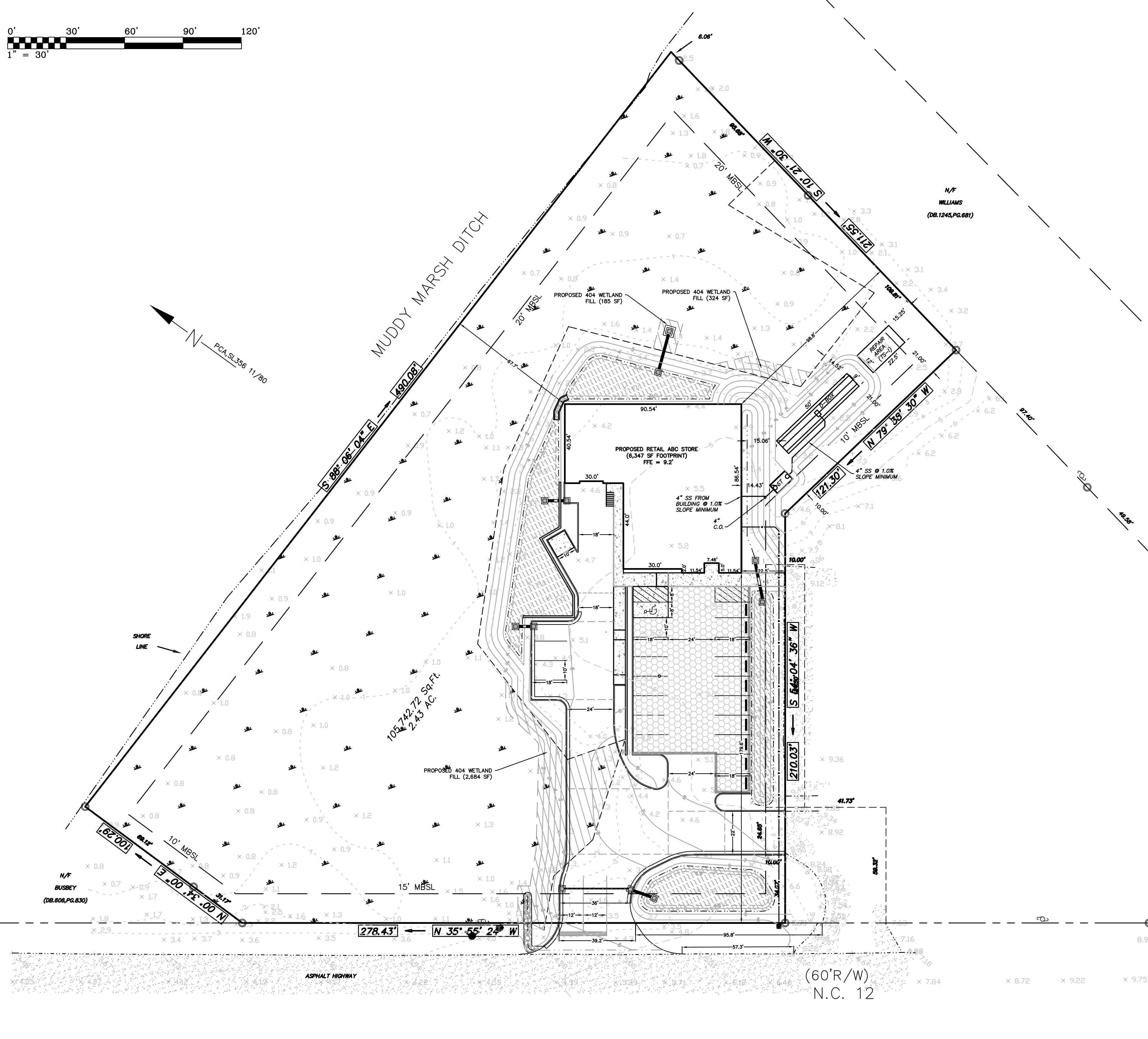
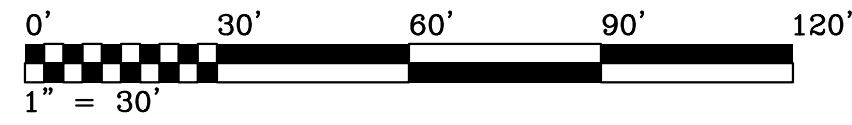
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1	11/22/22			
2	12/15/22			

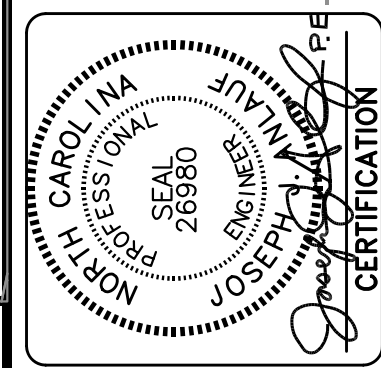
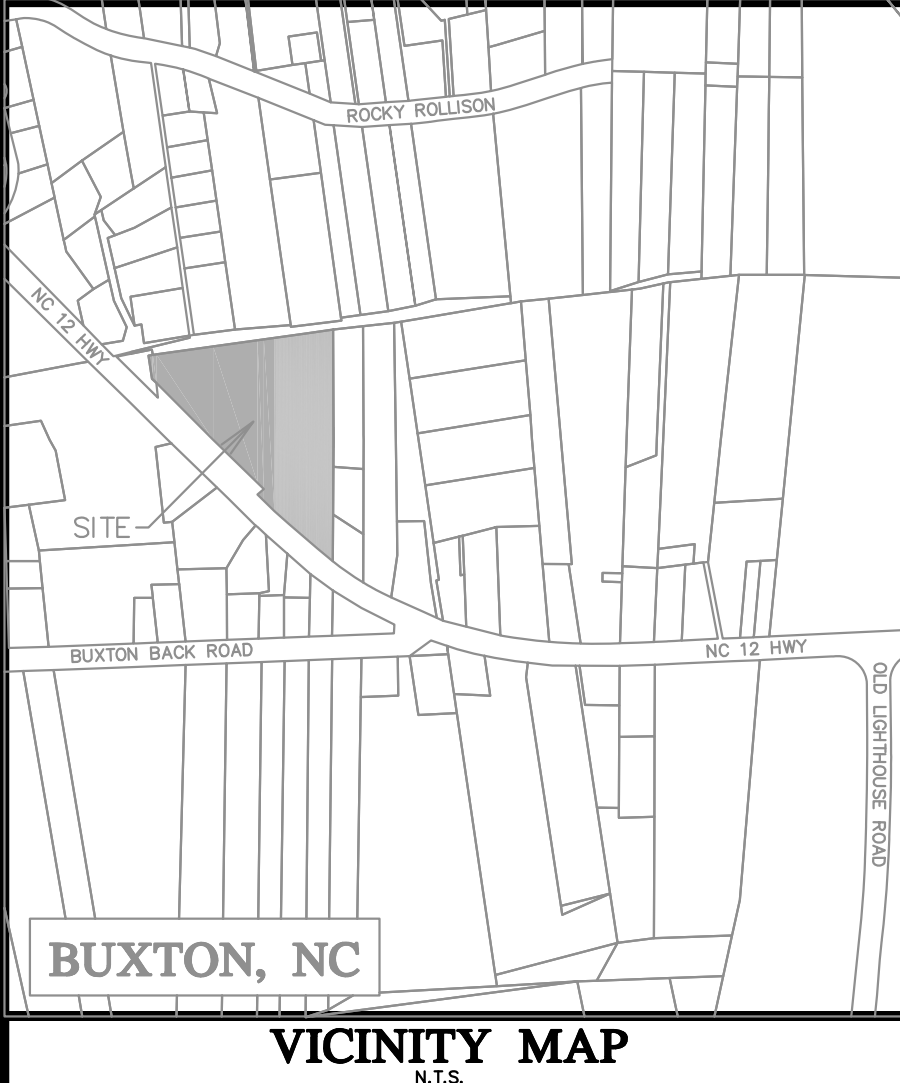


SITE PLAN
DARE ABC RETAIL - BUXTON
47290 NC HWY 12, BUXTON, NC

COMMISSION NO. P2021-20
DESIGNED BY DAD
DRAWN BY DAD
CHECKED BY DAD
ISSUE DATE 7/25/2022
SHEET NO. D1

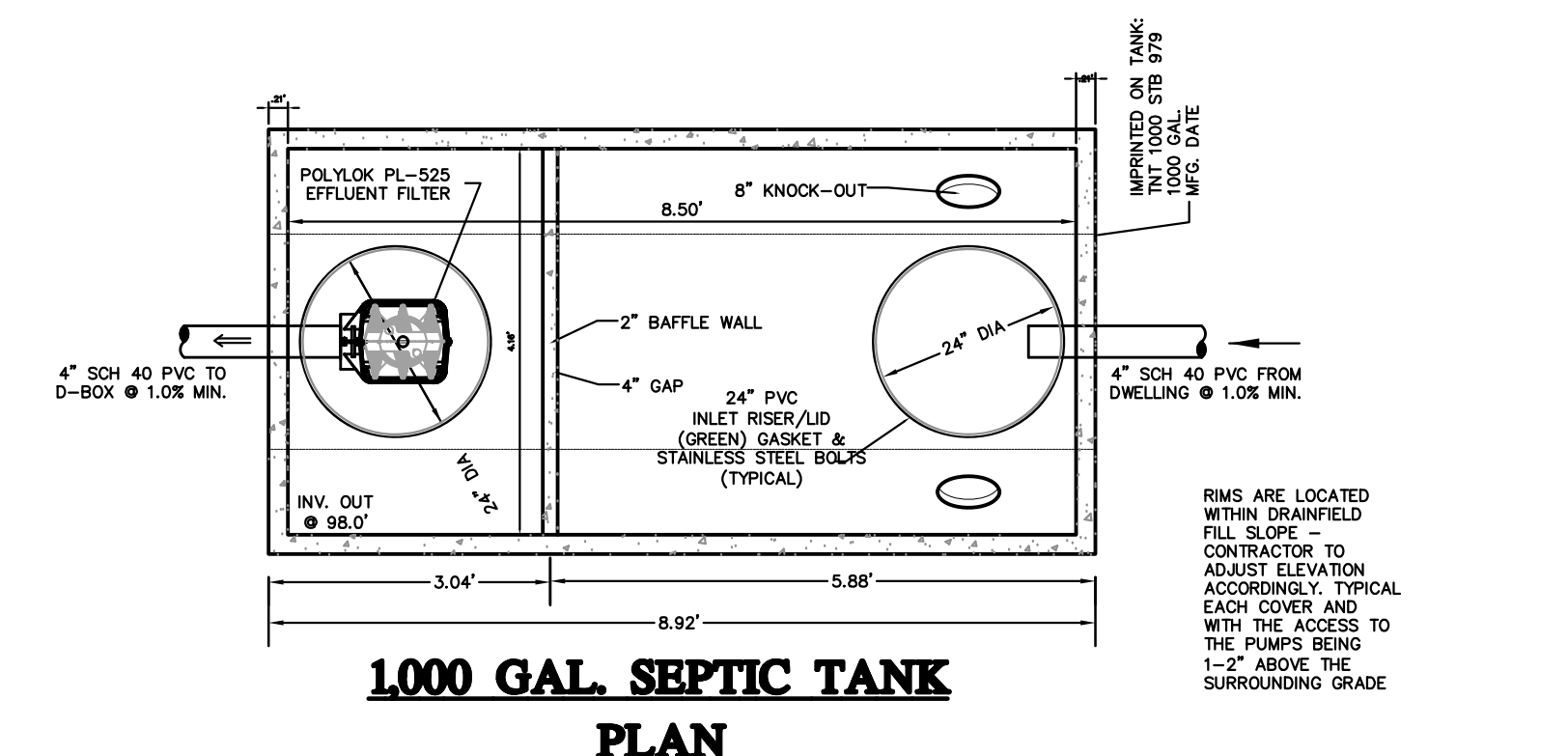


- SITE NOTES:
- OWNER / APPLICANT: DARE COUNTY ABC BOARD
P.O. BOX 1879
NAGS HEAD, NC 27959
 - SITE ADDRESS: 47290 NC HWY 12, BUXTON, NC
RECORDED REFERENCE: DB 2588 PG 137
PIN NO. 053719503261
 - TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN ON PLAN BASED ON SURVEY BY BARNETTE
INTEGRATED LAND DEVELOPMENT DATED 12/9/2021. ELEVATION DATUM NAVD 1988.
 - F.I.R.M. ZONE: "AE" (B.F.E. = 6.0') (R.F.P.E. = 8.0')
 - ZONE: C-3 COMMERCIAL
PROPOSED USE: RETAIL
 - SCOPE OF PROJECT: THE DARE ABC BOARD PROPOSES TO CONSTRUCT A NEW RETAIL SITE IN BUXTON
ALONG WITH ASSOCIATED PARKING, STORMWATER, AND UTILITY INFRASTRUCTURE.
 - PROPOSED BUILDING WILL BE SINGLE STORY
 - A USACE FILL PERMIT WILL BE OBTAINED PRIOR TO ANY WORK LOCATED WITHIN USACE JURISDICTIONAL
WETLANDS.
 - PARKING: 1 SP/200 SF RETAIL AREA x 2,409 SF = 13 SPACES
-PLUS-
1 SP/EMPLOYEE x 3 EMPLOYEES = 3 SPACES (ACCOUNTS FOR WAREHOUSE AREA)
TOTAL PARKING REQUIRED: 16 SPACES
PARKING PROVIDED: 22 SPACES
 - LOT COVERAGE: PARCEL AREA = 105,743 SF (2.43 AC)
IMPERVIOUS COVERAGE:
PROPOSED BUILDING = 6,347 SQ.FT.
PROPOSED SIDEWALK = 1,225 SQ.FT.
PROPOSED CONC/ASPHALT TRAVEL AISLE = 9,625 SQ.FT.
PROPOSED PERMEABLE PAVERS = 5,047 SQ.FT.
PROPOSED MISC. COVERAGE = 182 SQ.FT.
FUTURE MISC. COVERAGE = 600 SQ.FT.
TOTAL IMPERVIOUS = 23,026 SQ.FT. (21.8%)
(60% ALLOWABLE)
 - SITE LIGHTING: PLEASE SEE ARCHITECTURAL PLANS FOR SITE LIGHTING
 - SIGNAGE: SIGNAGE WILL BE PERMITTED SEPARATELY. SIGNAGE PLAN WILL BE SUBMITTED WITH
SEPARATE SIGNAGE PERMIT APPLICATION.
 - WASTEWATER SYSTEM: 1,000 GALLON SEPTIC TANK
450 SQ.FT. DISPOSAL AREA (9' x 50')
BRUNSWICK BED IN FILL
6 LINES 25 L.F.T. EACH, 3' O.C.
30 INCHES OF FILL REQUIRED
100% REPAIR AREA (270 SQ.FT.) FOR TS-1 SYSTEM
 - PLANS TO BE USED FOR THE WASTEWATER SYSTEM ONLY.



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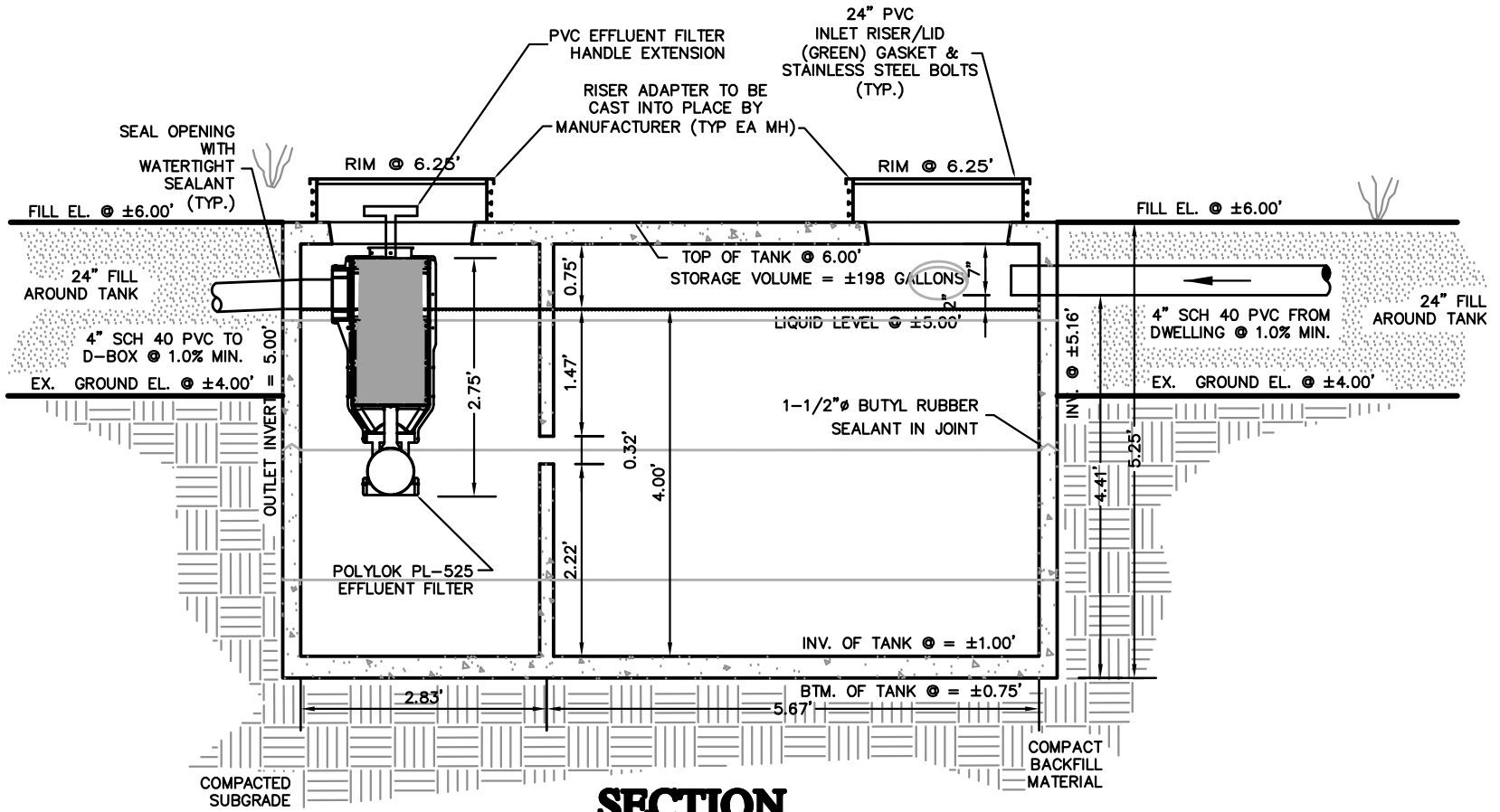
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NOTICE TO PROCEED.



**1000 GAL. SEPTIC TANK
PLAN**

TNT SERVICES, INC. TNT 1000 STB-979 1000 GAL SEPTIC TANK
OR EQUAL AS APPROVED BY ENGINEER
CONCRETE: 4000 PSI AT 28 DAYS
N.T.S.

UNDER NORMAL CONDITIONS WITH LIQUID LEVEL IN SEPTIC TANK
AT OUTLET TEE ELEVATION, TANK SHOULD NOT FLOAT. SEPTIC SYSTEM
MANAGING ENTITY AND SEPTAGE PUMP & HAULER SHALL TAKE PRE-
CAUTIONS AGAINST SEPTIC TANK FLOATING WHEN BEING PUMPED OUT.



**SECTION
1000 GAL. SEPTIC TANK**

TNT SERVICES, INC. TNT 1000 STB-979 1000 GAL SEPTIC TANK
OR EQUAL AS APPROVED BY ENGINEER AND AGWA
CONCRETE: 4000 PSI AT 28 DAYS

- WASTEWATER SYSTEM NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK PRIOR TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION IF UTILITIES ARE TO REMAIN IN PLACE.
 - REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ACTIVE WASTEWATER SYSTEM:
DESIGN FLOW: 300 GPD LONG TERM APPLICATION RATE (LTAR): 1.0 GPD/SQ.FT. FOR A BRUNSWICK BED IN FILL SYSTEM.
 - UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE COLLECTION, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH SECTION 1900 "LAWS AND RULES FOR SEWAGE TREATMENT AND DISPOSAL SYSTEMS" OF NORTH CAROLINA ADMINISTRATIVE CODE, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, DIVISION OF ENVIRONMENTAL HEALTH, ON-SITE WASTEWATER SECTION (15 NCAC 18A.1900).
 - CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH ANY CONDITIONS IMPOSED BY THE LOCAL HEALTH DEPARTMENT.
 - MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORM WITH SAME REQUIREMENTS AS #4 ABOVE.
 - FILL MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS SAND OR LOAMY SAND (SOIL GROUP I) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INCHES OF FILL USED TO COVER THE SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II, III) FOR THE ESTABLISHMENT OF A VEGETATIVE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL BE MIXED TO A DEPTH OF SIX INCHES BELOW THE INTERFACE. HEAVY VEGETATIVE COVER OR ORGANIC LITTER SHALL BE REMOVED BEFORE THE FILL MATERIAL IS INCORPORATED.
 - WELL POINTS AND PUMPS SHALL BE SUFFICIENT IN SIZE AND SPACING TO DRAW DOWN WATER TABLE TWO TO THREE FEET BELOW REQUIRED EXCAVATION FOR SEPTIC AND PUMP TANKS.
 - GRADES SHALL BE ESTABLISHED TO DIVERT RUNOFF AWAY FROM TANKAGE. FINAL GROUND ELEVATION ABOVE TANK SHALL BE AS INDICATED ON THE DETAIL SHEETS.
 - ALL SURFACE RUNOFF SHALL BE DIVERTED AROUND AND AWAY FROM THE DRAINFIELD AREA. FINISH GRADE SHALL BE LANDSCAPED TO PREVENT PONDING OF SURFACE WATER. VEGETATE DRAINFIELD AREA AS SPECIFIED IN LANDSCAPE PLAN (BY OTHERS).

DRAWING FILE: DARE ABC BUXTON.DWG
PLOT SCALE: 1"=30'

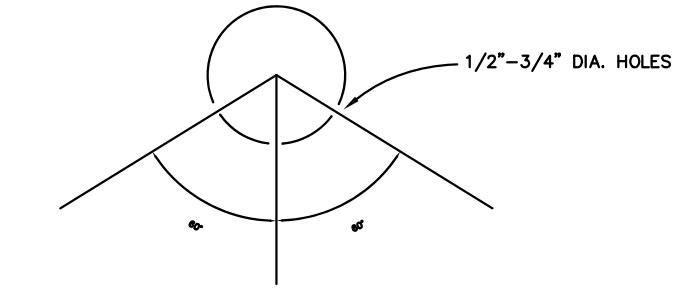
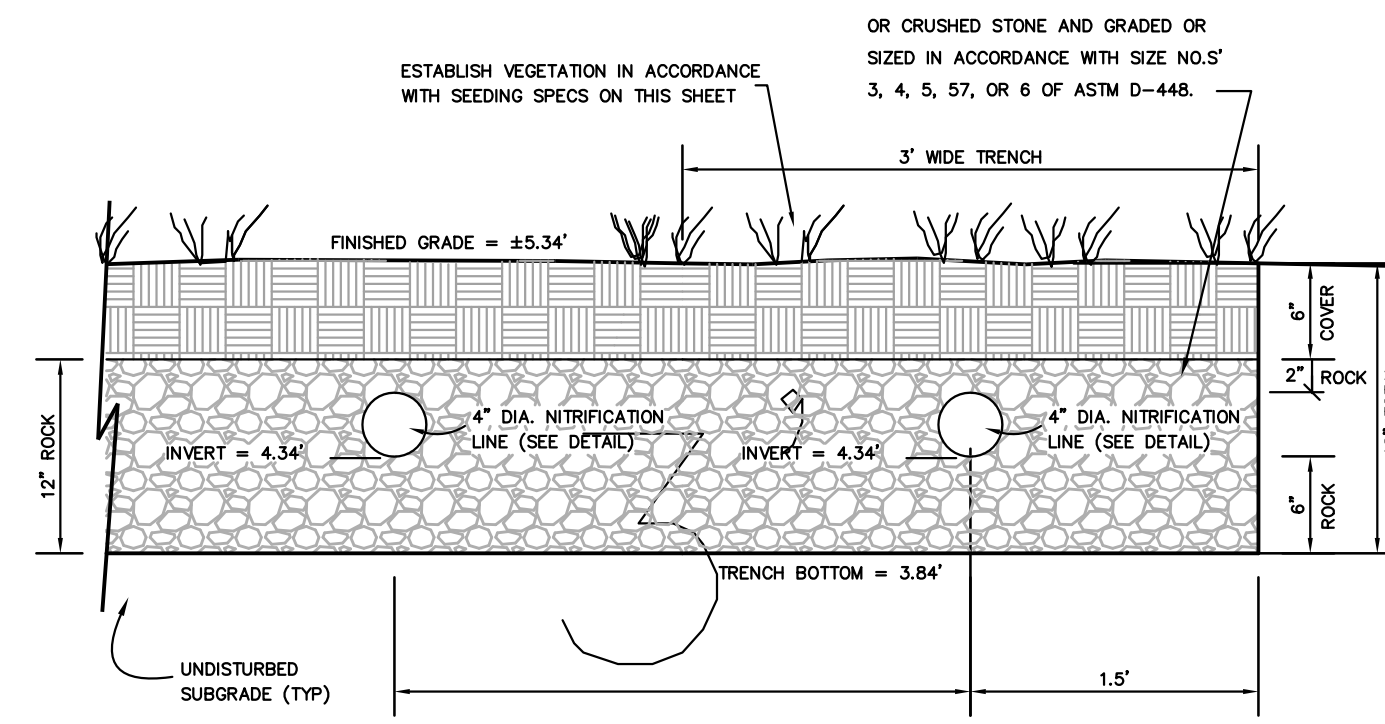


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NO.	DATE	REVISIONS

WASTEWATER SITE PLAN
DARE ABC RETAIL - BUXTON
47920 NC HWY 12
NORTH CAROLINA
DARE COUNTY
BUXTON

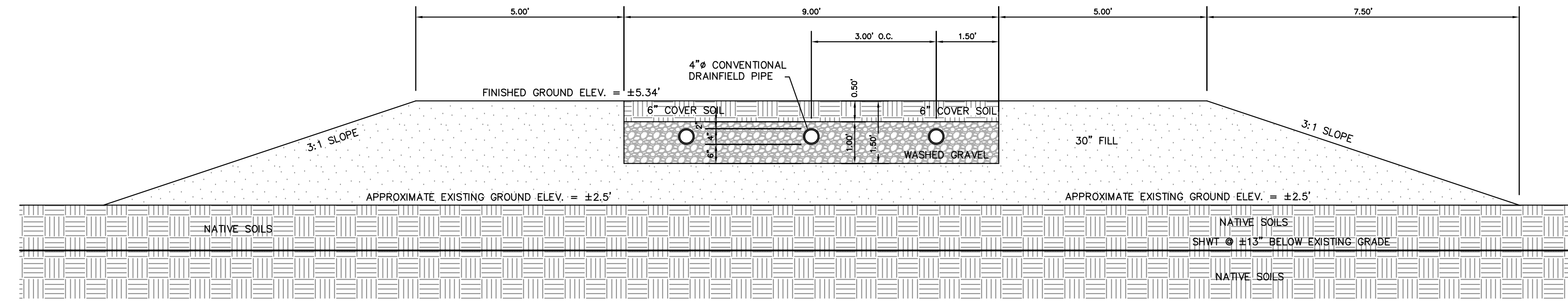
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DESIGNED BY JJA
DRAWN BY JJA
CHECKED BY JJA
ISSUE DATE 1/6/23
SHEET NO. 1
OF 2 SHEETS



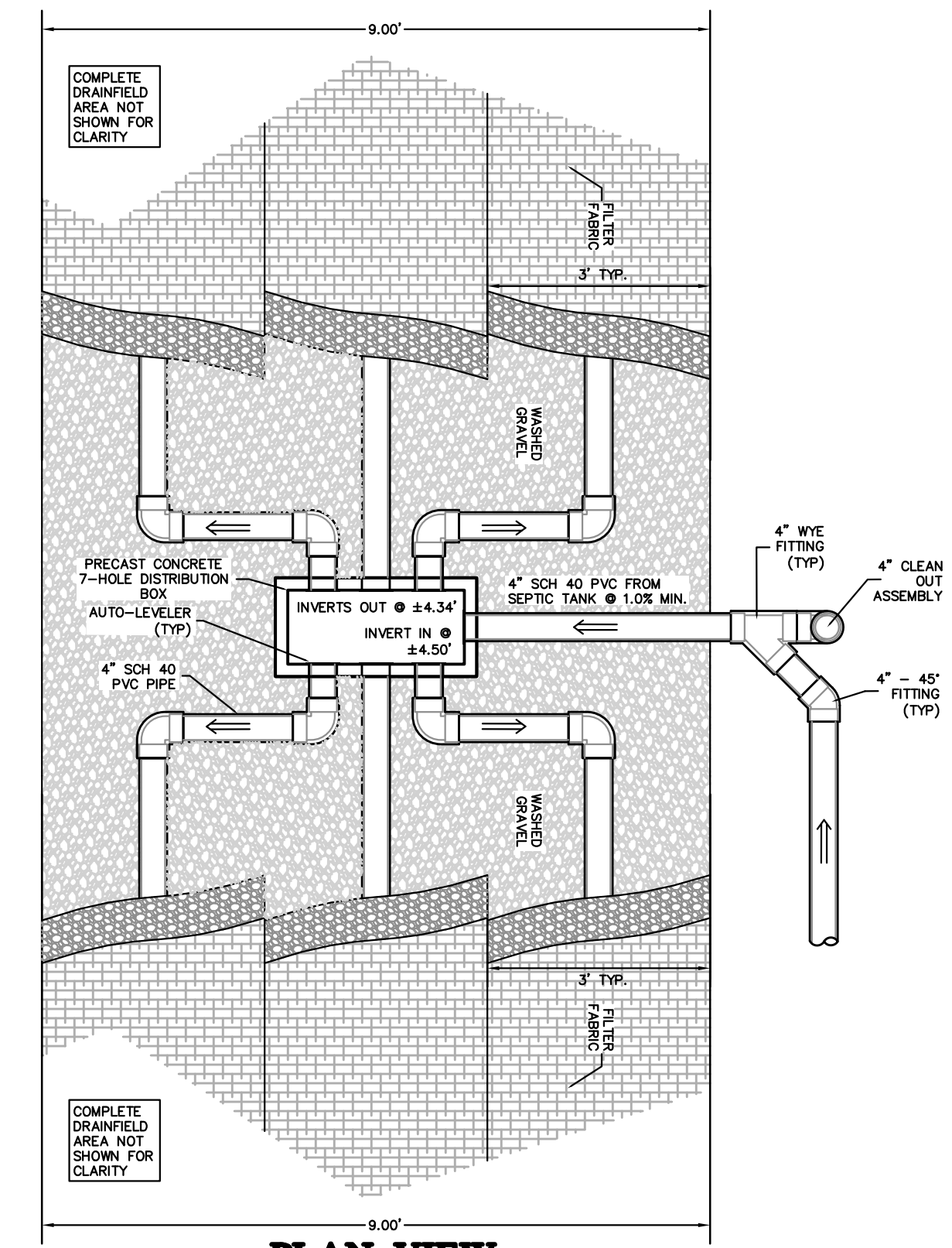
4" NITRIFICATION LINE
 ASTM F-405
 (LENGTH AS REQ'D)

4" DIAMETER CORRUGATED POLYETHYLENE (ASTM F-405) LATERAL NITRIFICATION LINE. NITRIFICATION LINE TO HAVE THREE ROWS OF HOLES, EACH HOLE BETWEEN ONE-HALF INCH AND THREE-FOURTHS INCH IN DIAMETER, AND LOCATED IN THE LOWER PORTION OF THE TUBING, THE OUTSIDE ROWS BEING APPROXIMATELY ON 120° CENTERS. SEE NITRIFICATION LINE DETAIL ABOVE.
 PLUG EACH END OF 4" NITRIFICATION LINE. SEAL PLUG WITH WATER-PROOF SEALANT OR CAULKING.

CONVENTIONAL TRENCH DETAIL
 TYPICAL DETAIL
 N.T.S.



BRUNSWICK BED IN FILL DRAINFIELD DETAIL
 N.T.S.

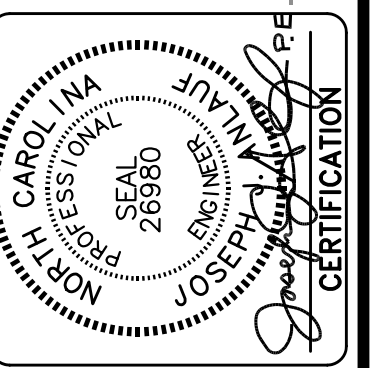


PLAN VIEW
DISTRIBUTION BOX
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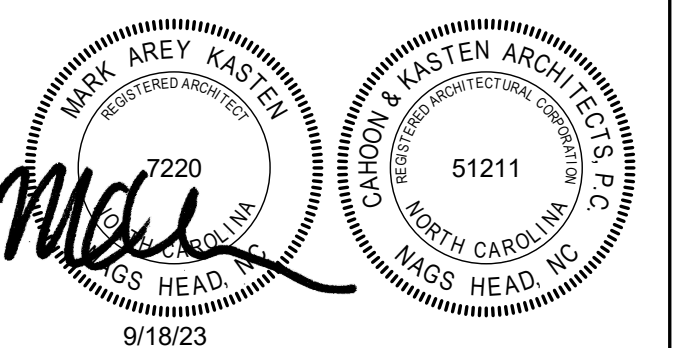
WASTEWATER DETAILS
DARE ABC RETAIL - BUXTON
 47290 NC HWY 12
 DARE COUNTY NORTH CAROLINA
 BUXTON

COMMISSION NO.	P2182
DESIGNED BY	JJA
DRAWN BY	JJA
CHECKED BY	JJA
ISSUE DATE	1/6/23

SHEET NO.
2
 OF 2 SHEETS

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Foundation Plan**
Date: **September 18, 2023**
Scale: **3/16" = 1'-0"**

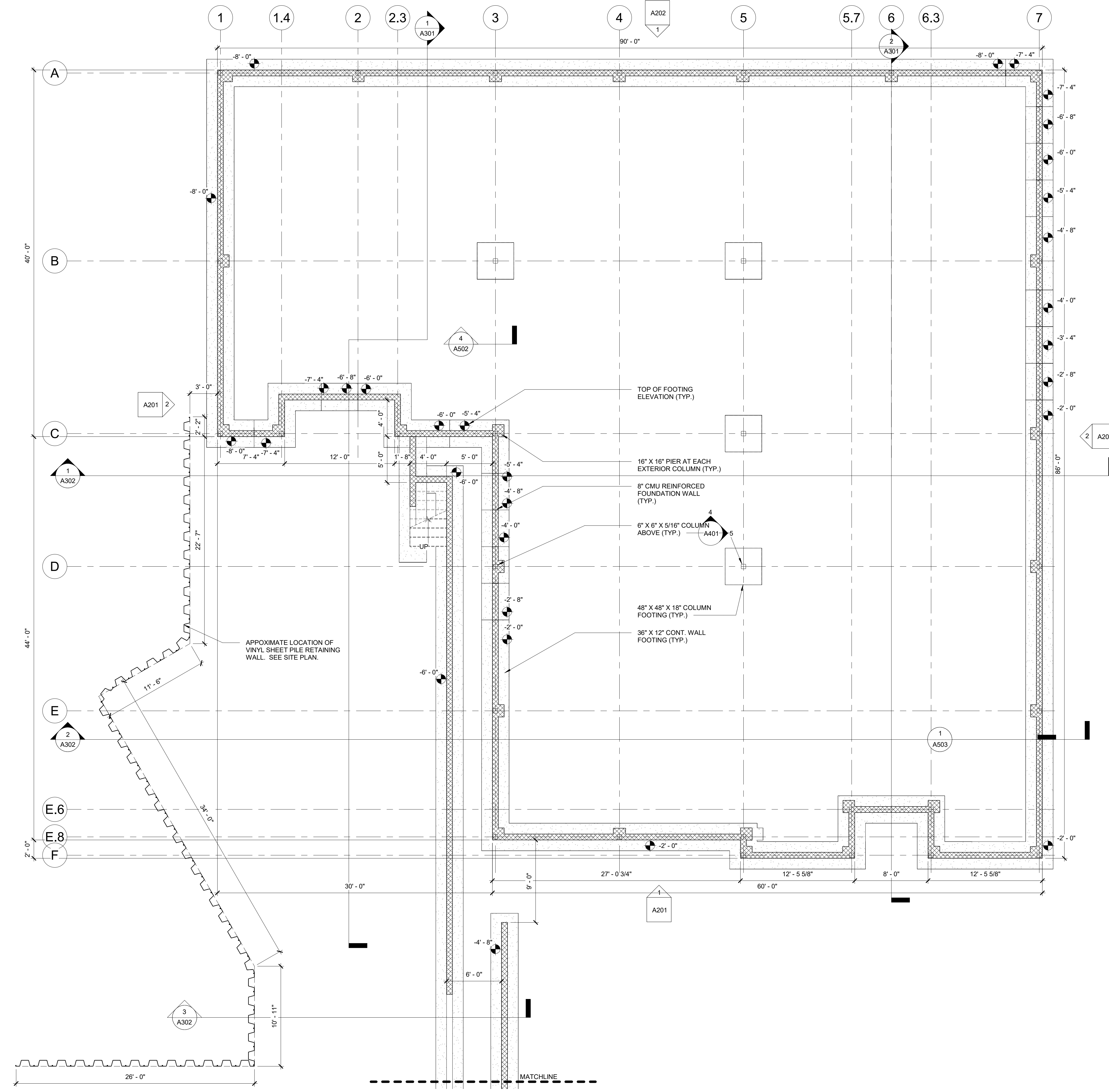
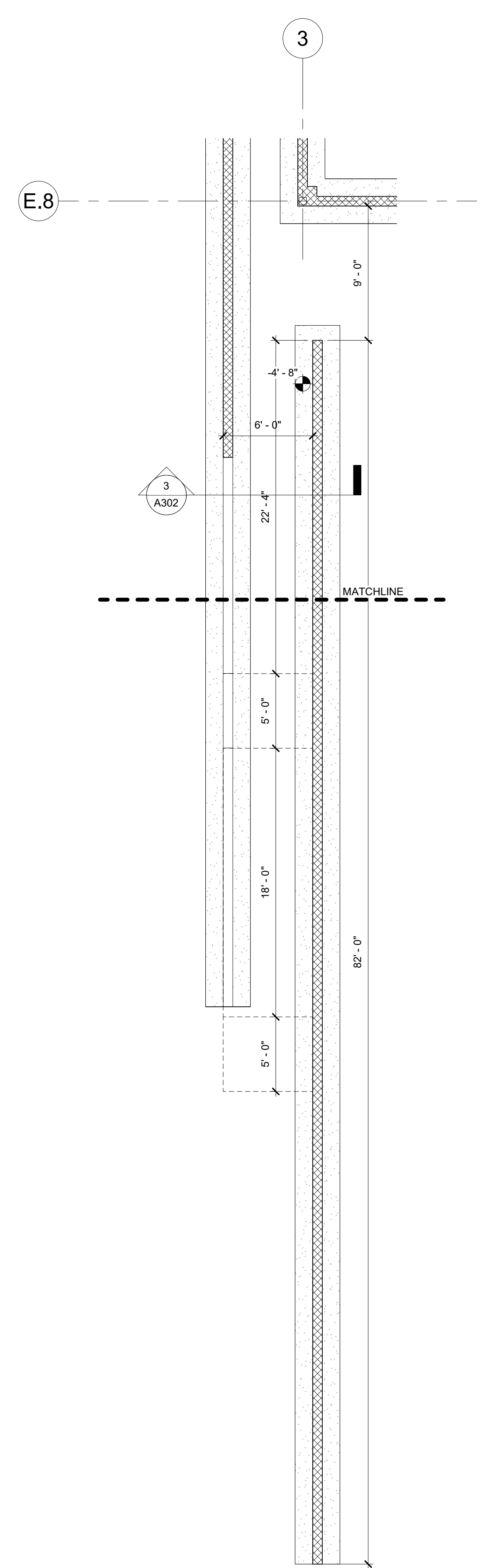
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Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File: **A101**

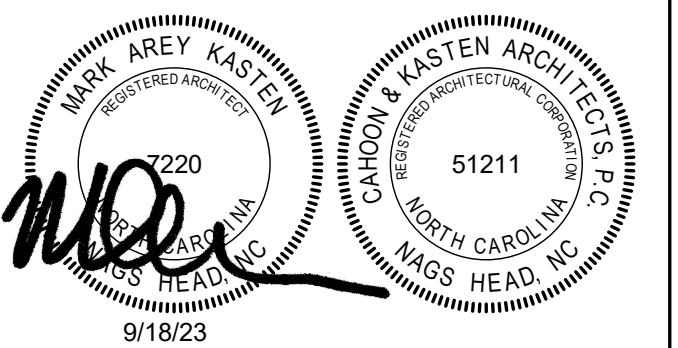


② Foundation Plan
3/16" = 1'-0"

① Foundation Plan
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **First Floor Plan**
Date: **September 18, 2023**
Scale: **As indicated**

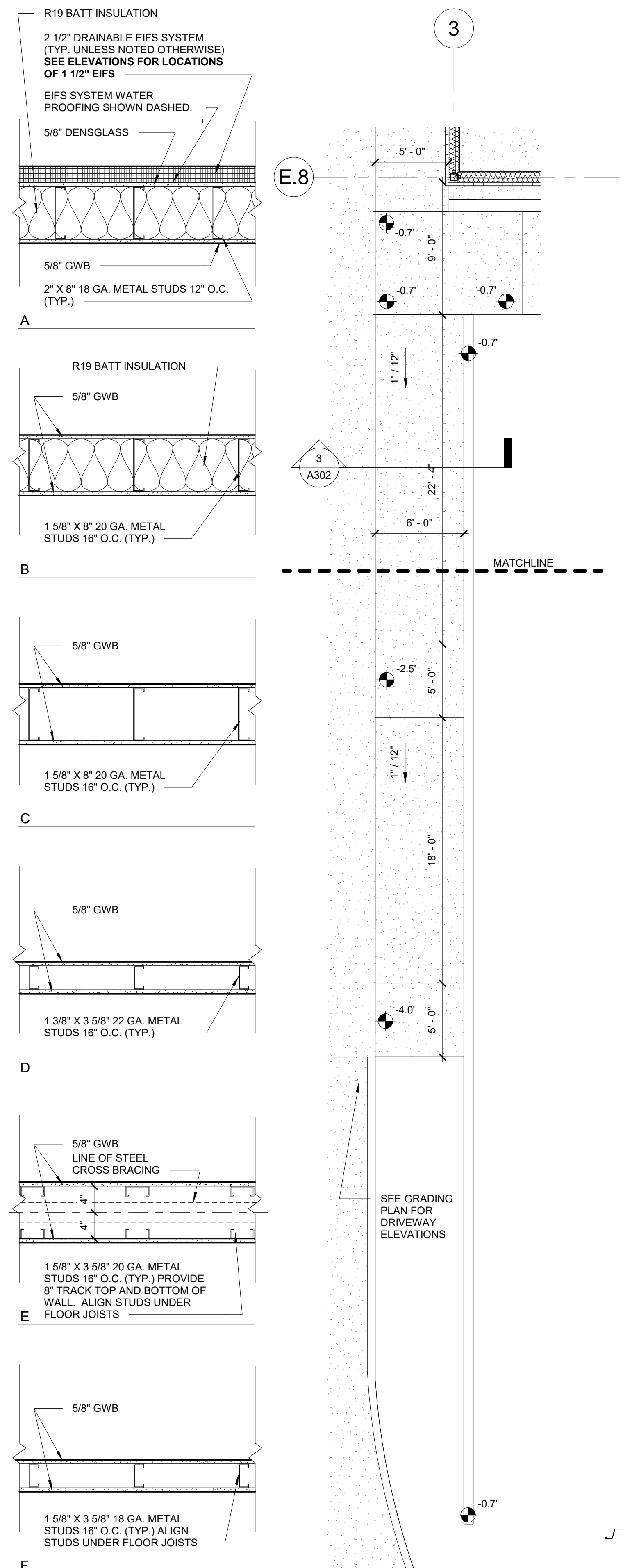
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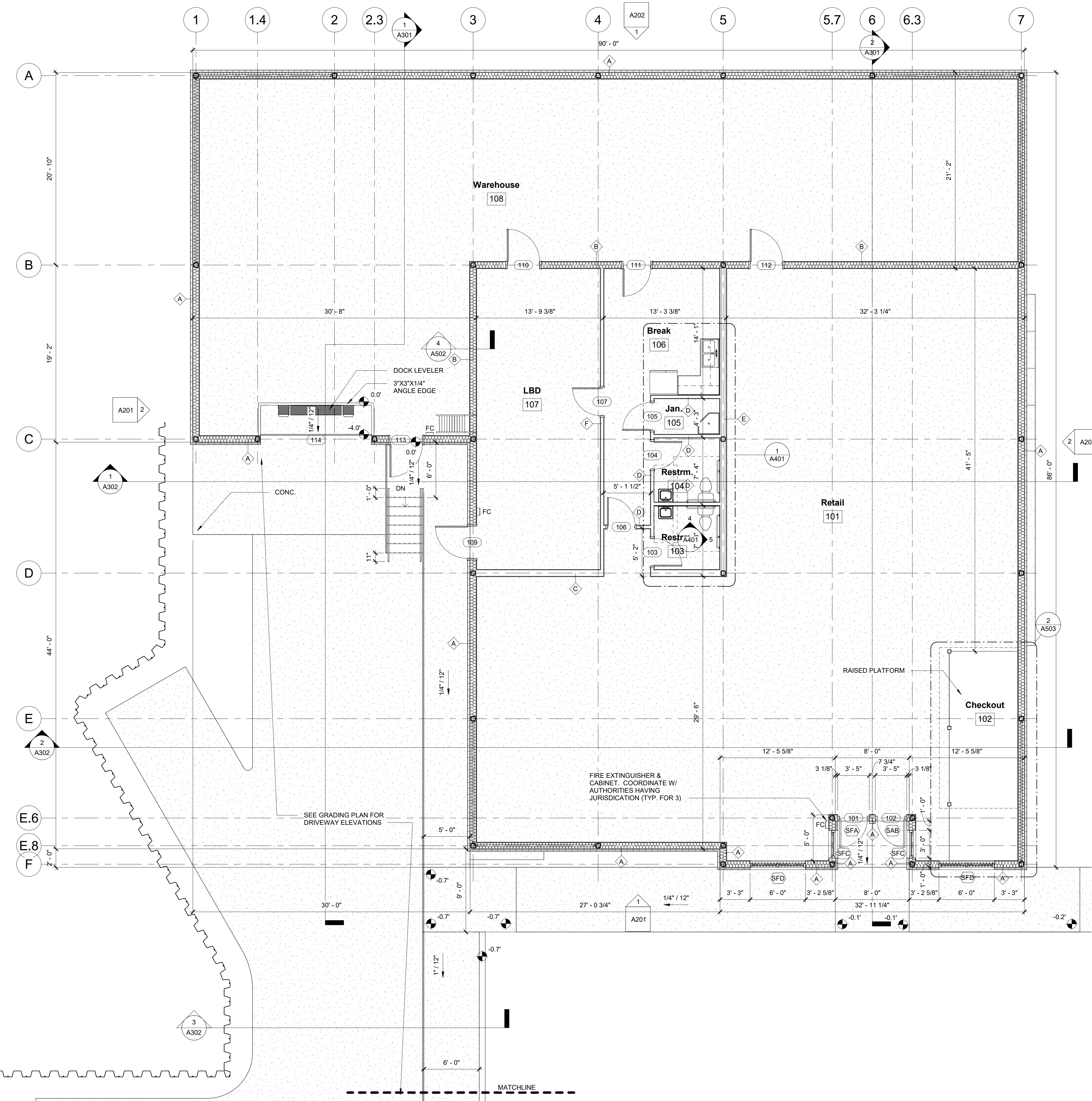
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Cad File:

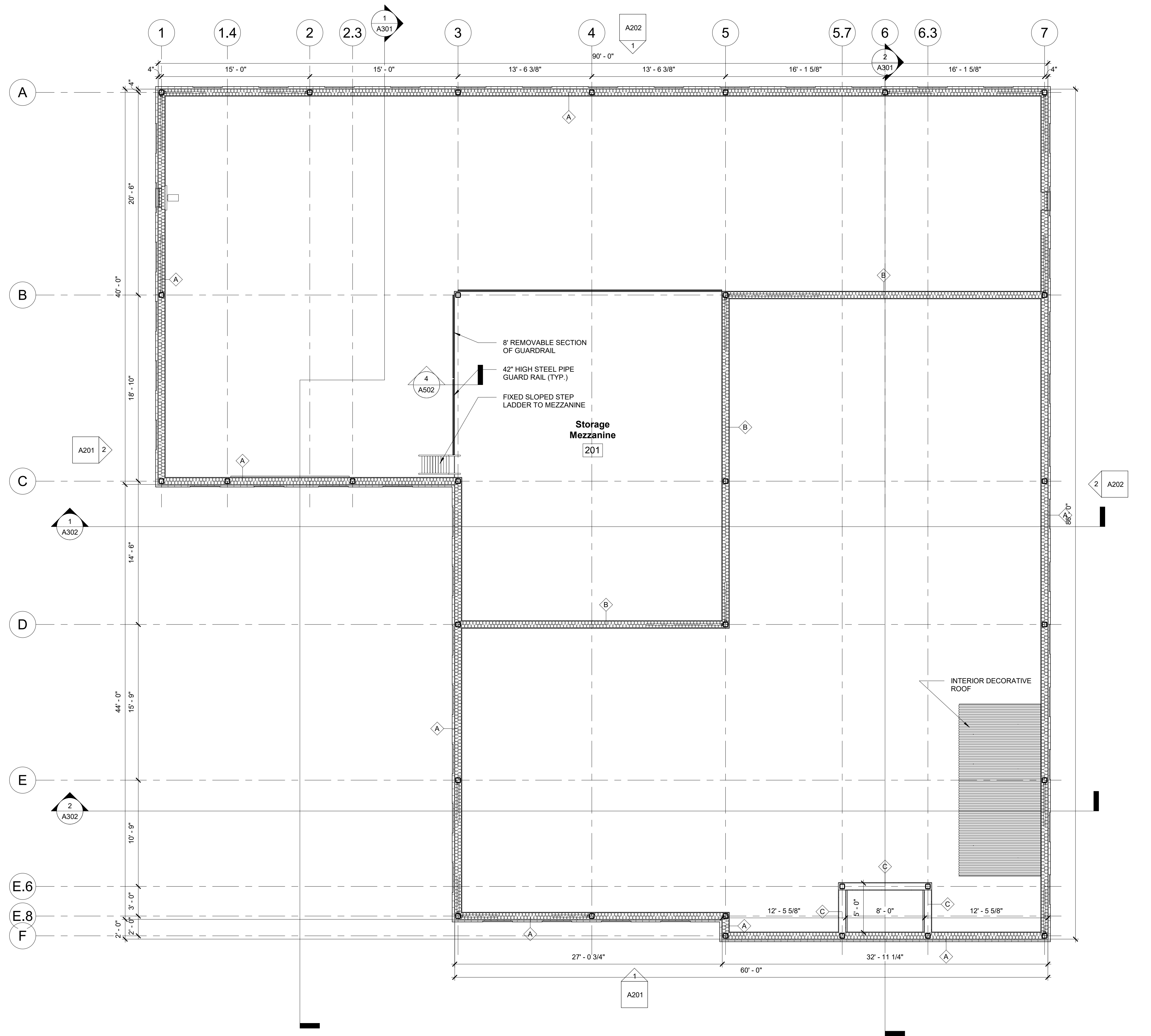


2 Wall Types
1" = 1'-0"

3 First Floor Plan
3/16" = 1'-0"



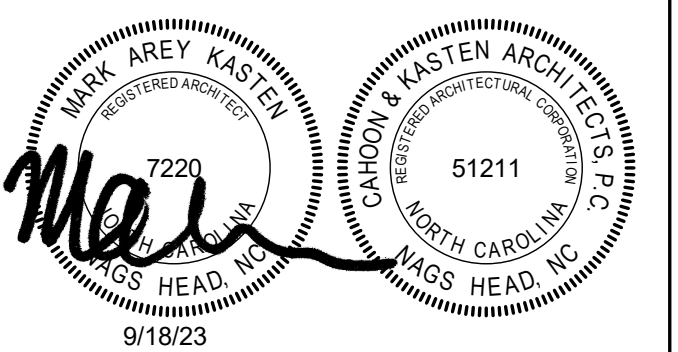
1 First Floor Plan
3/16" = 1'-0"



1 Second Floor Plan
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Mezzanine Floor Plan**
Date: **September 18, 2023**
Scale: **3/16" = 1'-0"**

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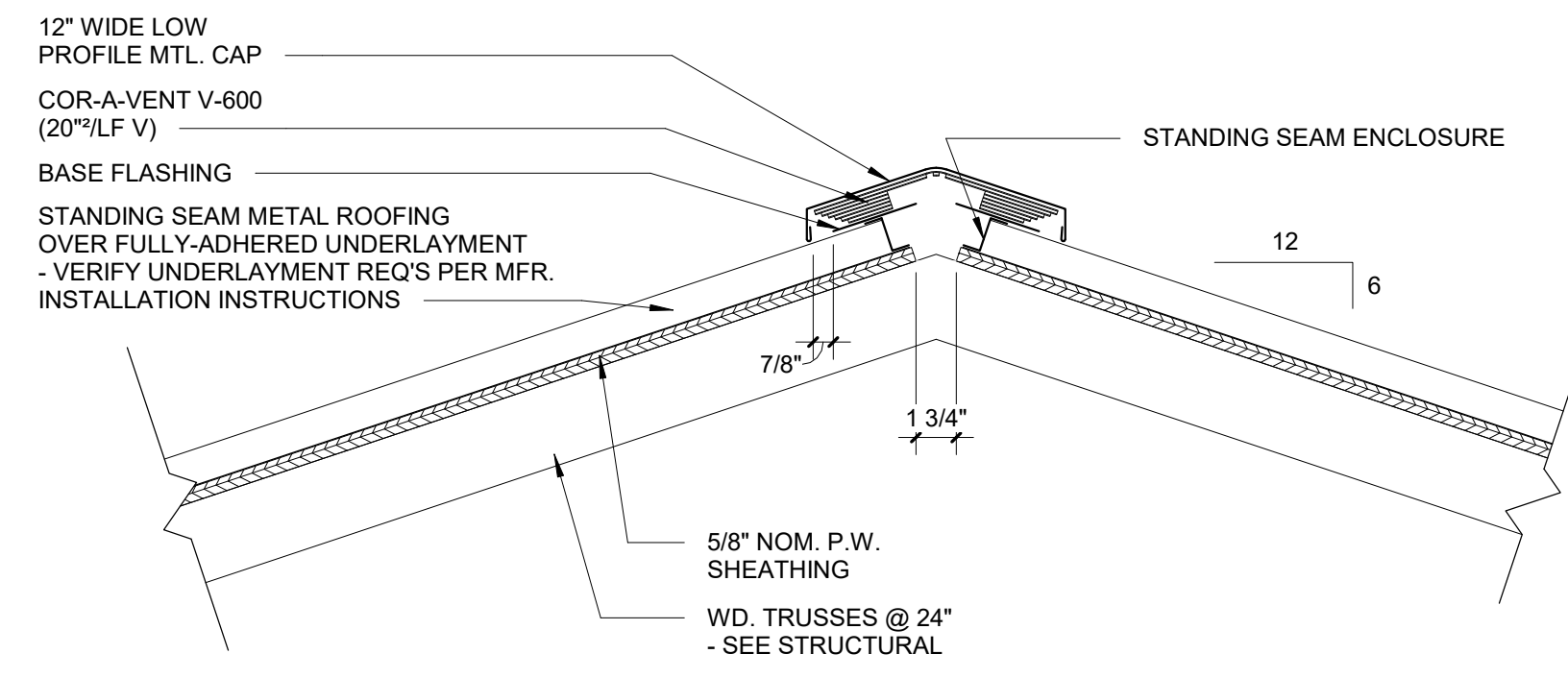


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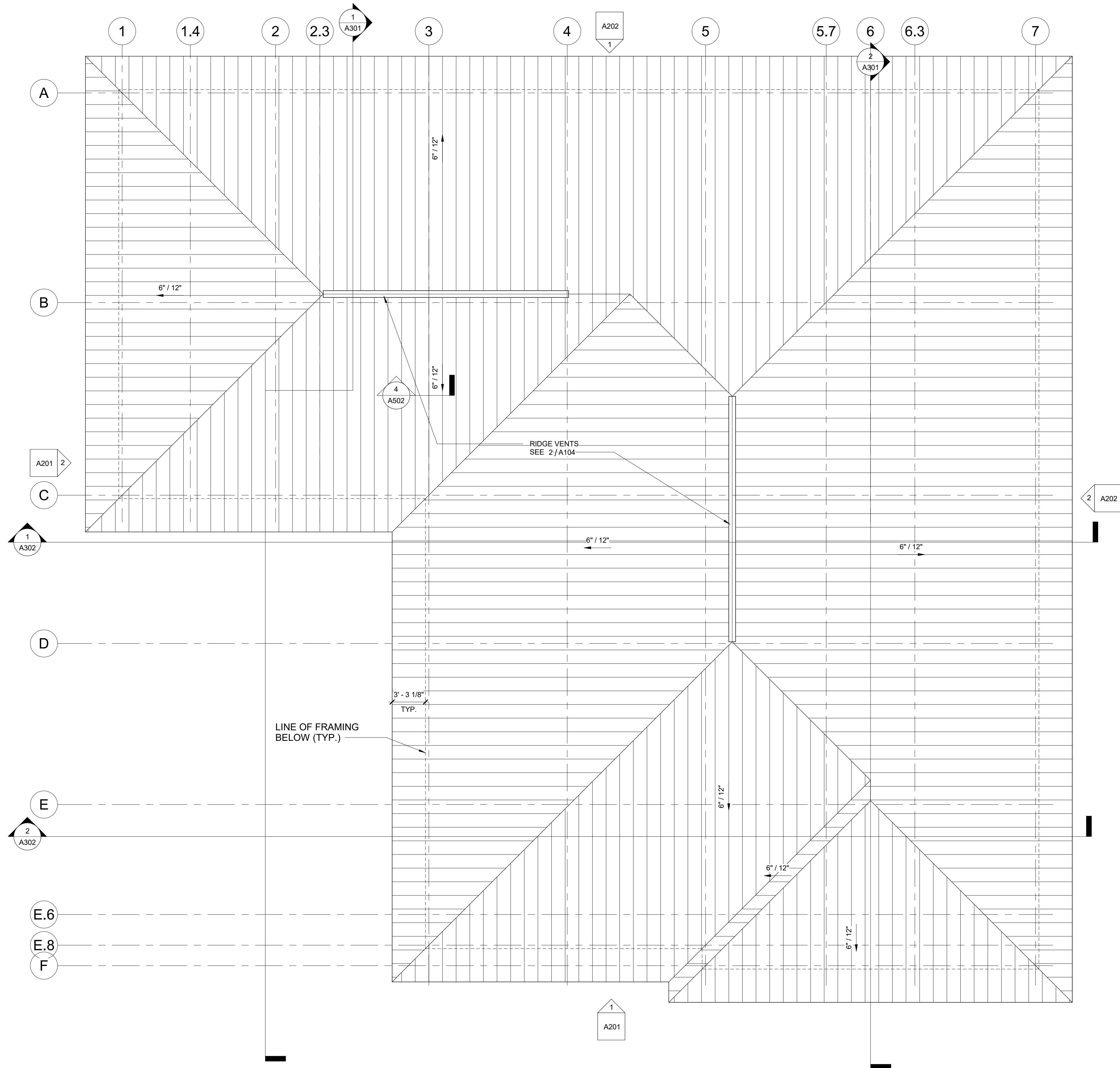
No.	Description	Date

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Drawn: MAK
Reviewed: MAK
Cad File:

A103



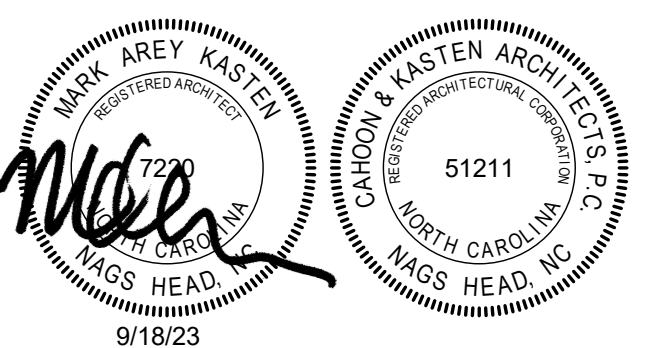
2 Ridge Detail
1 1/2" = 1'-0"



1 Roof Plan
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Roof Plan**
Date: **September 18, 2023**
Scale: **As indicated**

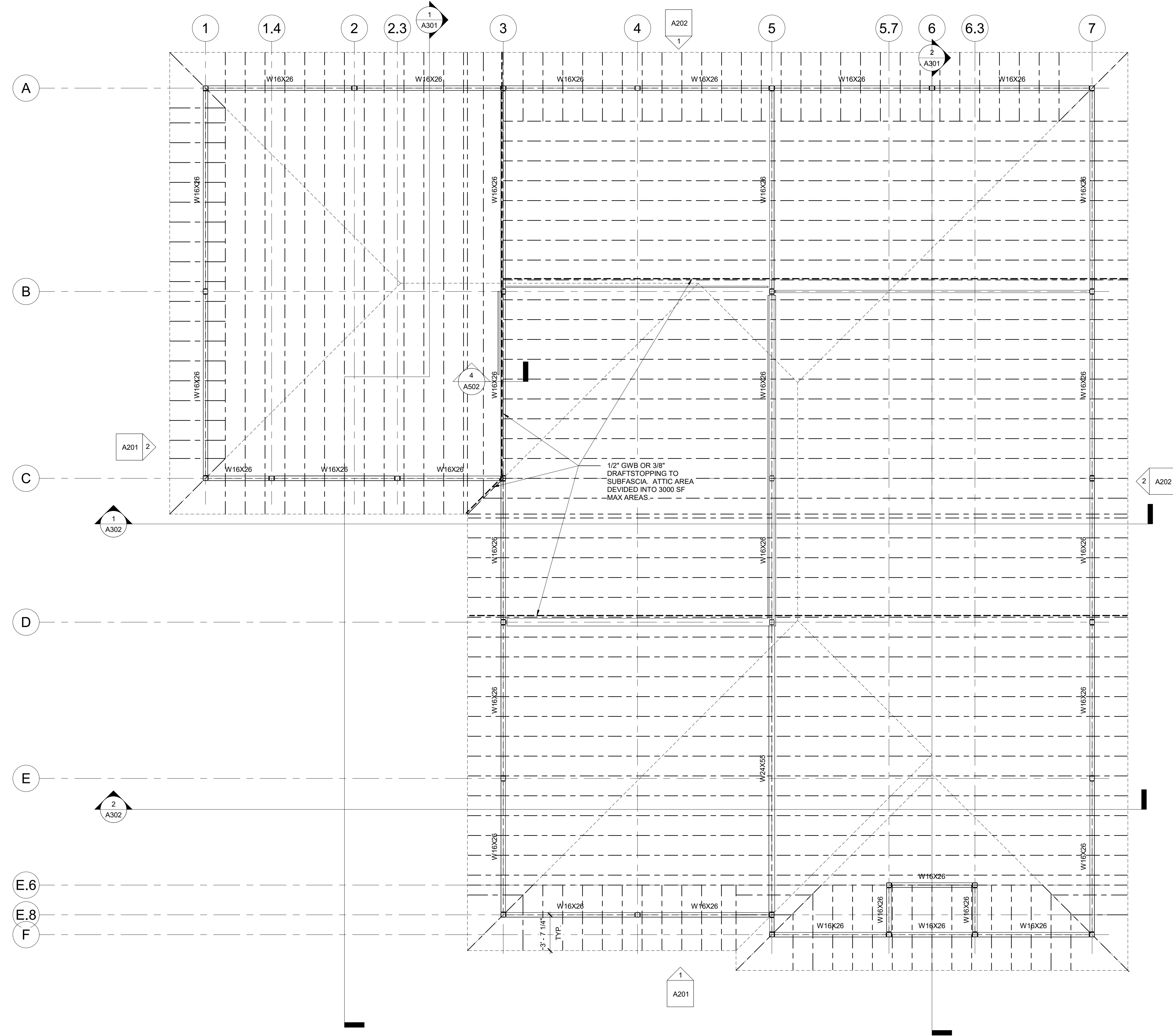
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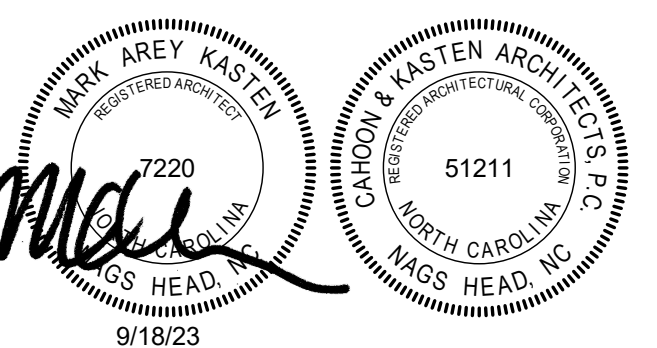
No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:



Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Roof Framing Plan**
Date: **September 18, 2023**
Scale: **3/16" = 1'-0"**

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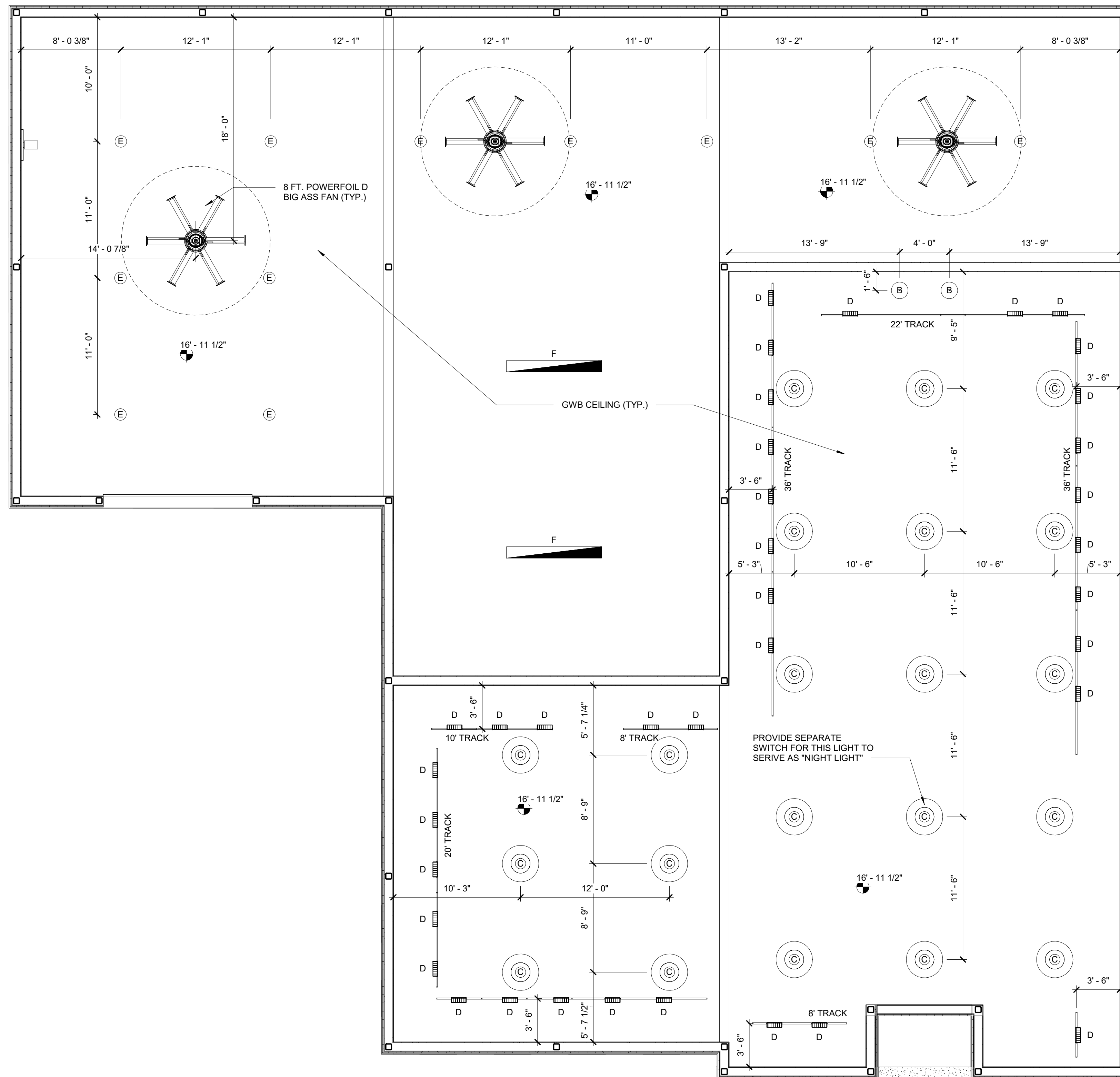
Revisions:

No.	Description	Date

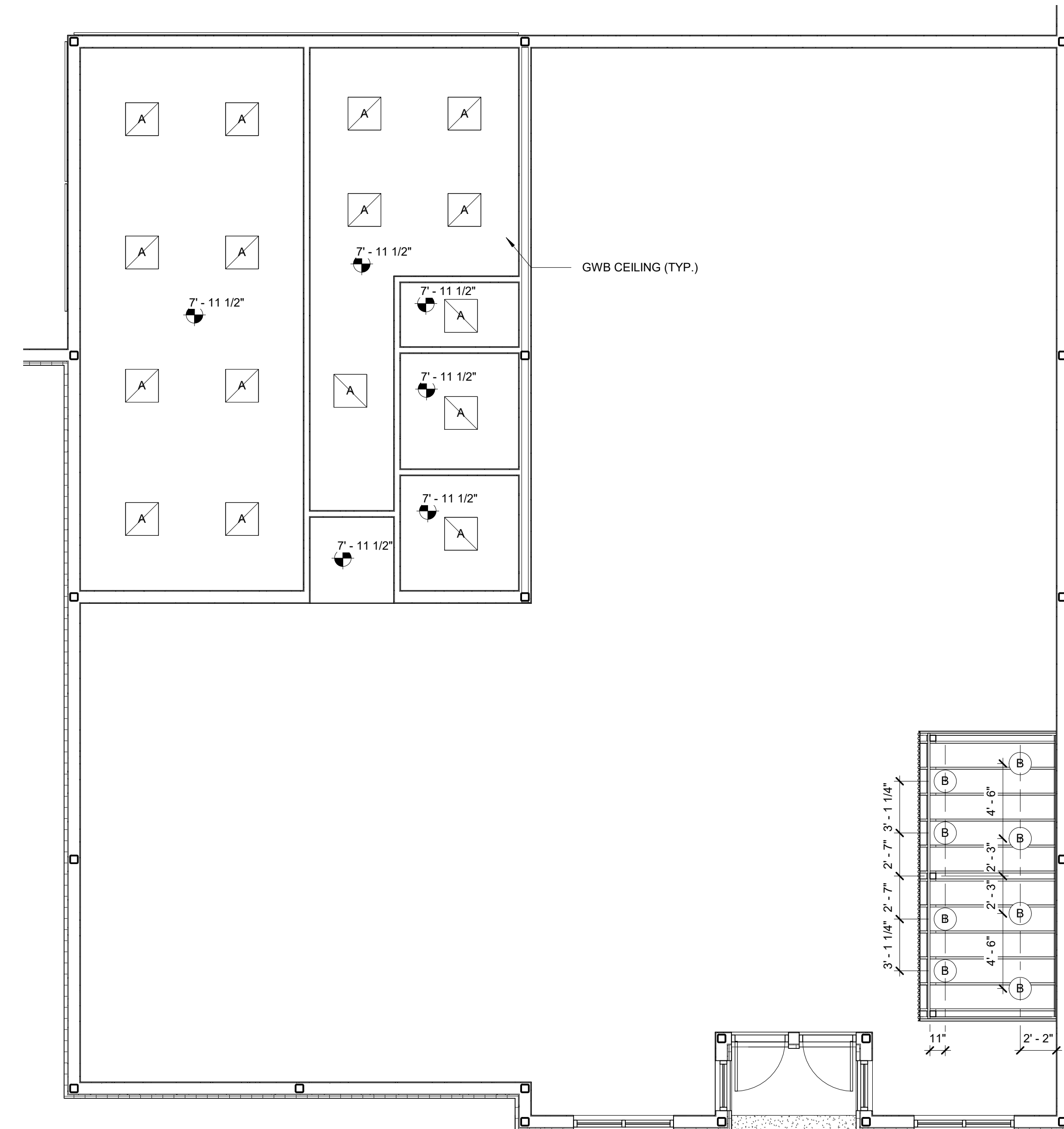
Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A105

1 Roof Plan
3/16" = 1'-0"



2 Second Floor Reflected Ceiling Plan
3/16" = 1'-0"

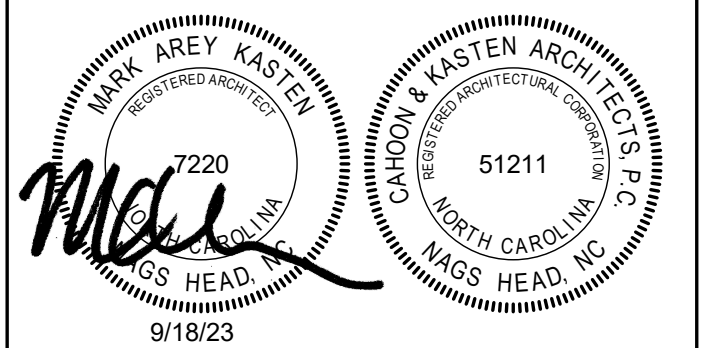


1 First Floor Reflected Ceiling Plan
3/16" = 1'-0"

Lighting Fixture Schedule					
Type Mark	Description	Manufacturer	Model	Wattage	Comments
A	2X2 Surface Mounted LED Flat Panel 4000K	Cooper Lighting	RT Panel	36 W	
B	Classic Vintage Industrial			13 W	Furnished by Others Installed By GC's Electrical Contractor
C	LED Round High Bay w/ Alum. Reflector	E-Cono Light	C-HB-B-RD-14L-UL	100 W	Furnished by Others Installed By GC's Electrical Contractor
D	Wall Washer	Juno		30 W	Furnished by Others Installed By GC's Electrical Contractor
E	LED Round High Bay	E-Cono Light	C-HB-B-RD-20L-UL	150 W	Furnished by Others Installed By GC's Electrical Contractor
F	LED Linear Bay Lighting System	Cooper Lighting	Industrial LED Linear Bay	63 W	

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Reflected Ceiling Plans**
Date: **September 18, 2023**
Scale: **3/16" = 1'-0"**

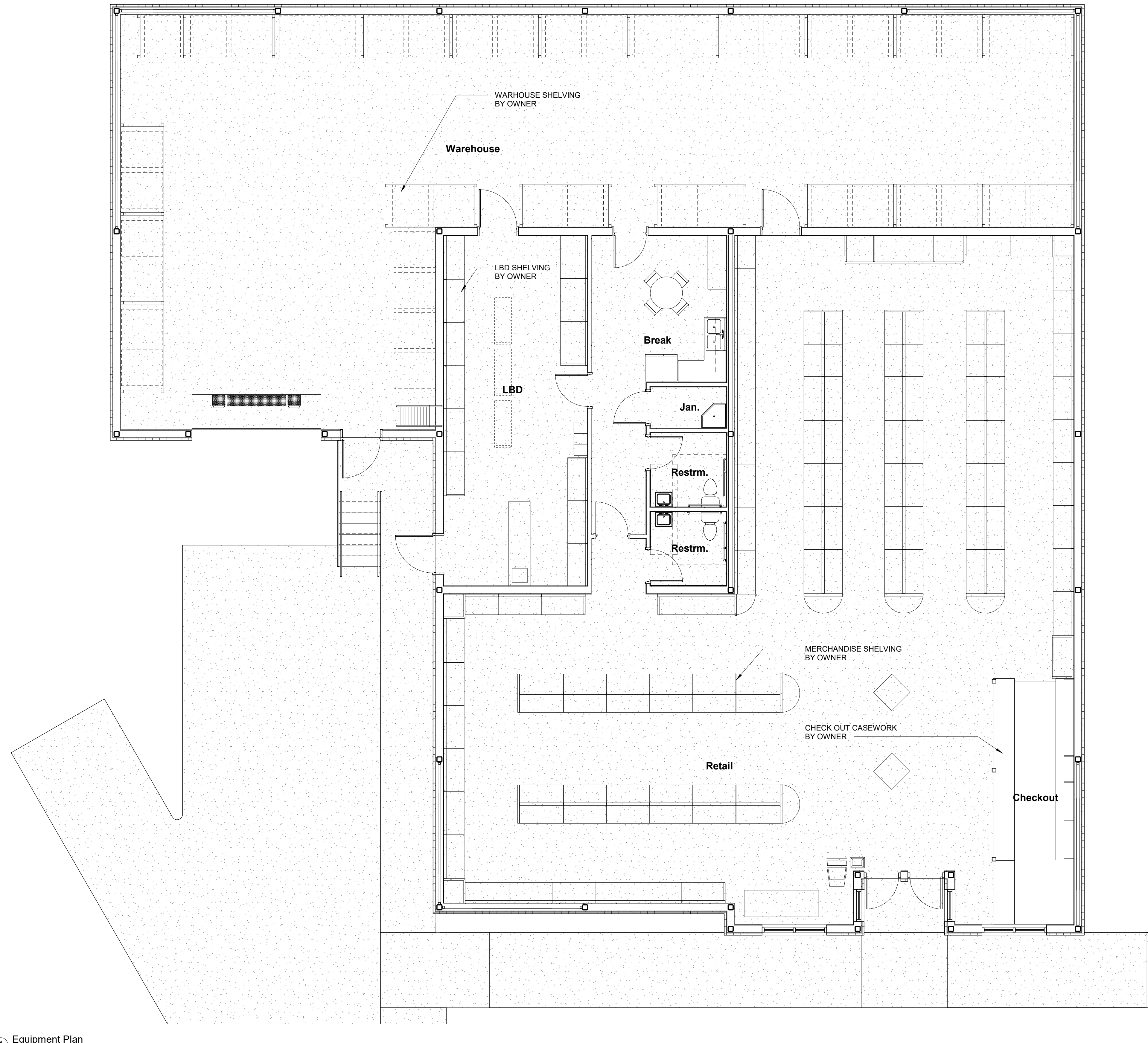
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Revisions:

No.	Description	Date

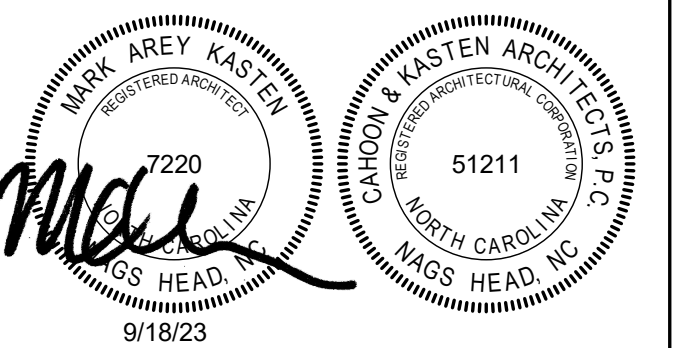
Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File: **A106**



① Equipment Plan
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Equipment**
Date: **September 18, 2023**
Scale: **3/16" = 1'-0"**

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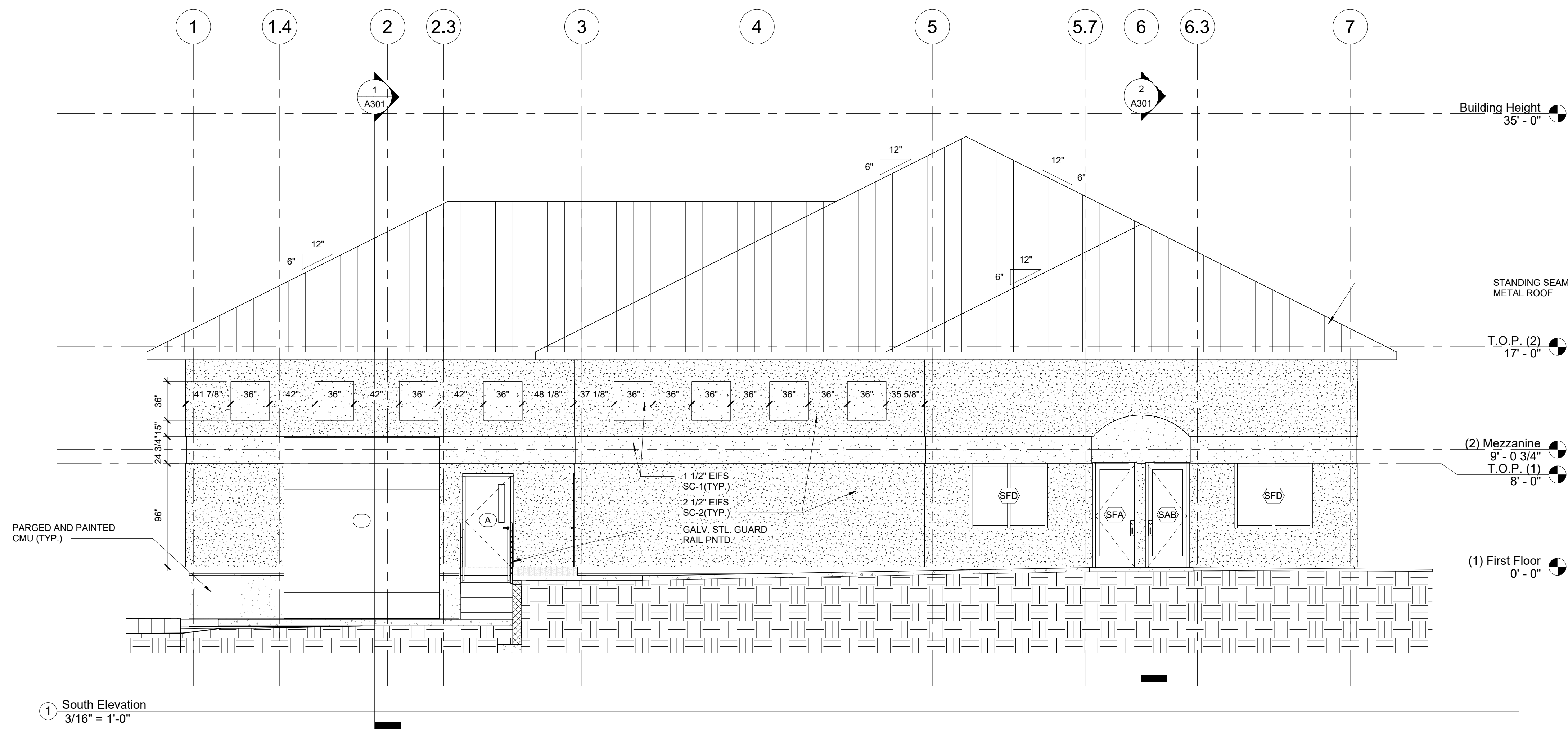


Revisions:

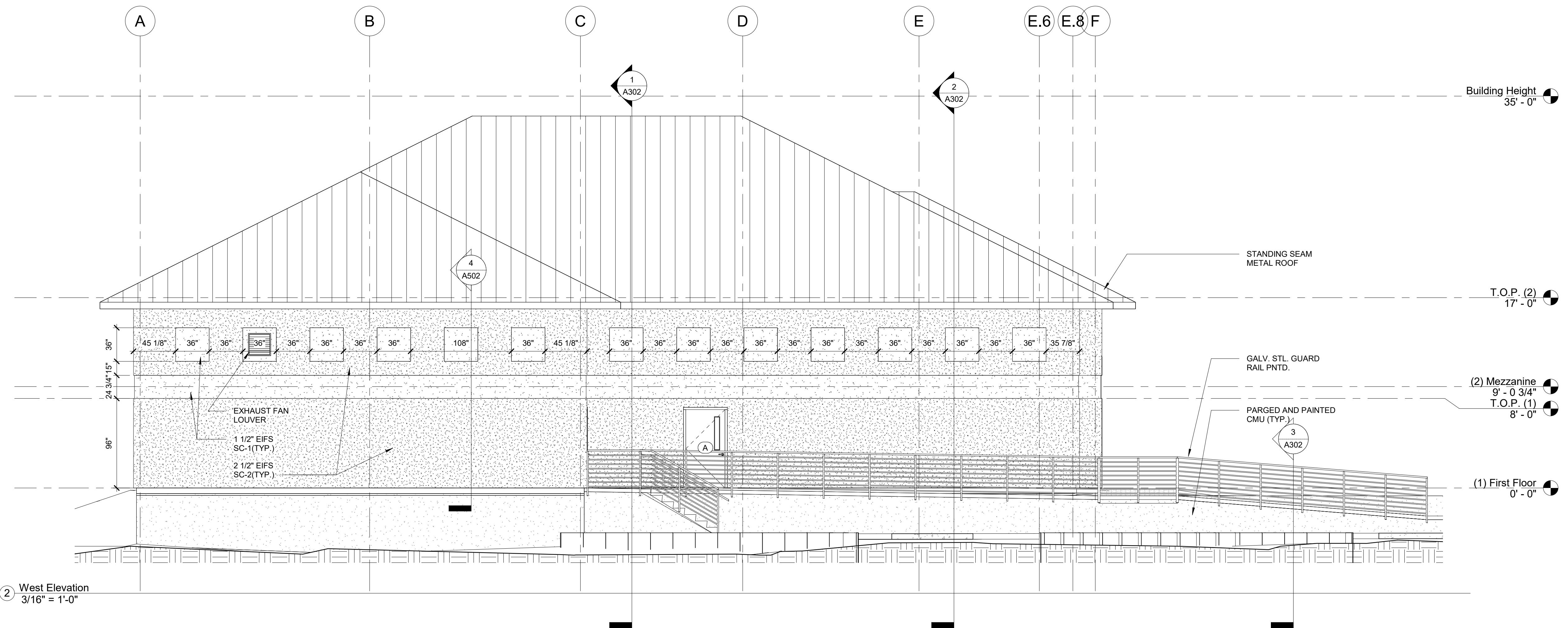
No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A107



1 South Elevation
3/16" = 1'-0"



2 West Elevation
3/16" = 1'-0"

Project: **ABC Buxton**

Project No: **22041**

Location: **47290 Hwy 12**

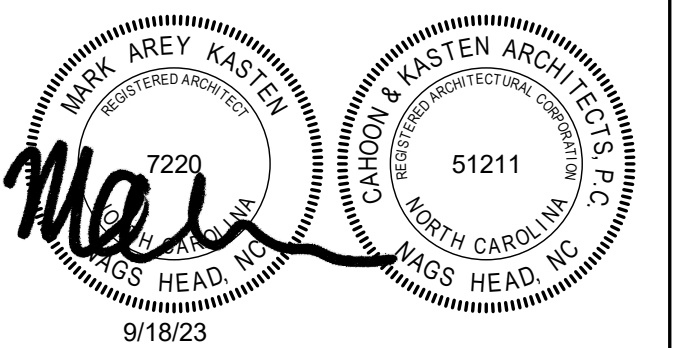
Buxton, NC

Title: **Elevations**

Date: **September 18, 2023**

Scale: **3/16" = 1'-0"**

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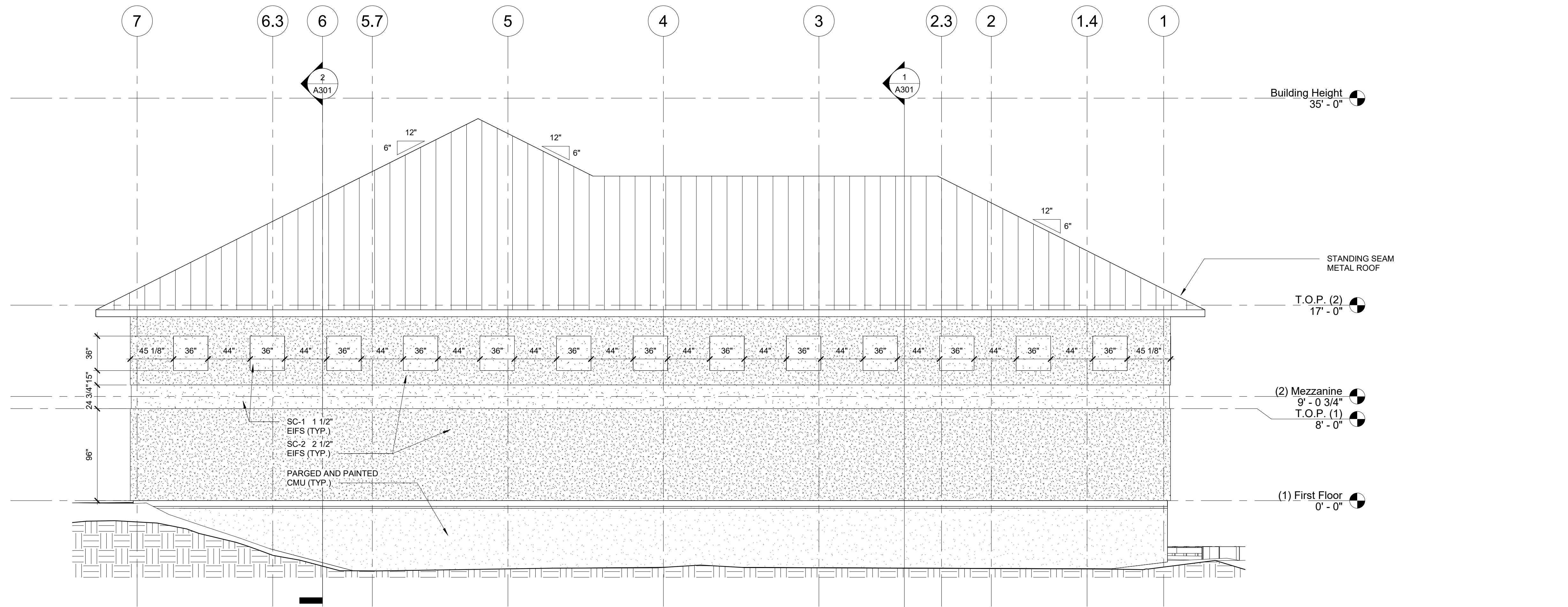


Revisions:

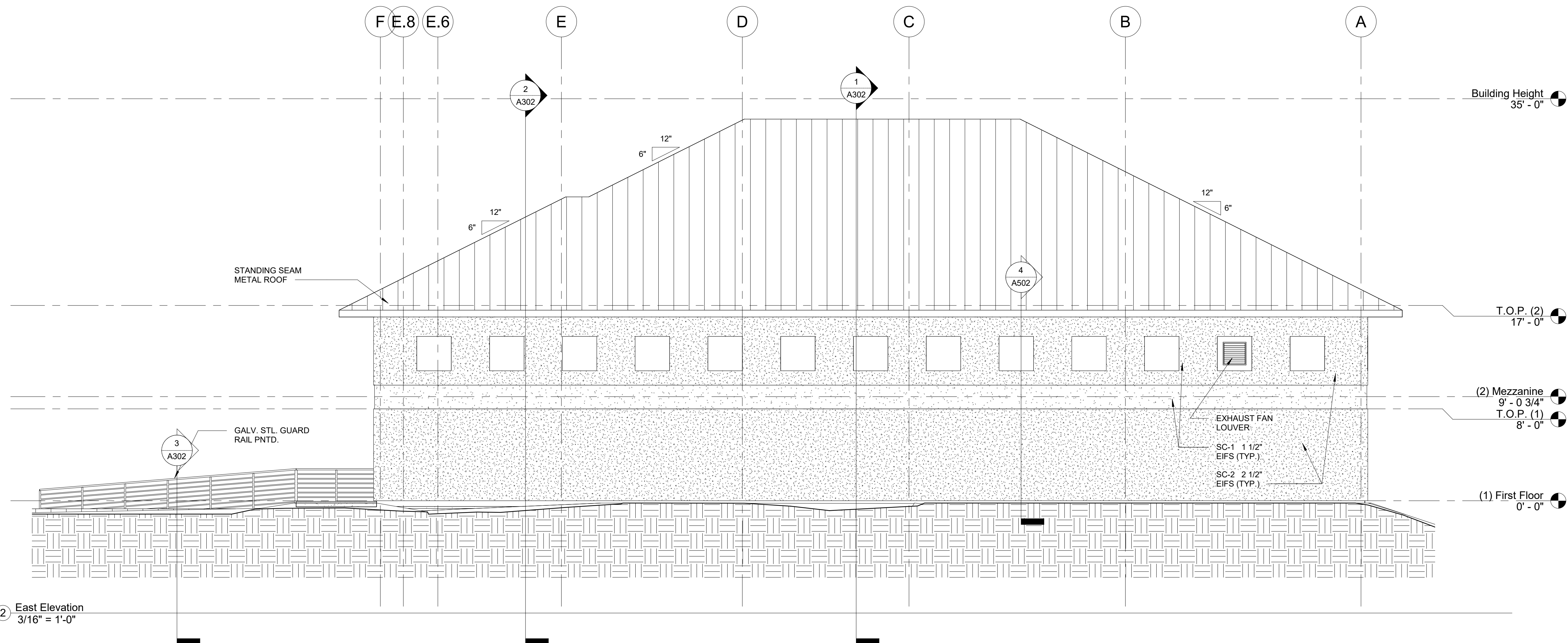
No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A201



1 North Elevation
3/16" = 1'-0"



2 East Elevation
3/16" = 1'-0"

Project: **ABC Buxton**

Project No: **22041**

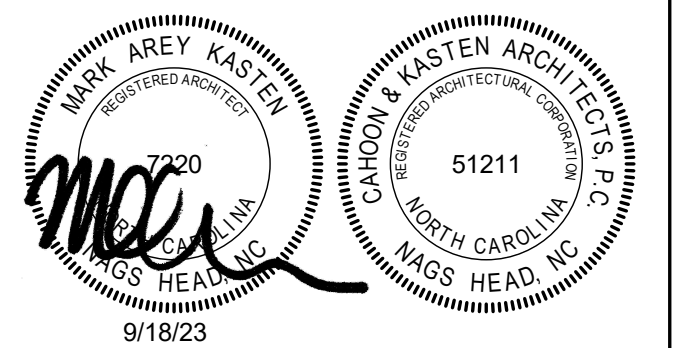
Location: **47290 Hwy 12
Buxton, NC**

Title: **Elevations**

Date: **September 18, 2023**

Scale: **3/16" = 1'-0"**

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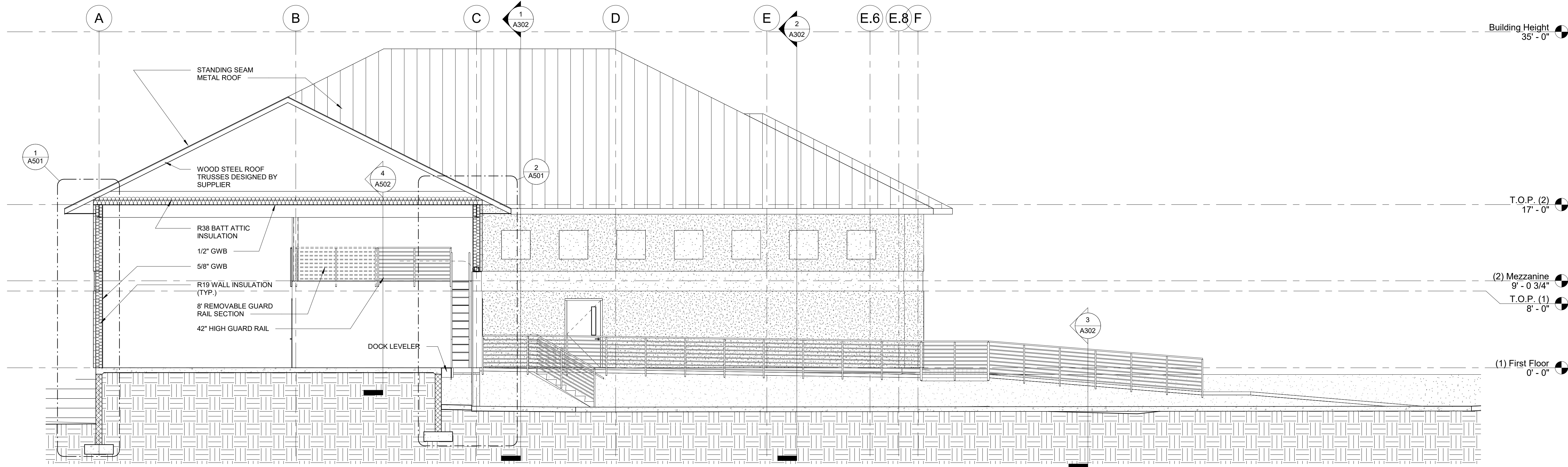


Revisions:

No.	Description	Date

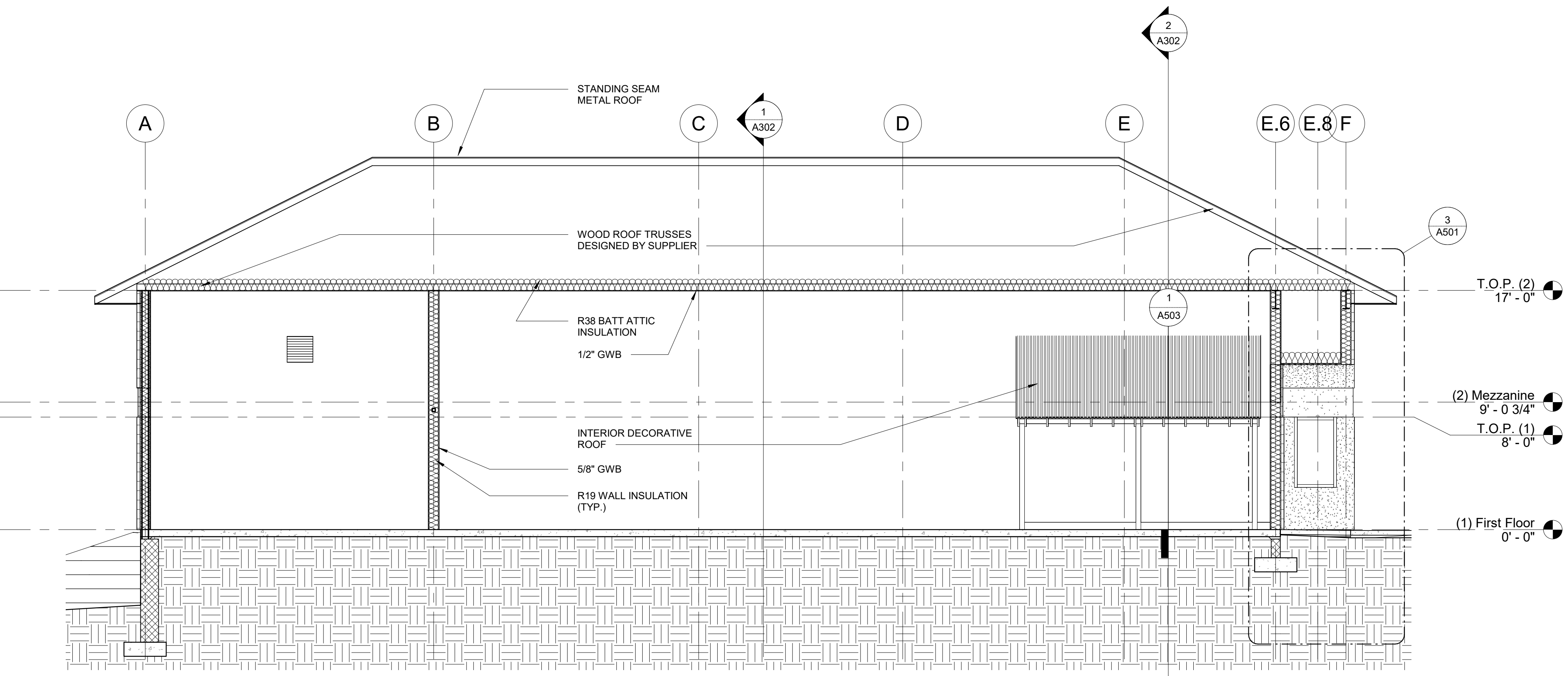
Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A202



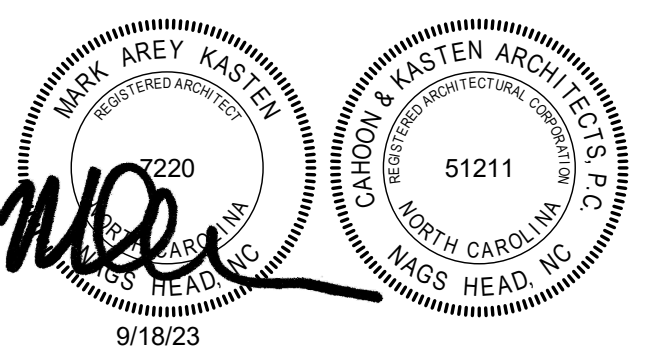
1 Section 1
3/16" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Building Sections**
Date: **September 18, 2023**
Scale: **3/16" = 1'-0"**



2 Section 2
3/16" = 1'-0"

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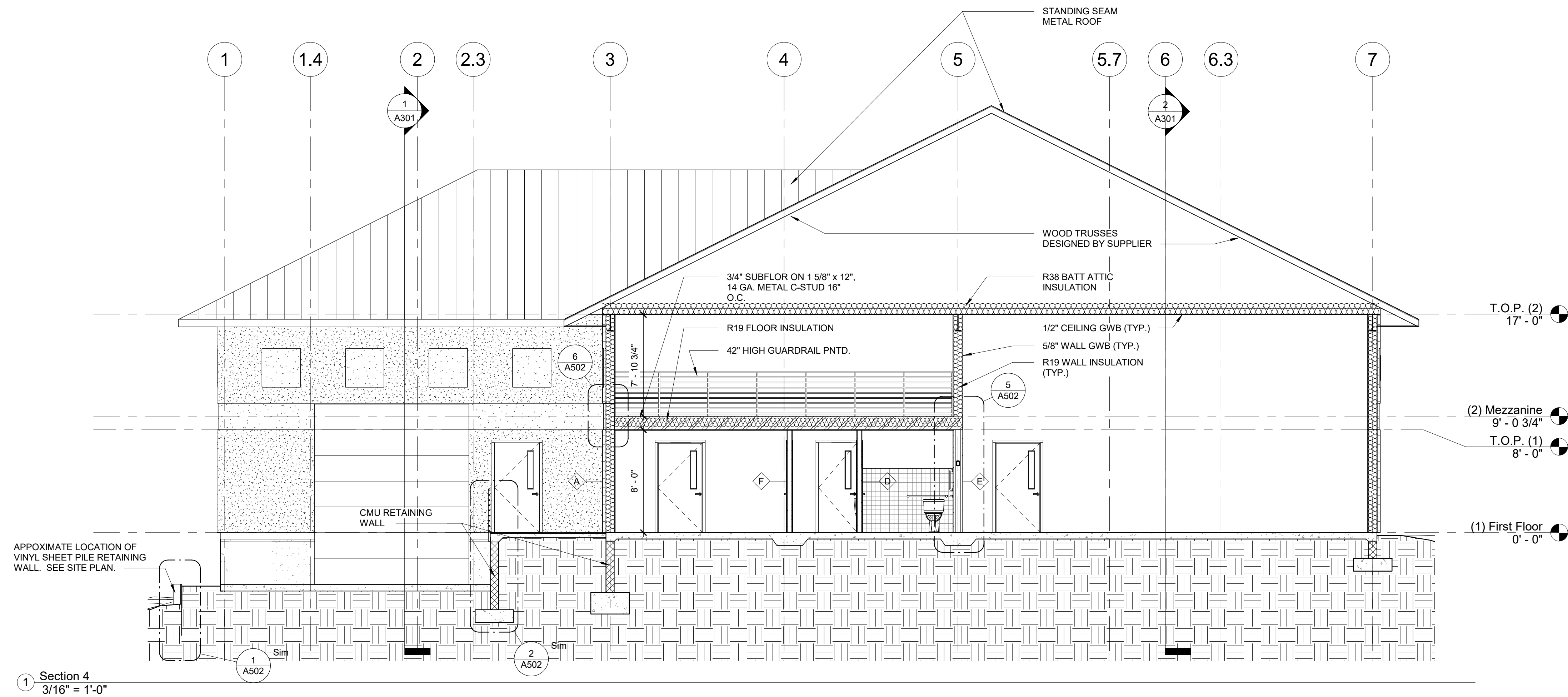


Revisions:

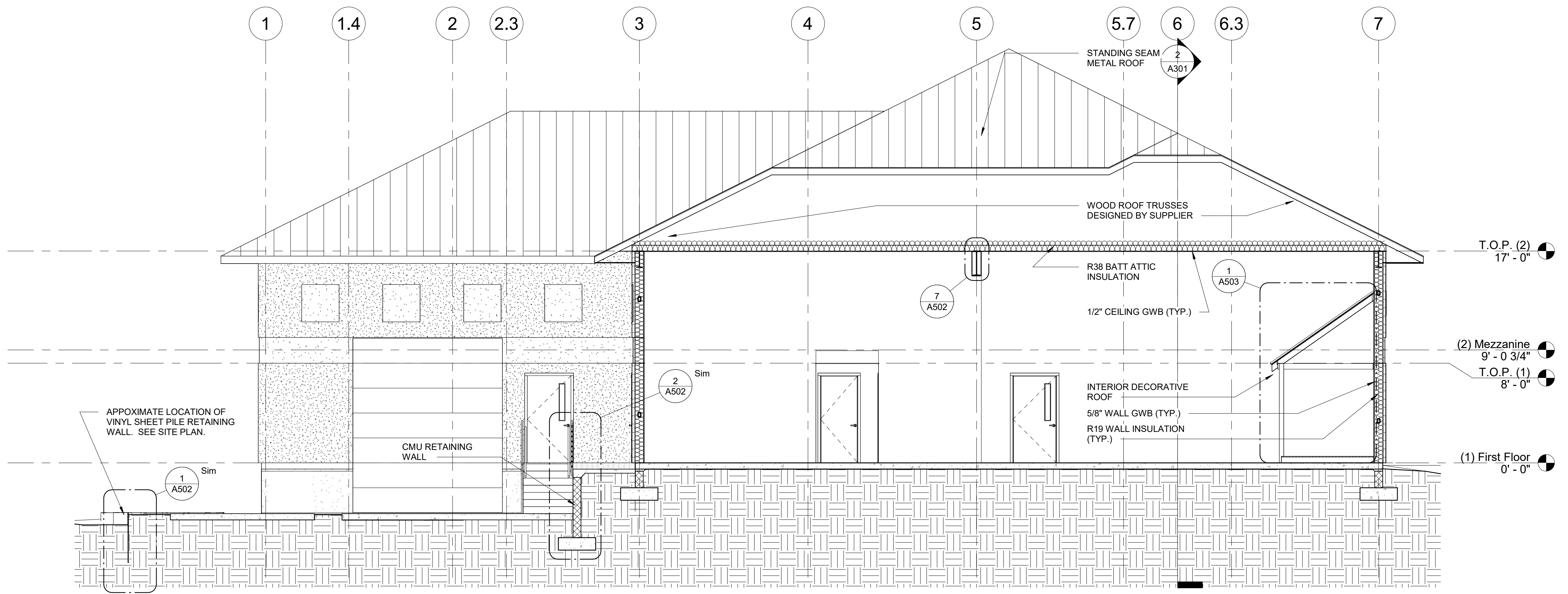
No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

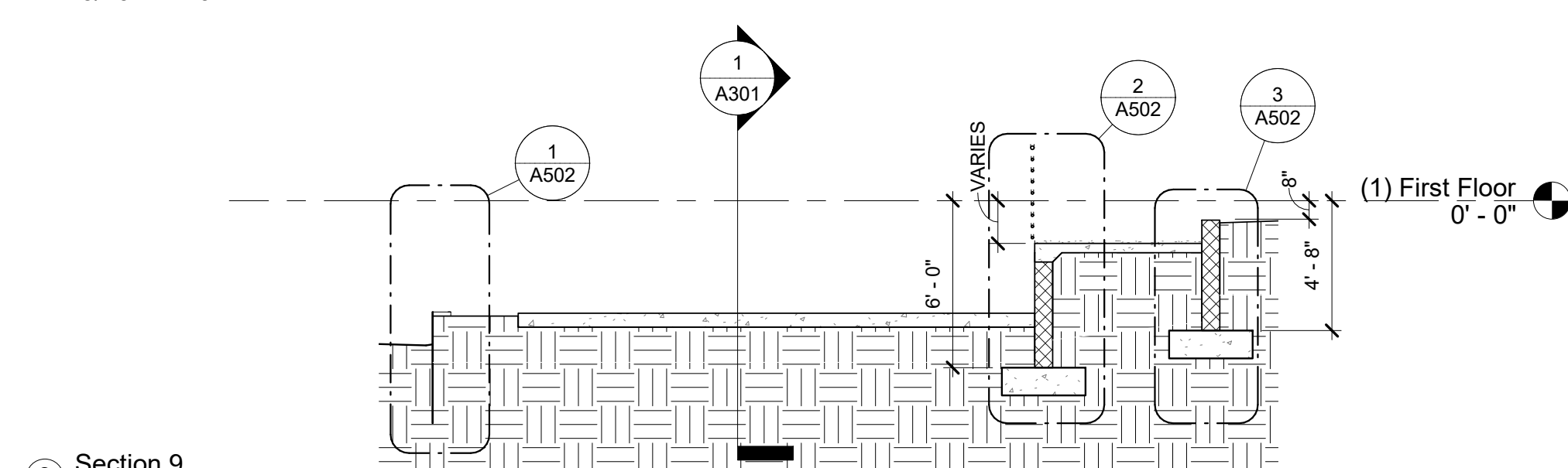
A301



Section 4
3/16" = 1'-0"



Section 8
3/16" = 1'-0"



Section 9
3/16" = 1'-0"

Project: **ABC Buxton**

Project No: **22041**

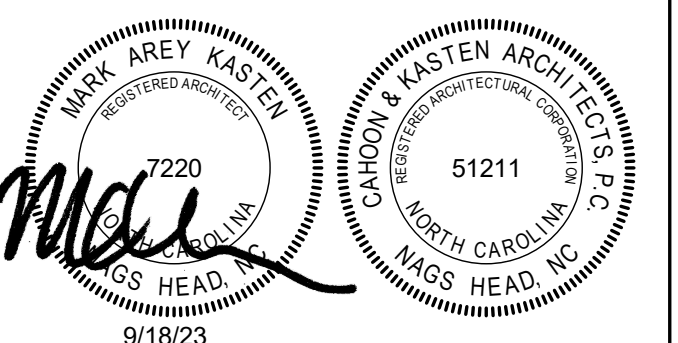
Location: **47290 Hwy 12
Buxton, NC**

Title: **Building Sections**

Date: **September 18, 2023**

Scale: **3/16" = 1'-0"**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

A302

Project: **ABC Buxton**

Project No: **22041**

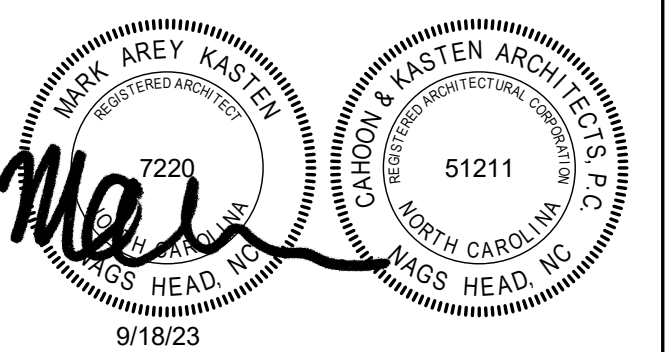
Location: **47290 Hwy 12
Buxton, NC**

Title: **Interior Elevations**

Date: **September 18, 2023**

Scale: **As indicated**

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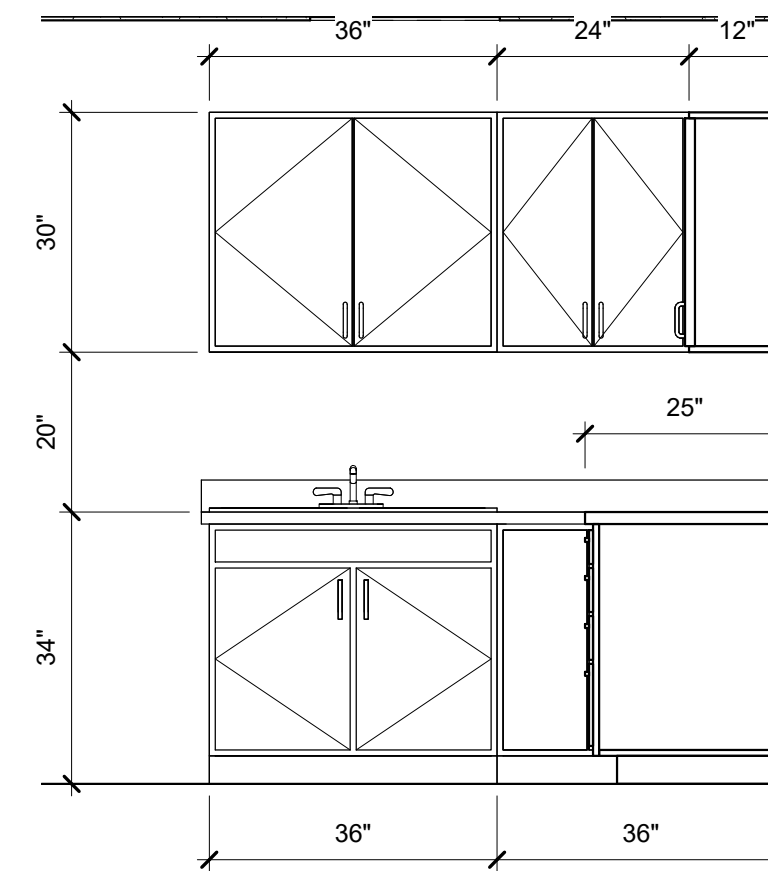


Revisions:

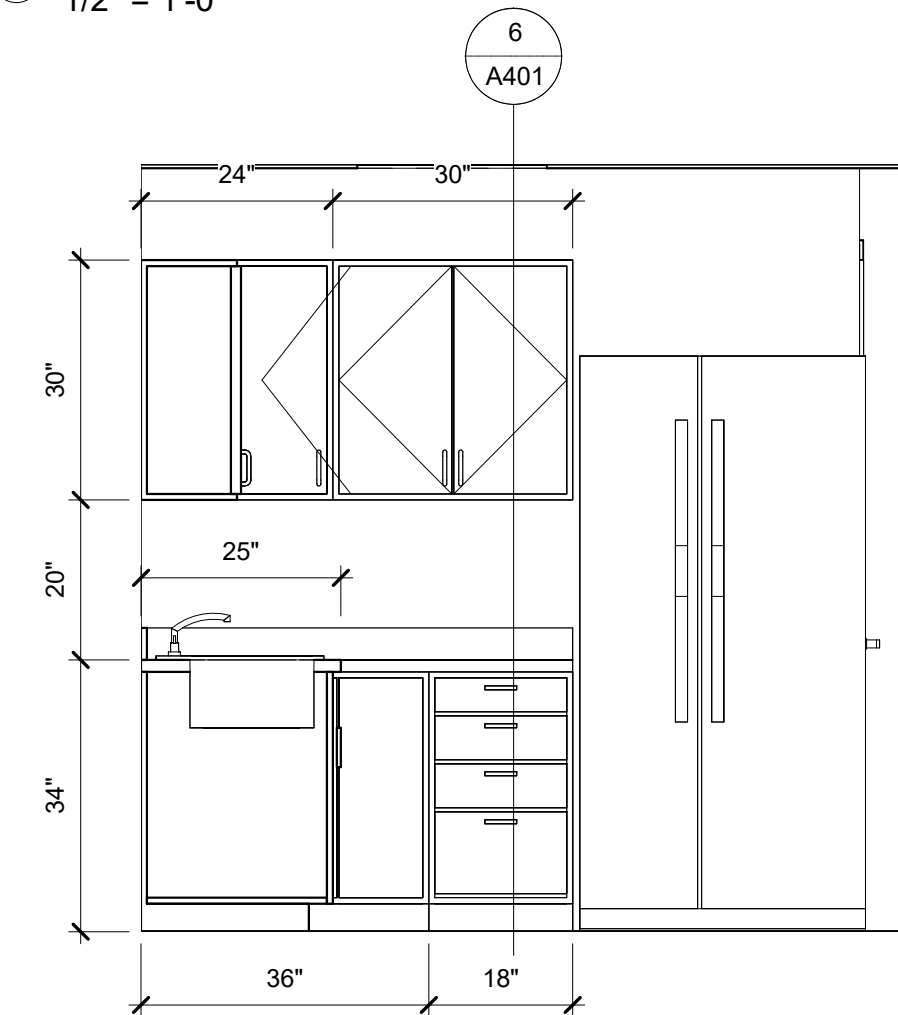
No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

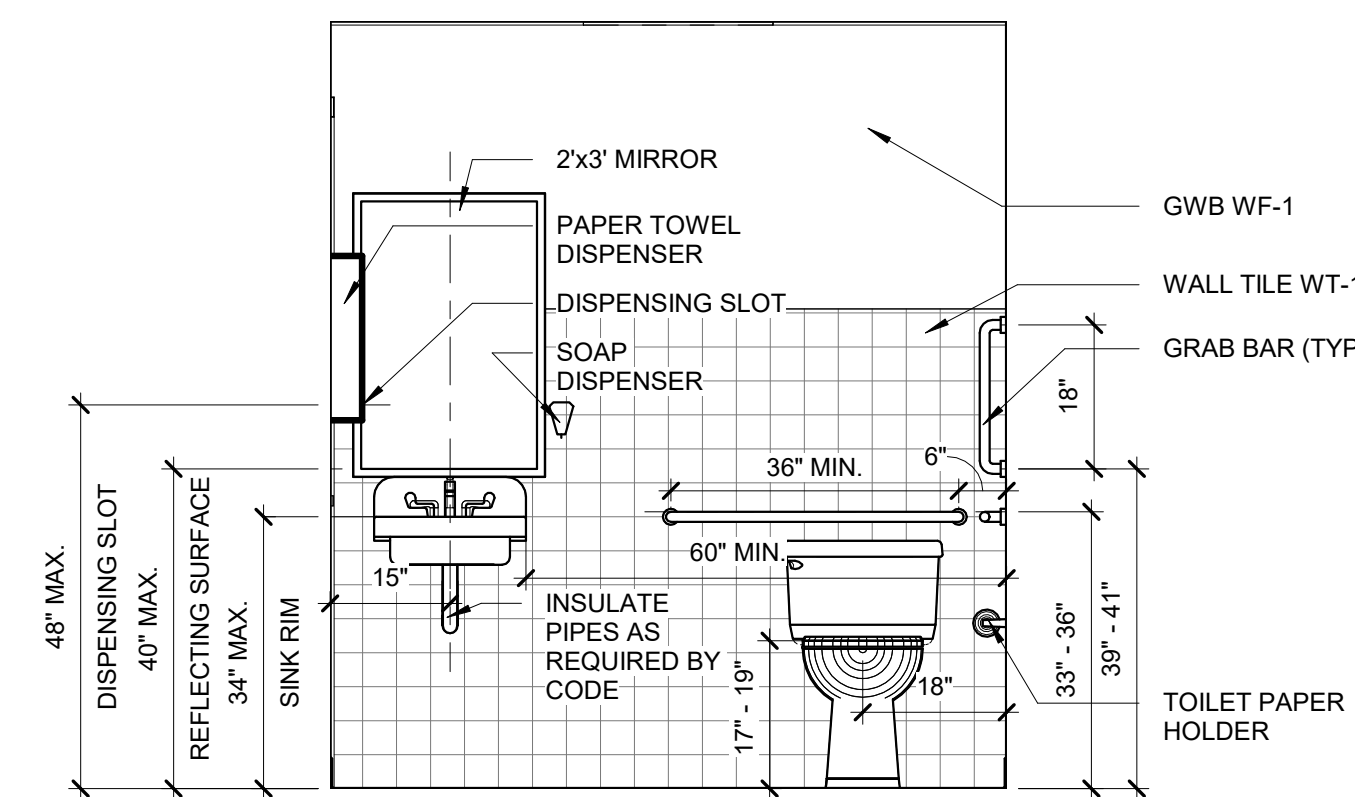
A401



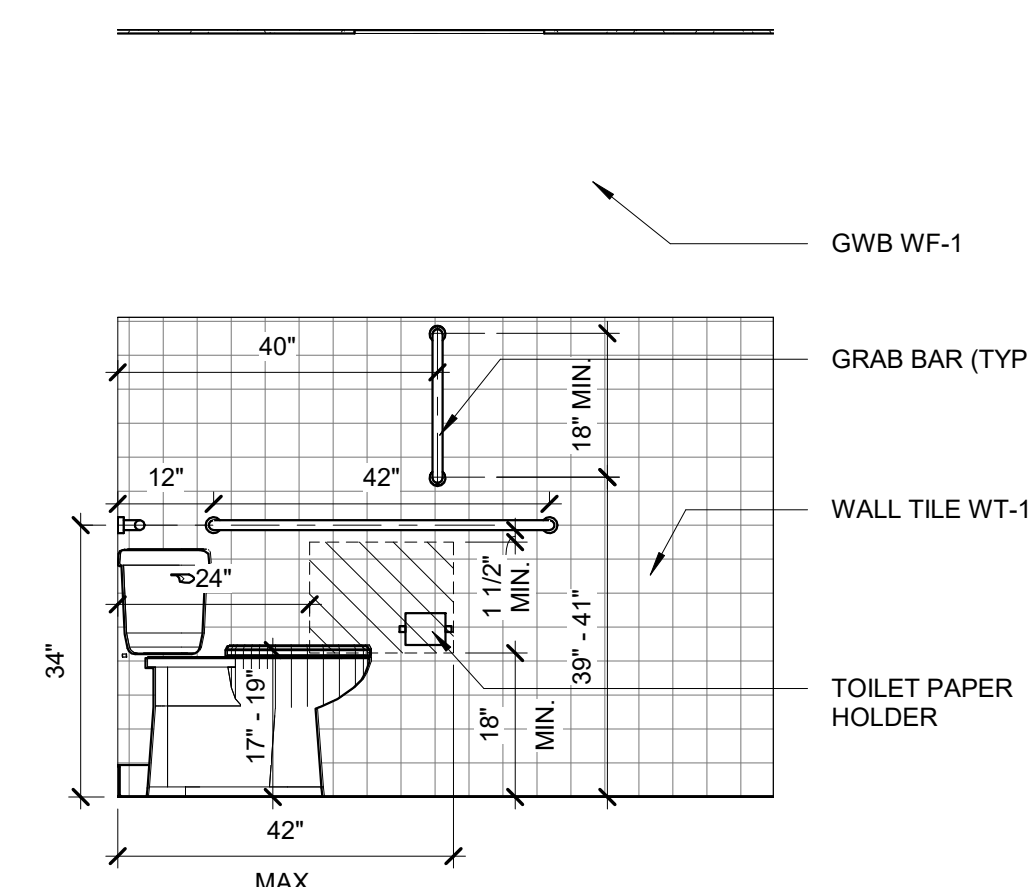
2 Breakroom Casework Elevation A
1/2" = 1'-0"



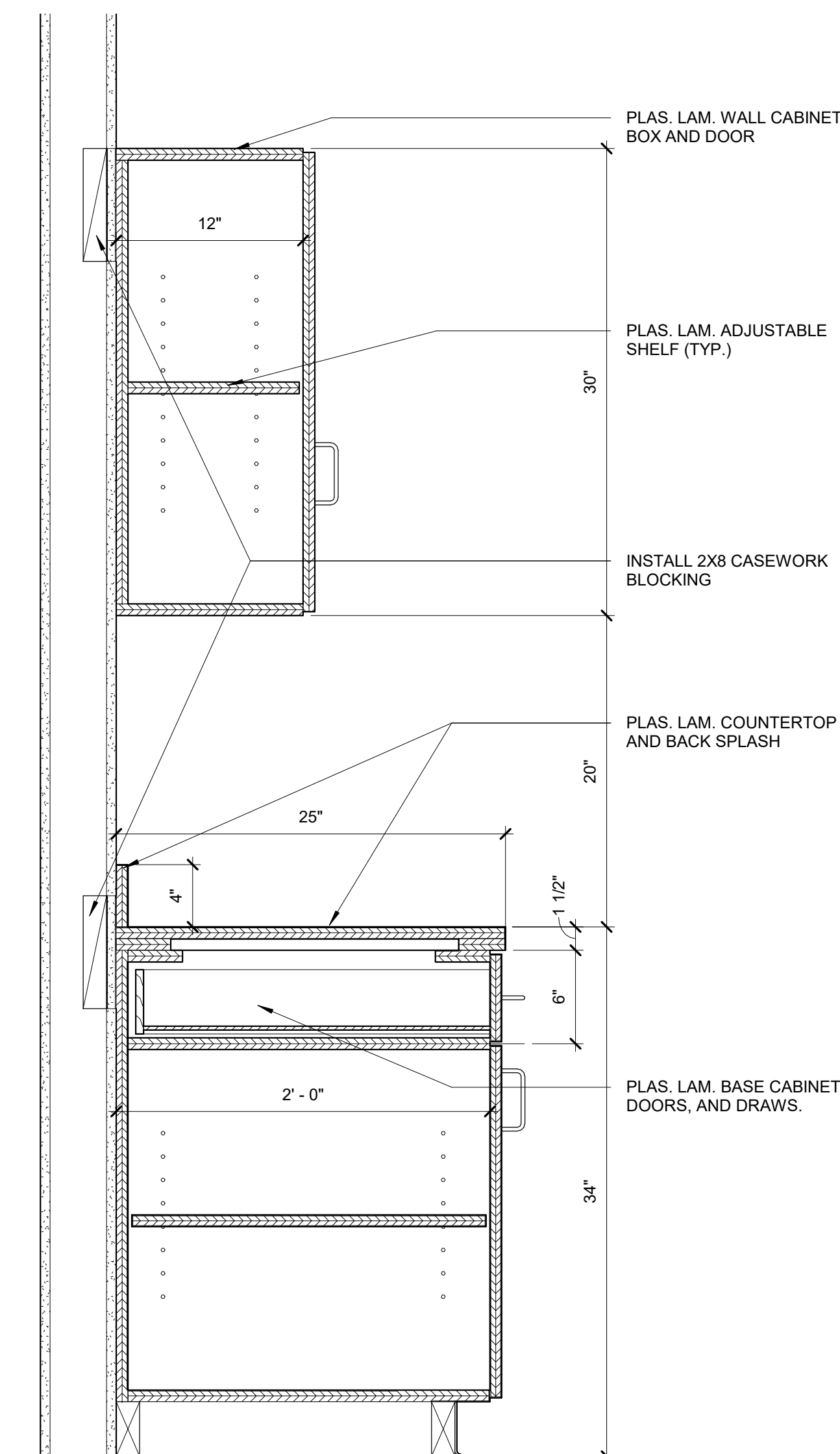
3 Breakroom Casework Elevation B
1/2" = 1'-0"



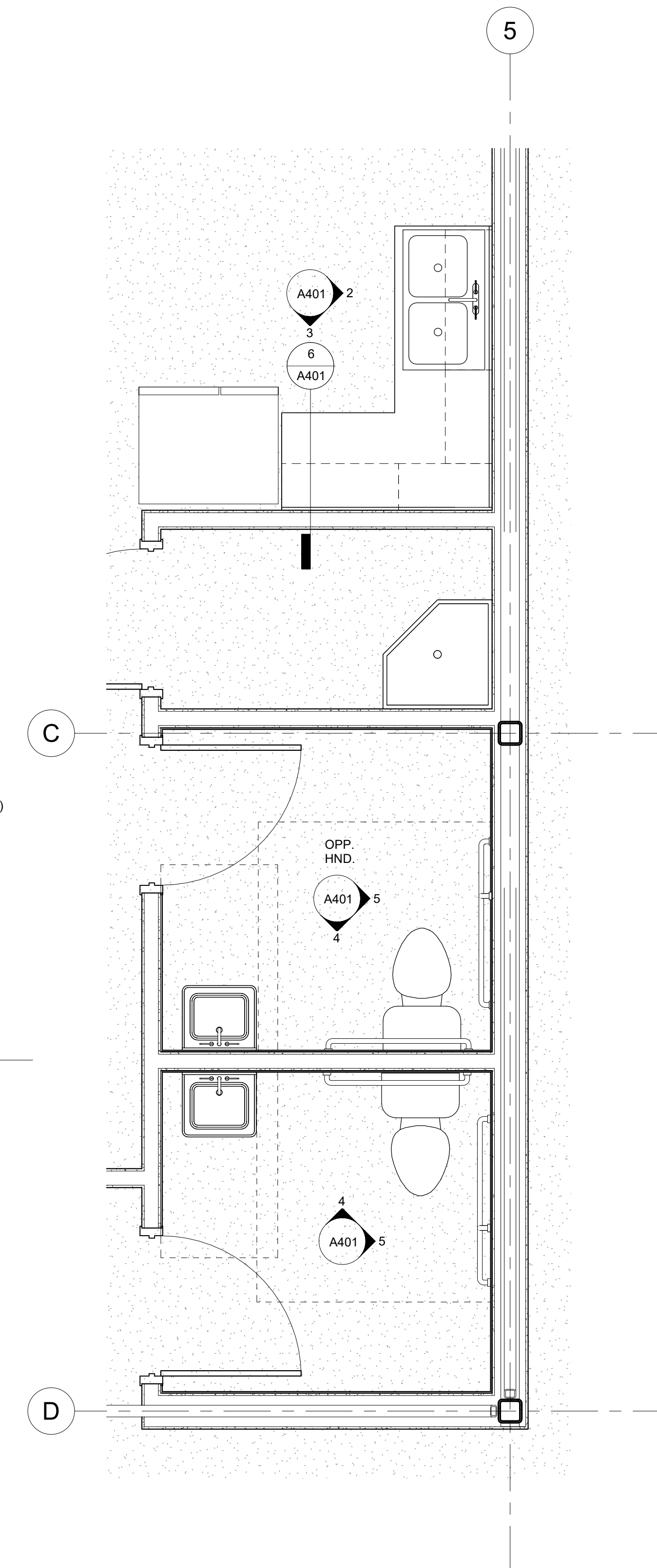
4 Toilet Elevation Front
1/2" = 1'-0"



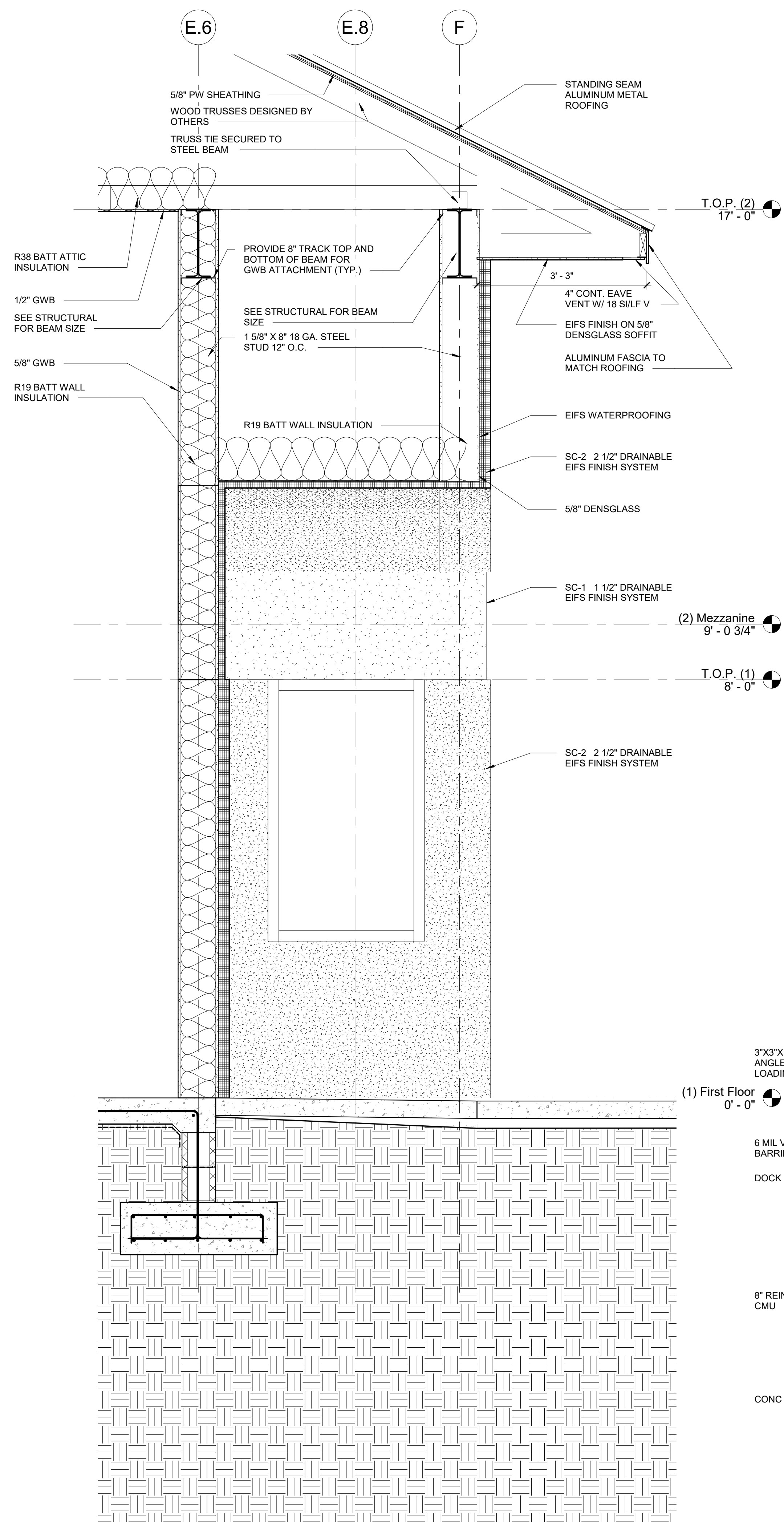
5 Toilet Elevation Side
1/2" = 1'-0"



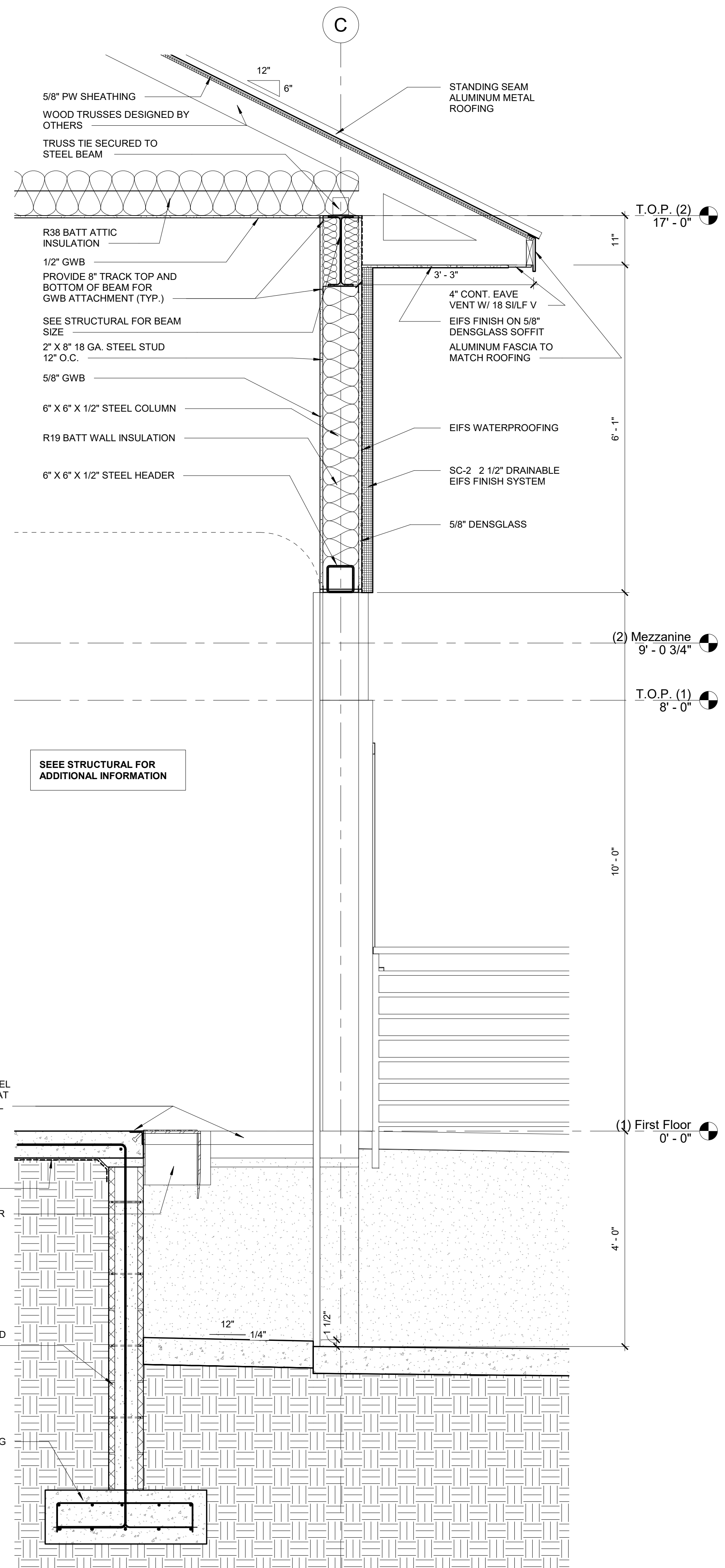
6 Type Casework Detail
1 1/2" = 1'-0"



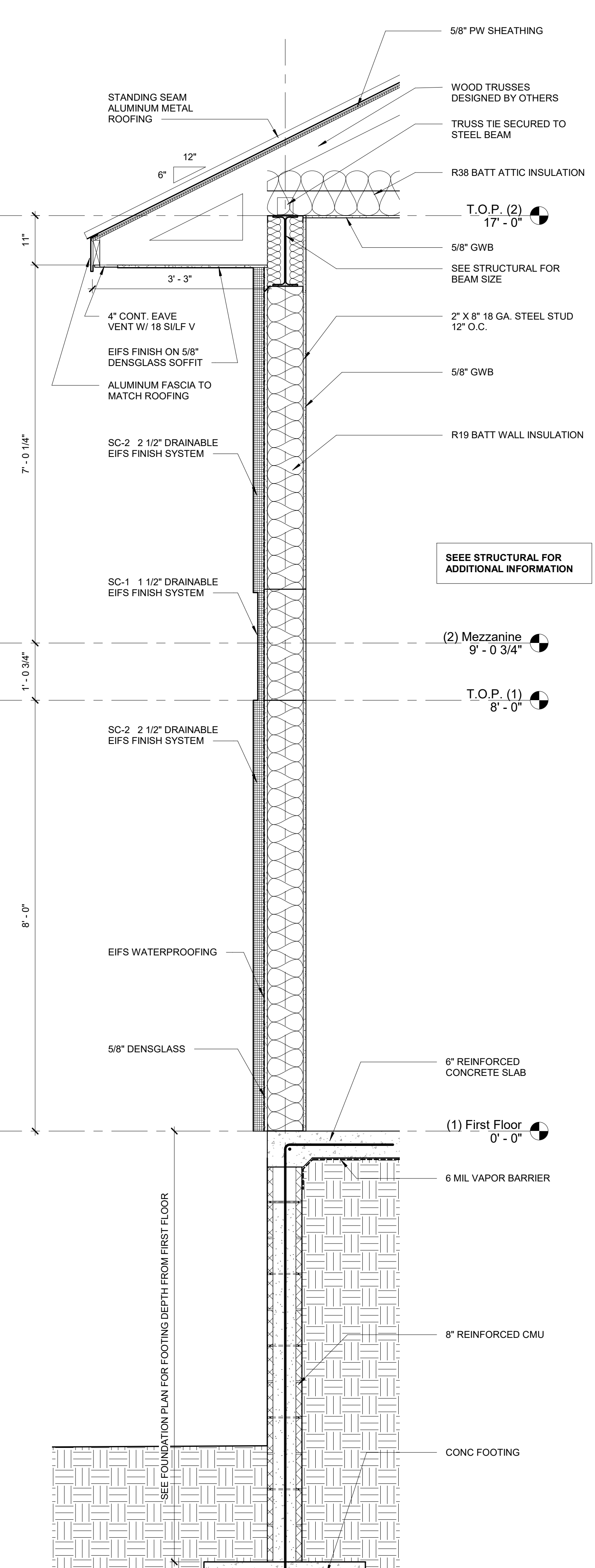
1 (1) First Floor - Callout 1
1/2" = 1'-0"



3 Wall Section B
3/4" = 1'-0"



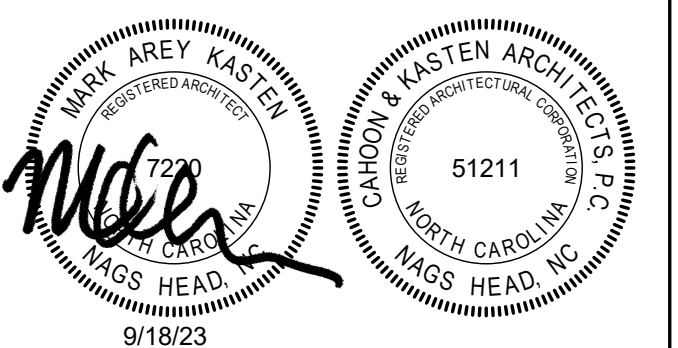
2 Wall Section A
3/4" = 1'-0"



1 Typical Wall Section
3/4" = 1'-0"

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **Wall Sections**
Date: **September 18, 2023**
Scale: **3/4" = 1'-0"**

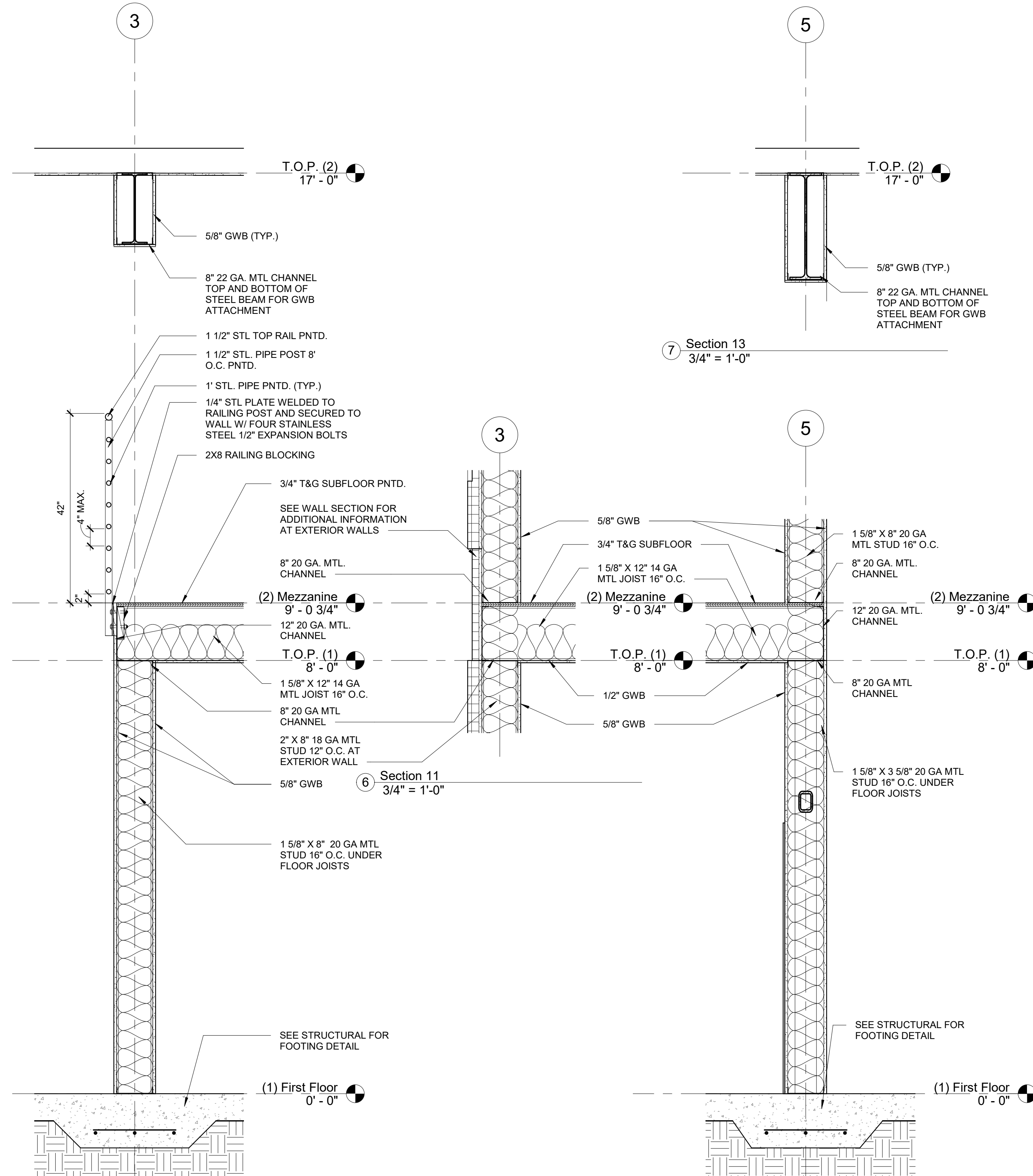
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Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File: **A501**



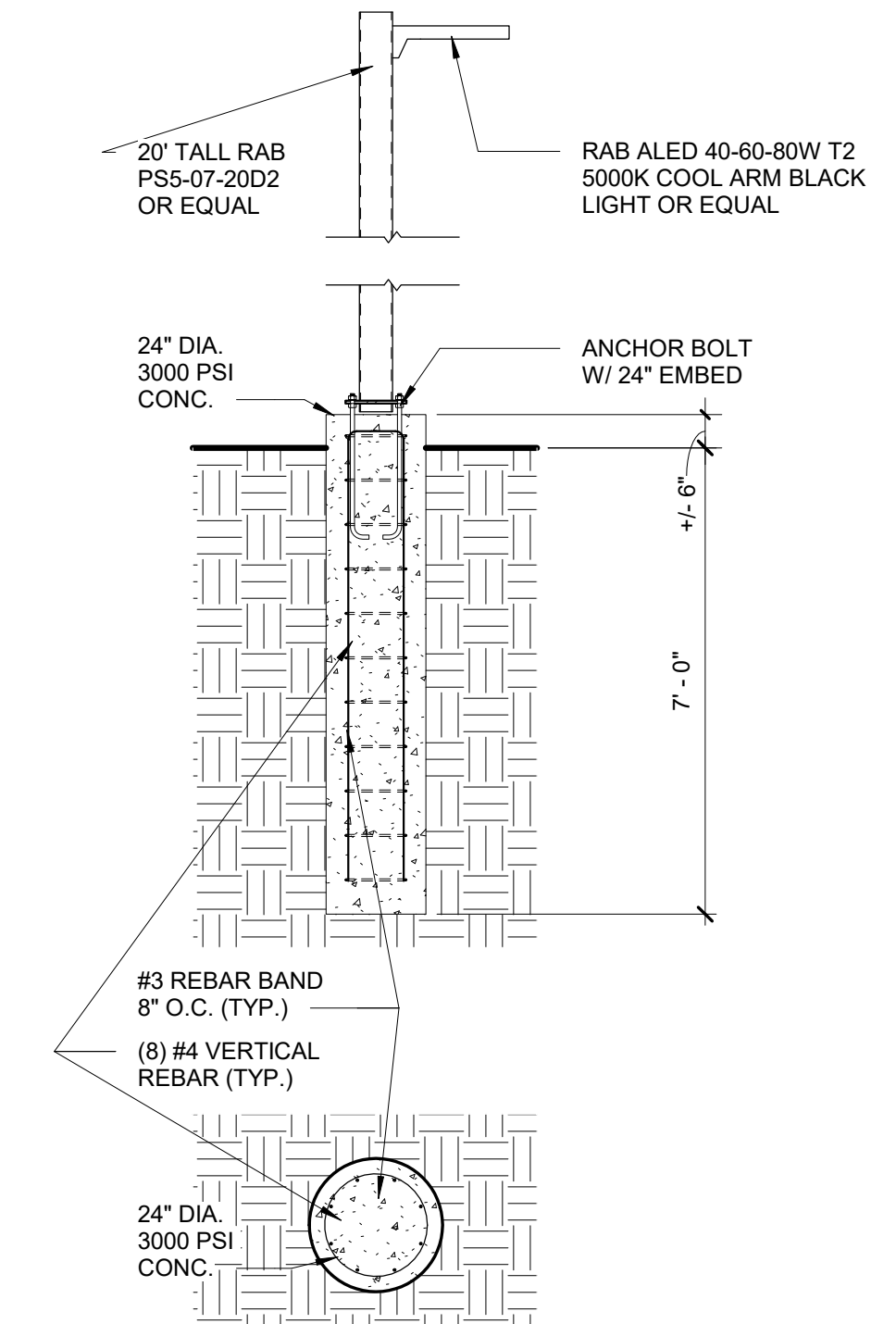
Section 10
3/4" = 1'-0"

Section 12
3/4" = 1'-0"

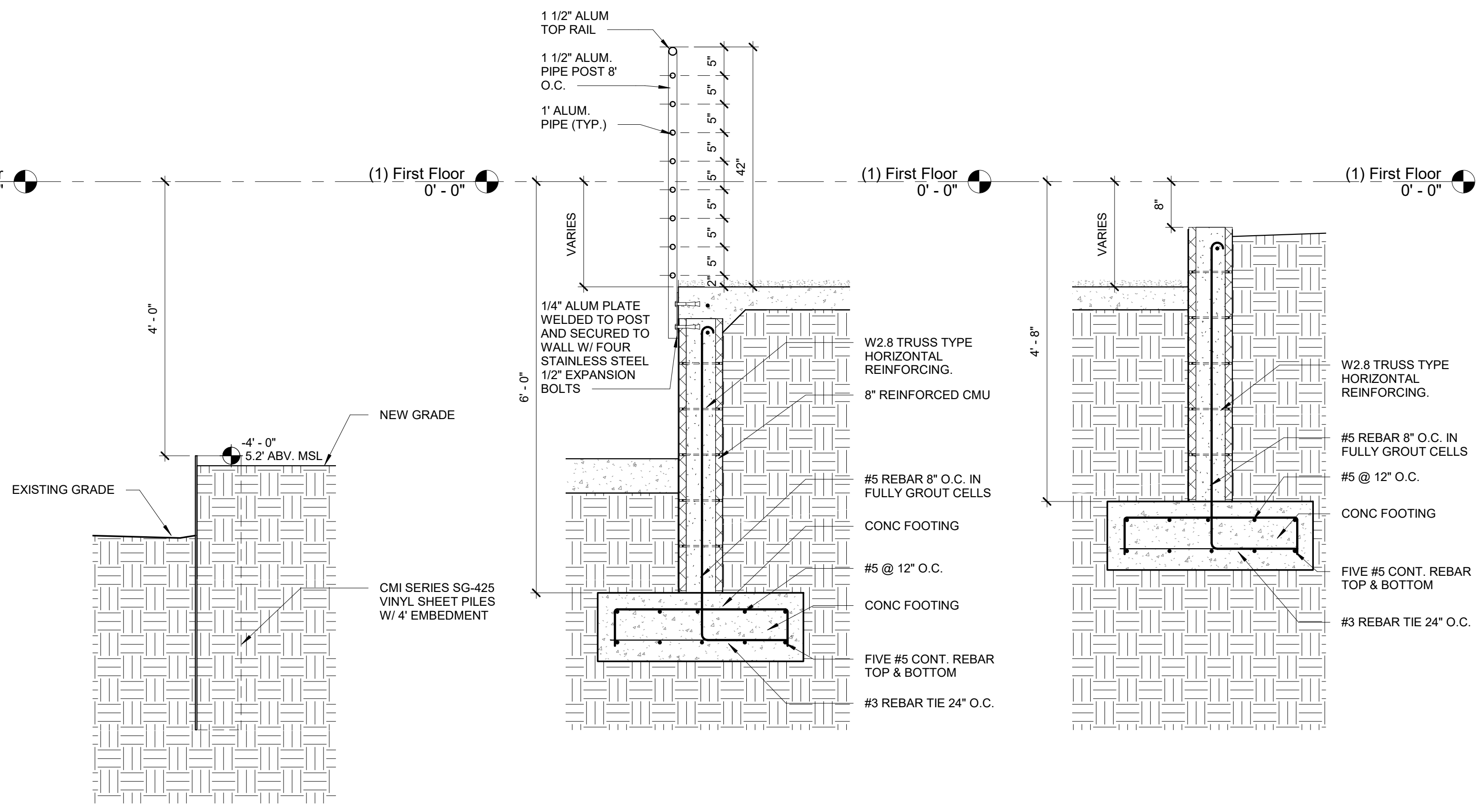
Retaining Wall Section A
3/4" = 1'-0"

Retaining Wall Section B
3/4" = 1'-0"

Retaining Wall Section C
3/4" = 1'-0"

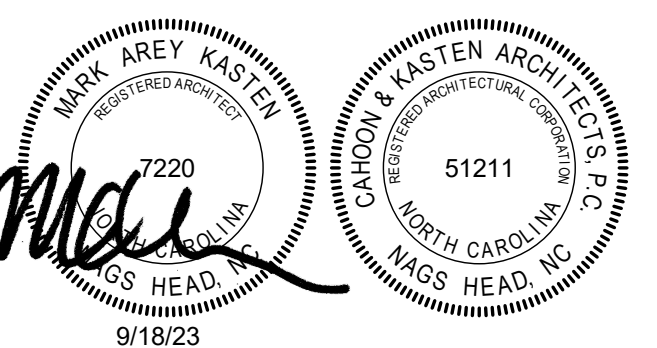


Light Pole Foundation
3/8" = 1'-0"



Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **Wall Sections & Details**
Date: **September 18, 2023**
Scale: **As indicated**

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Revisions:

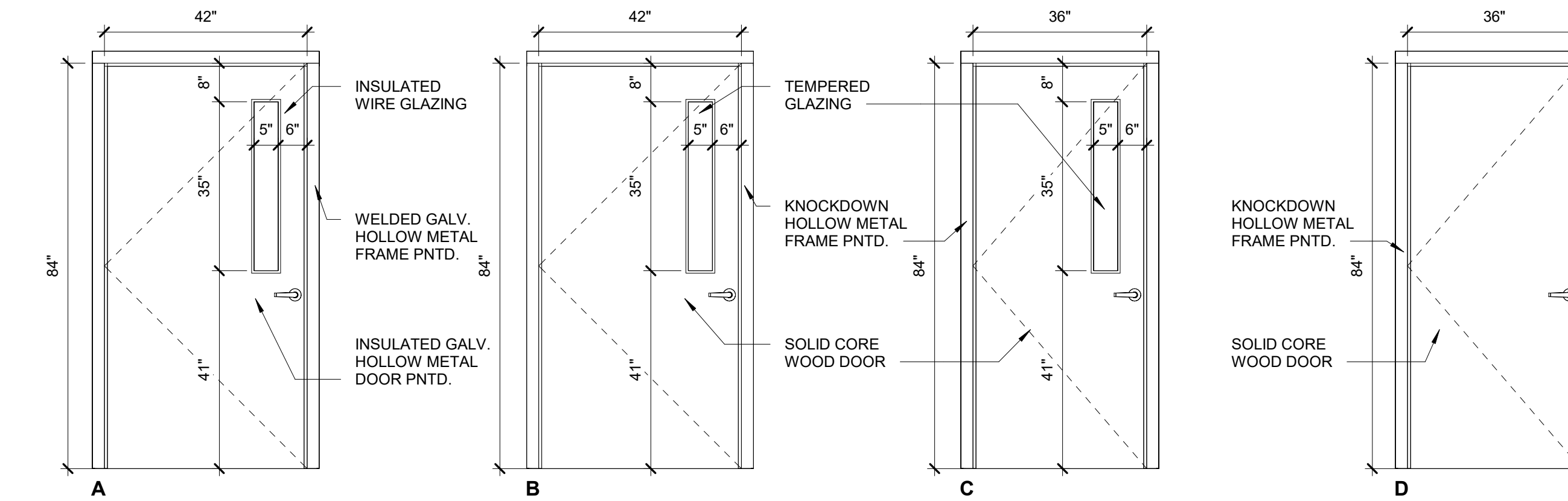
No.	Description	Date

Designed: Designer
Drawn: Author
Reviewed: Checker
Cad File: **A502**

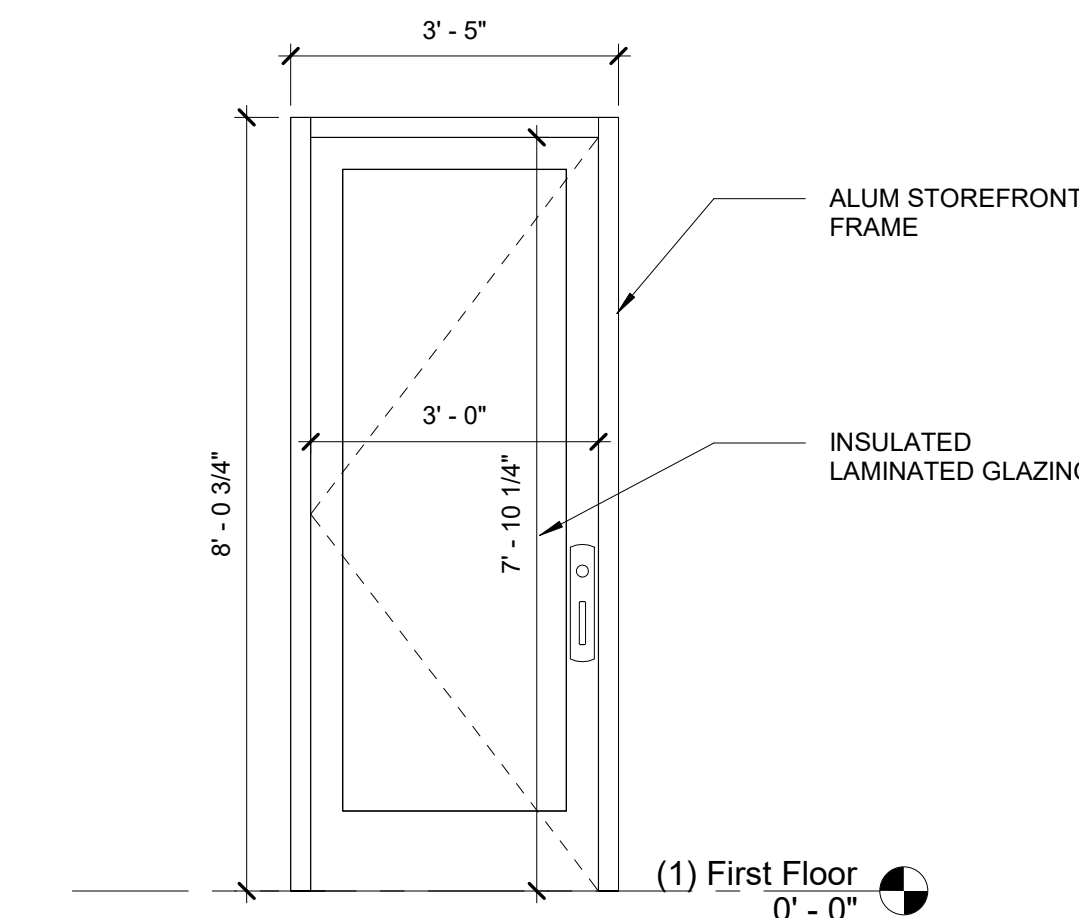
Room Schedule							
Room Number	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Ceiling Height	Comments
101	Retail	FF-1	BF-1	WF-1	CF-1	16' - 11 1/2"	
102	Checkout	FF-1	BF-1	WF-1	CF-1	16' - 11 1/2"	
103	Restm.	FF-1	WT-1	WF-1	CF-1	8' - 0"	WALL TILE TO 5' AFF
104	Restm.	FF-1	WT-1	WF-1,WF-2	CF-1	8' - 0"	WALL TILE TO 5' AFF
105	Jan.	FF-1	BF-2	WF-1	CF-1	8' - 0"	
106	Break	FF-1	BF-2	WF-1	CF-1	8' - 0"	
107	LBD	FF-1	BF-2	WF-1	CF-1	8' - 0"	
108	Warehouse	FF-2	BF-3	WF-3	CF-1	16' - 11 1/2"	
201	Storage Mezzanine	FF-3	BF-3	WF-3	CF-1	16' - 11 1/2"	

FINISH SCHEDULE							
FLOOR		BASE		WALL		CEILING	
Type	Discription	Type	Discription	Type	Discription	Type	Discription
FF-1	STAINED CONCRETE	BF-1	1X8 WOOD, TRANSPARENT FIN	WF-1	5/8" GWB PNTD COLOR 1	CF-1	1/2" GWB PAINTED COLOR 2
FF-2	SEALED CONCRETE	BF-2	1X4 WOOD, TRANSPARENT FIN	WF-2	5/8" GWB PNTD COLOR 2		
FF-3	PNTD PLYWOOD	BF-3	1X4 PT WOOD, UNFINISHED	WF-3	5/8" PW PNTD COLOR 3		
		WT-1	CERAMIC TILE	WT-1	CERAMIC TILE		

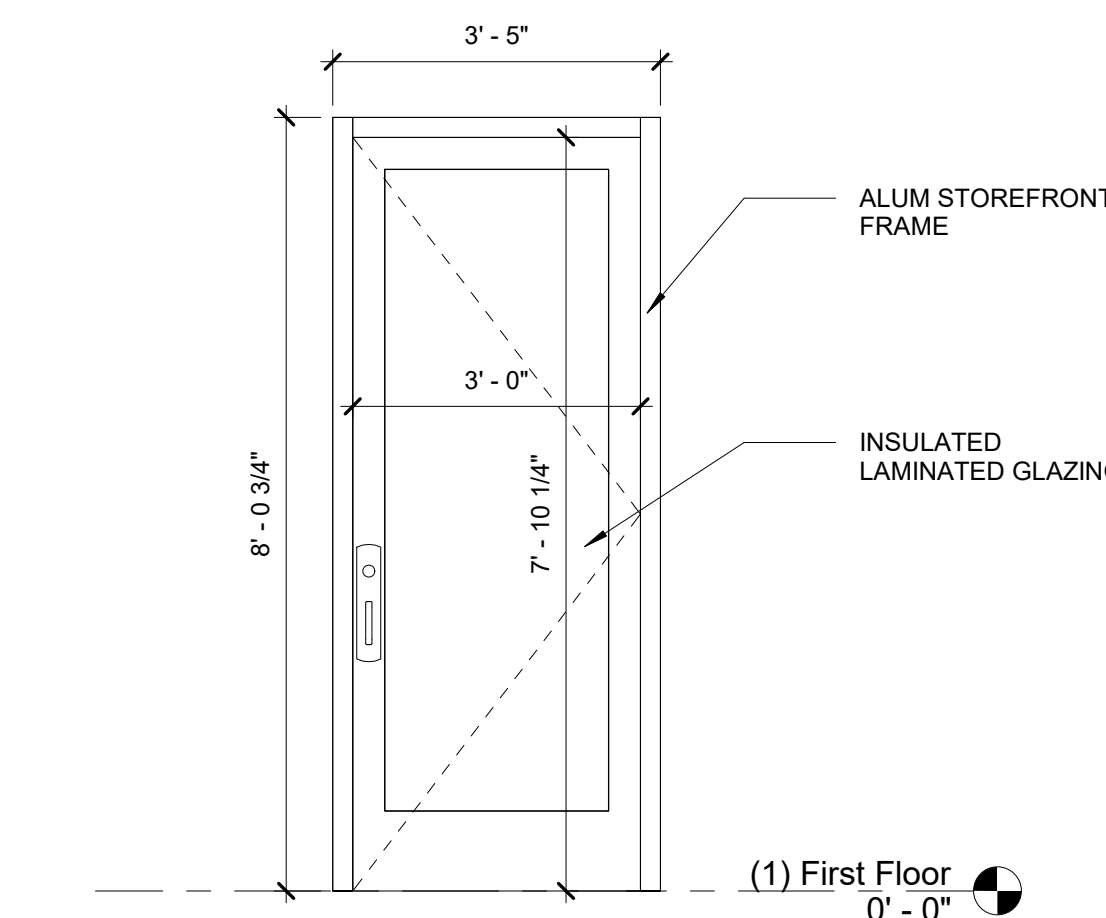
Door Schedule Comm											
Door Number	Type	Door					Frame			Door Hardware Set	Comments
		Width	Height	Thickness	Door Material	Finish	Type	Material	Finish		
101	SFA	3' - 0"	7' - 10 1/4"	0' - 1 3/4"	ALUM/GLAS	ANDZ	SF	ALUM	ANDZ	1	
102	SFB	3' - 0"	7' - 10 1/4"	0' - 1 3/4"	ALUM/GLAS	ANDZ	SF	ALUM	ANDZ	1	
103	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	4	
104	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	4	
105	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	3	
106	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	3	
107	D	3' - 0"	7' - 0"	0' - 1 3/8"	SC	CLR	KNKDN HM	STL	PNTD	3	
109	A	3' - 6"	7' - 0"	0' - 1 3/8"	GALV/GLAS/INSUL/HM	PTND	WLDED HM	GLAV STL	PNTD	2	
110	B	3' - 6"	7' - 0"	0' - 1 3/8"	SC/GLAS	CLR	KNKDN HM	STL	PNTD	3	
111	C	3' - 0"	7' - 0"	0' - 1 3/8"	SC/GLAS	CLR	KNKDN HM	STL	PNTD	3	
112	B	3' - 6"	7' - 0"	0' - 1 3/8"	SC/GLAS	CLR	KNKDN HM	STL	PNTD	3	
113	A	3' - 6"	7' - 0"	0' - 1 3/8"	GALV/GLAS/INSUL/HM	PTND	WLDED HM	GLAV STL	PNTD	2	
114		12' - 0"	14' - 0"	0' - 1 1/2"							



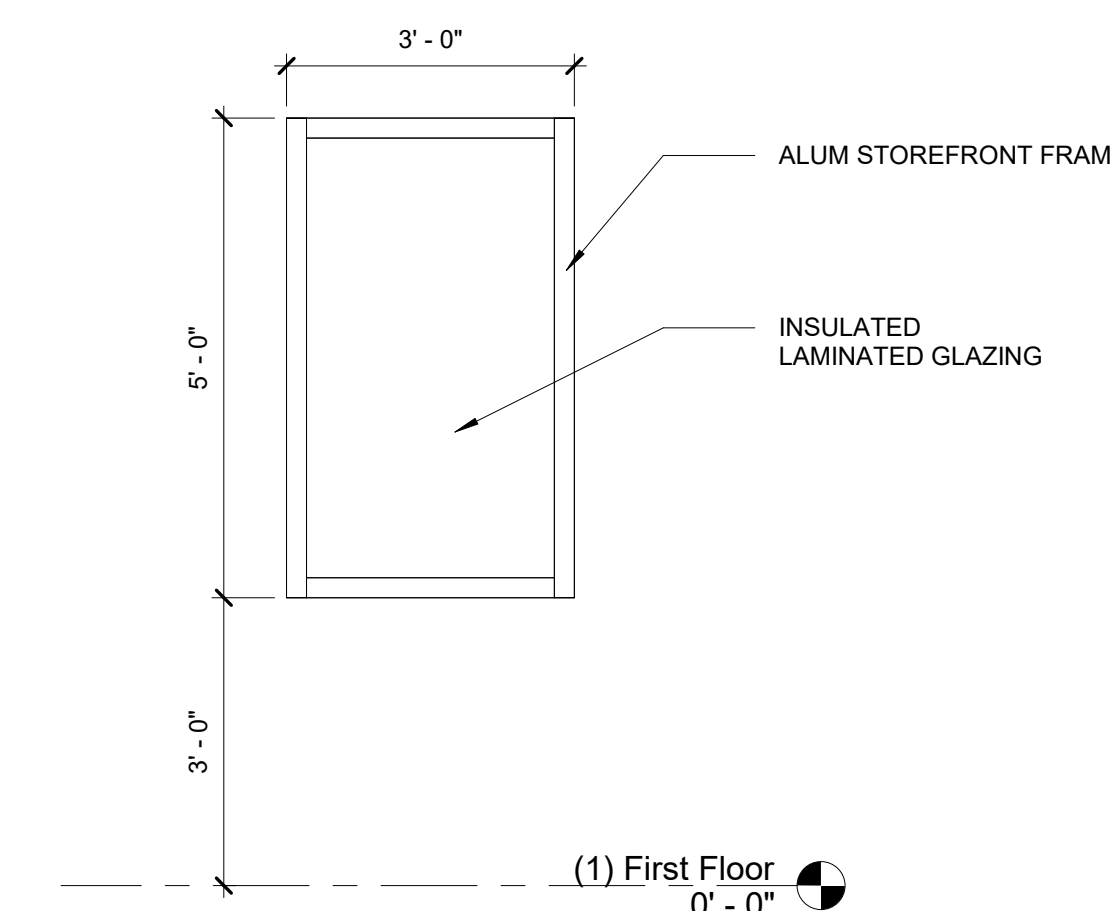
○ Door Types
1/2" = 1'-0"



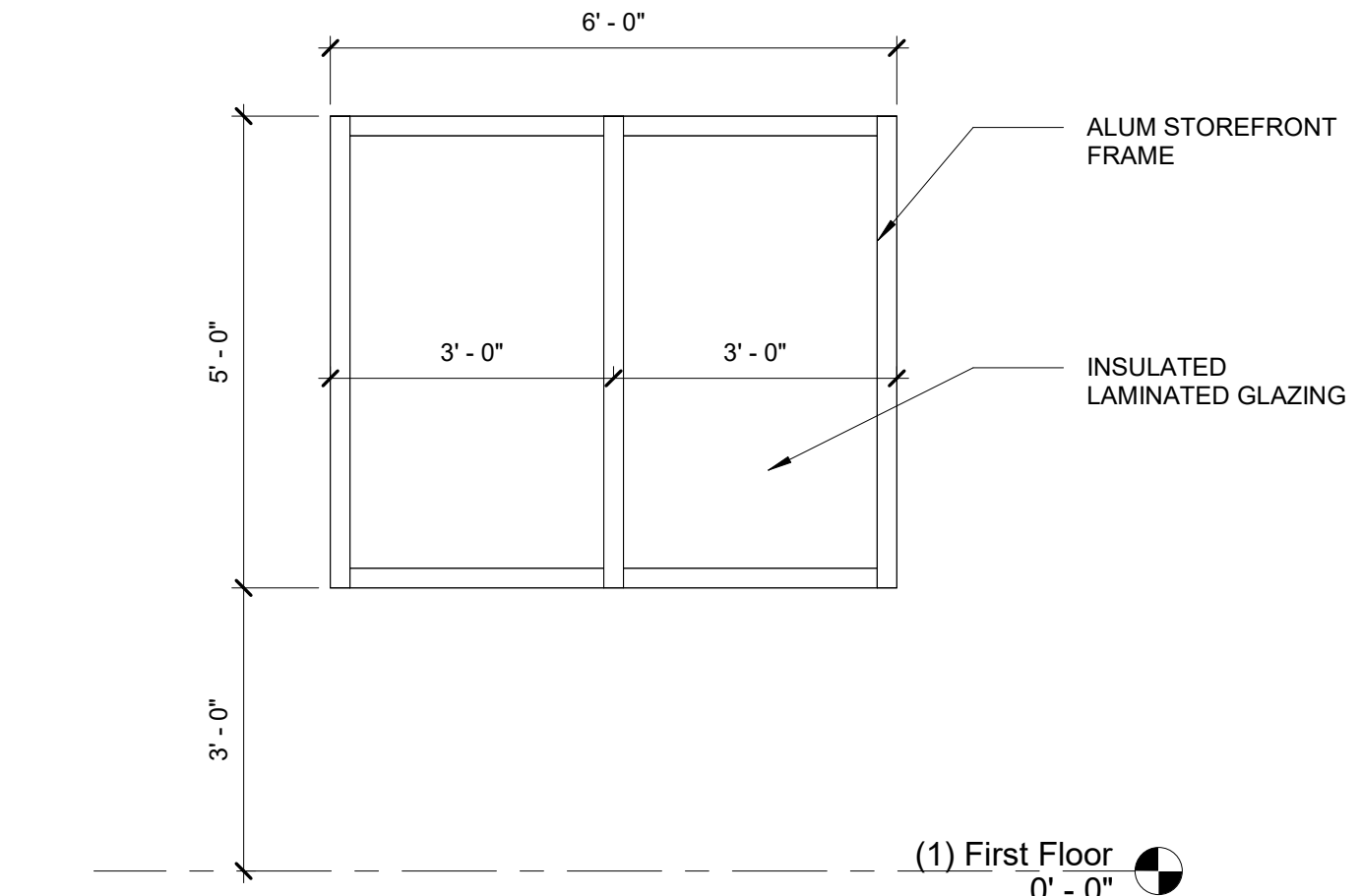
① Storefront SFA
1/2" = 1'-0"



② Storefront SFB
1/2" = 1'-0"



③ Storefront SFC
1/2" = 1'-0"



④ Storefront SFD
1/2" = 1'-0"

Project: **ABC Buxton**

Project No: **22041**

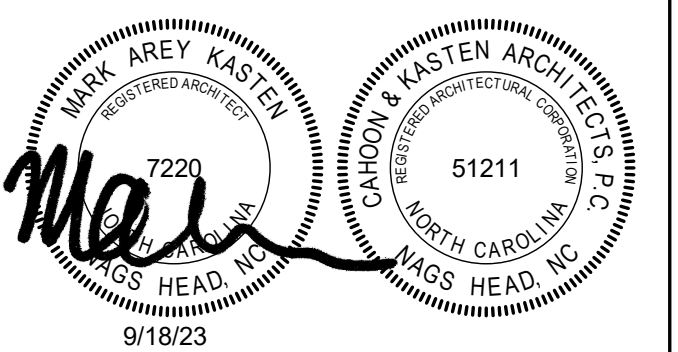
Location: **47290 Hwy 12
Buxton, NC**

Title: **Schedules**

Date: **September 18, 2023**

Scale: **As indicated**

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Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

CONCRETE MATERIALS SCHEDULE		
LOCATION	MIN. COMPRESSIVE STRENGTH (AT 28 DAYS)	COMMENTS
FOUNDATIONS	4000 PSI	-
FLOOR SLAB, WALLS, EQUIPMENT PADS	4000 PSI	-
CONCRETE FOR MASONRY CORES, BOND BEAMS	ASTM C476 GROUT	-
SIDEWALKS, BOLLARD FILL, MISC. CONCRETE	3000 PSI	-

3 Concrete Materials Schedule
1 1/2" = 1'-0"

BAR SIZE	CONCRETE LAP REBAR SPLICE SCHEDULE	
	LAP LENGTH (in.)	
	f _c = 3000 psi	f _c = 4000 psi
#4	29	25
#5	36	31
#6	43	37
#7	63	54
#8	72	61
#9	80	69
#10	89	76

4 Concrete Rebar Lap Splice Schedule
1 1/2" = 1'-0"

EXPOSED CONCRETE FINISH		
LOCATION	FINISH	COMMENTS
FLOOR SLAB, WALLS, EQUIPMENT PADS	SMOOTH FORM	-
EXTERIOR CONCRETE PAVEMENT, SIDEWALKS	COARSE BROOM	-
SLAB ON GRADE	TROWEL	-
EXT. EQUIP. PADS	COARSE BROOM	-
EXT. STAIRS	COARSE BROOM	-

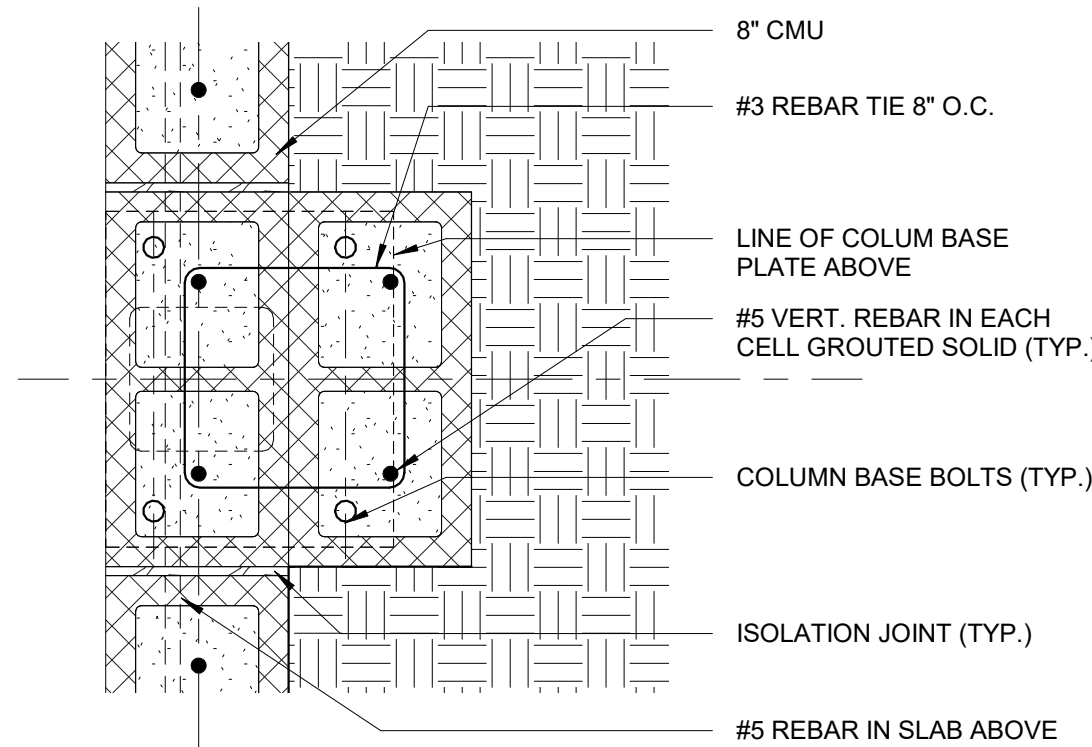
7 Exposed Concrete Finish
1 1/2" = 1'-0"

COLUMN SCHEDULE				
MARK	COL. SIZE	BASE PLATE SIZE	ANCHOR # & BOLT DIA.	COMMENTS
C1	HSS 6" x 6" x 1/2"	12" x 12" x 3/4"	(4) 3/4"	
C2	HSS 6" x 6" x 1/2"	12" x 12" x 3/4"	(4) 3/4"	
C3	HSS 6" x 6" x 1/2"	12" x 12" x 3/4"	(4) 3/4"	

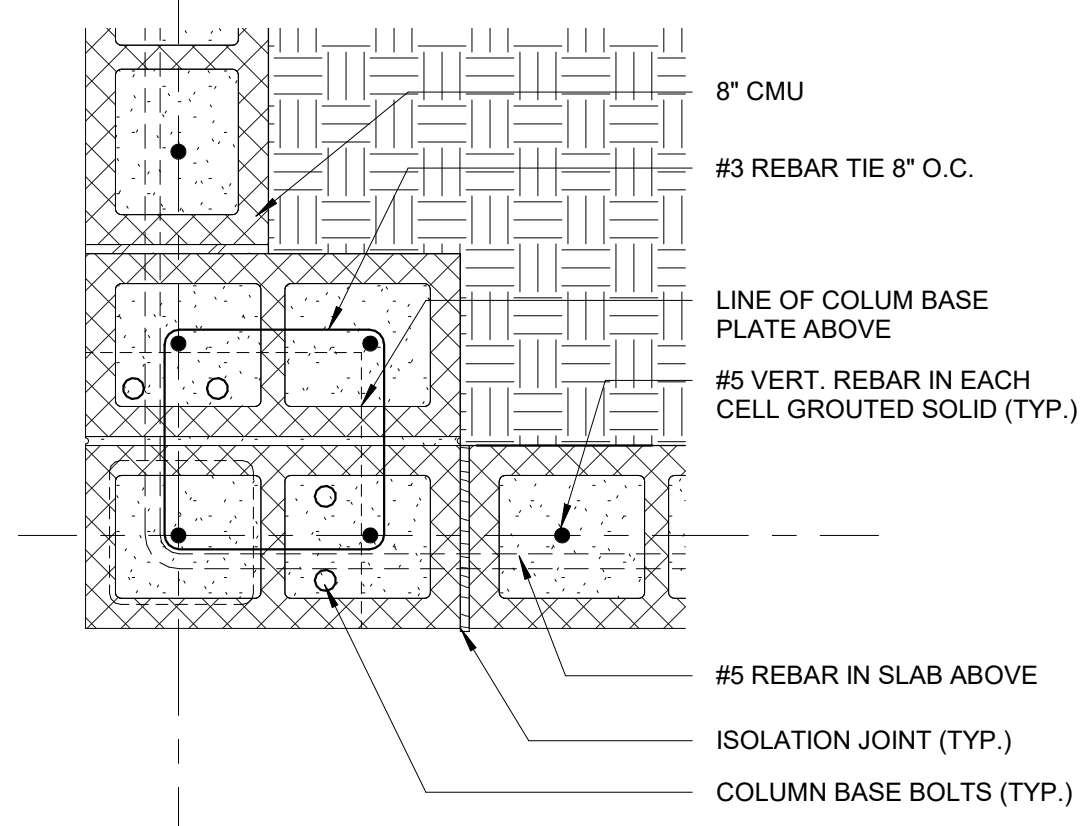
2 Column Schedule
1/4" = 1'-0"

FOOTING SCHEDULE			
MARK	DIMENSIONS	REINFORCEMENT	COMMENTS
F1	4'-0" x 4'-0" x 18"D	(6) #5 EW TOP & BOTTOM	

8 Footing Schedule
1/4" = 1'-0"



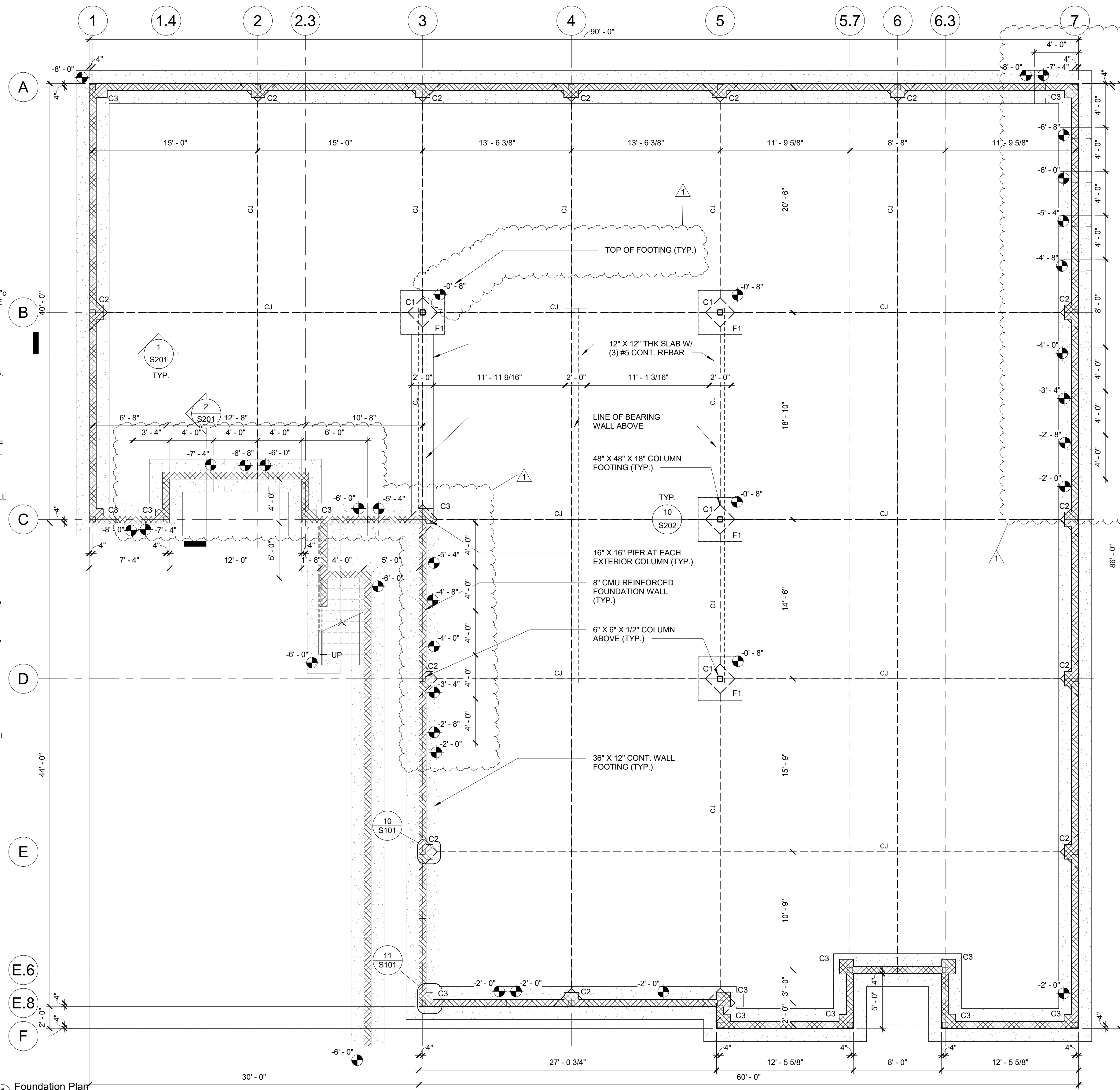
10 Structural Foundation Detail 1
1 1/2" = 1'-0"



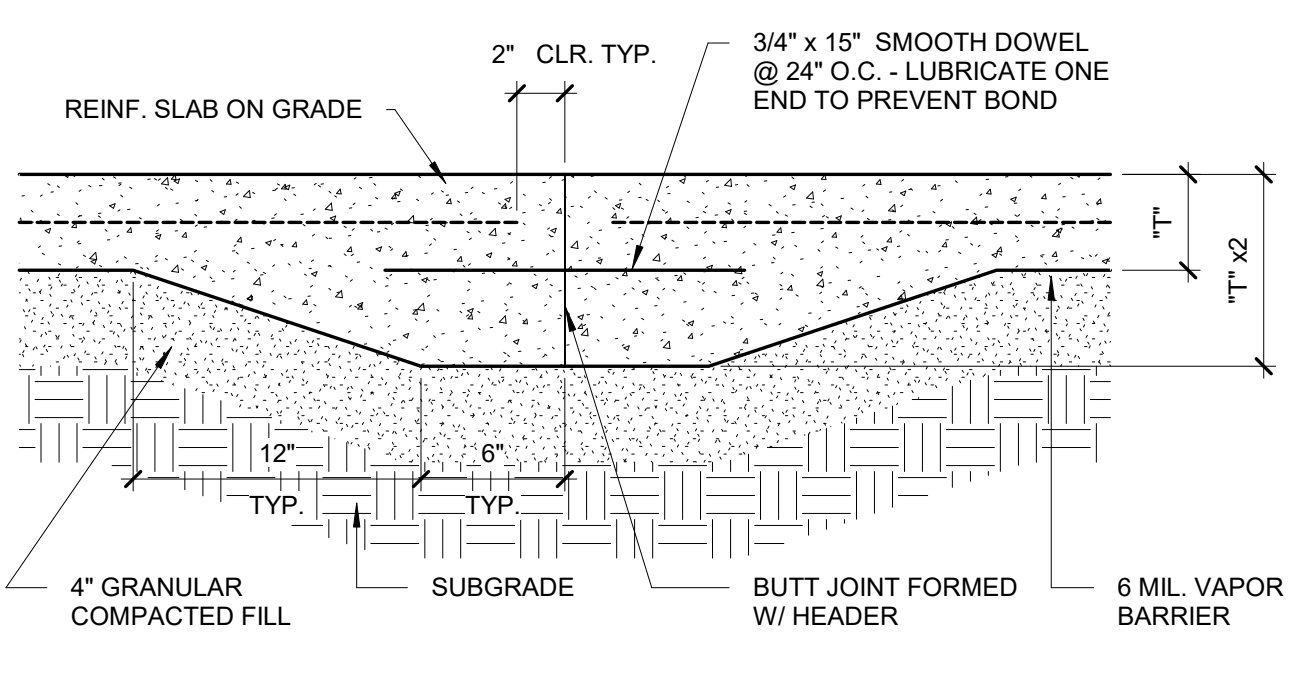
11 Structural Foundation Detail 2
1 1/2" = 1'-0"

SLAB-ON-GRADE NOTES:

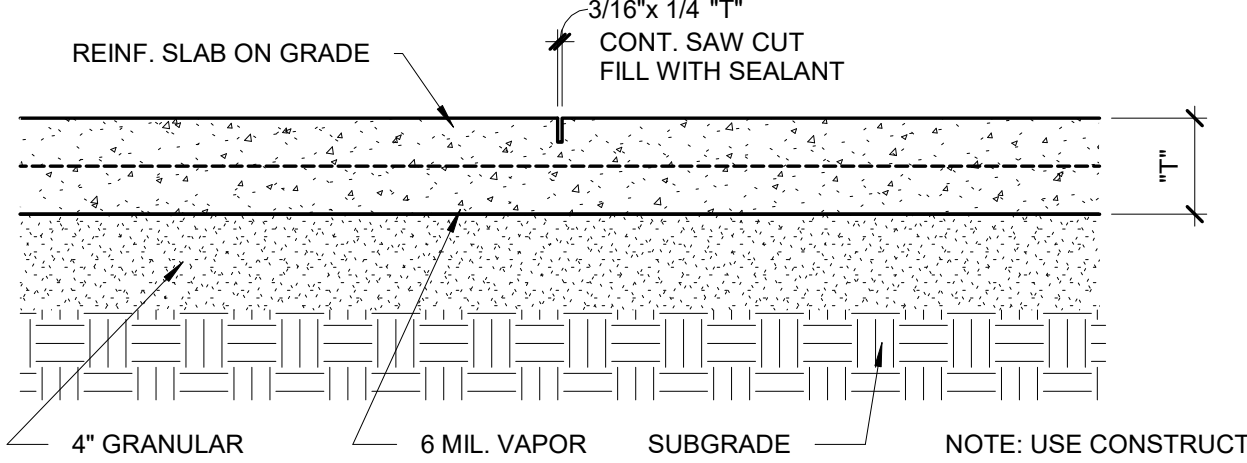
- ALL SLABS-ON-GRADE SHALL BE 4" U.N.O. NORMAL WEIGHT CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH, f_c = 4,000 PSI. SLABS HAVE BEEN DESIGNED ON THE BASIS OF THE FOLLOWING CRITERIA:
SUBGRADE MODULUS, K = 200 PCI (ASSUMED)
UNIFORM LIVE LOADING = 100PSF
MAX. CONCENTRATED POST LOAD = 6,000 LB.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR DIFFERENTIAL SETTLEMENT, SLAB CRACKING AND/OR CURLING, OR OTHER FUTURE DEFECTS RESULTING FROM UNREPORTED OR UNPLANNED CONDITIONS THAT MITIGATE THE ABOVE CRITERIA.
- SLABS-ON-GRADE SHALL BE PLACED OVER A 6 MIL POLYETHYLENE VAPOR BARRIER AND A MINIMUM OF 4" OF COMPACTED GRANULAR FILL. ALL FILL MATERIAL SHALL BE CLEAN GRANULAR MATERIAL WITH 100% PASSING A 1-1/2" SIEVE AND NO MORE THAN 5% PASSING A NO.4 SIEVE. GRANULAR FILL SHALL BE COMPACTED TO 95% MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D-698.
- ALL WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A-185. LAP ADJOINING SECTIONS AT LEAST ONE FULL MESH, UNLESS APPROVED OTHERWISE. ALL WELDED WIRE FABRIC SHALL BE BLOCKED INTO POSITION WITH PRECAST CONCRETE BLOCK HAVING A COMPRESSIVE STRENGTH EQUAL TO OR GREATER THAN THE SLAB.
- SLABS TO BE PERMANENTLY EXPOSED TO WEATHER SHALL BE AIR ENTRAINED TO 5% (+/- 1%) WITH AN ADMIXTURE THAT CONFORMS TO ASTM C-260.
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 "SPECIFICATION FOR STRUCTURAL CONCRETE". HOT WEATHER CONCRETING SHALL CONFORM TO THE REQUIREMENTS OF ACI 305. COLD WEATHER CONCRETING SHALL CONFORM TO THE REQUIREMENTS OF ACI 306.
- IN ORDER TO AVOID CONCRETE SHRINKAGE CRACKING, PLACE CONCRETE SLABS IN AN ALTERNATING LANE OR A CHECKERBOARD PATTERN. MAXIMUM LENGTH OF CONTINUOUSLY CAST SLAB IS 100 FEET. MAXIMUM SPACING OF SLAB JOINTS IS 25 FEET.
- THE ALTERNATE WIRES OF THE WELDED WIRE FABRIC MUST BE PRECUT AT SLAB CONTRACTION JOINTS TO CREATE THE "WEAKENED" PLANE NECESSARY FOR CRACK PROPAGATION.
- THE FINISH TOLERANCE OF ALL SLABS-ON-GRADE SHALL BE IN ACCORDANCE WITH ACT 301, TYPE A, UNLESS NOTED OTHERWISE.
- THE USE OF POLYPROPYLENE FIBERS IN LIEU OF WELDED WIRE FABRIC IS NOT PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE STRUCTURAL ENGINEER.



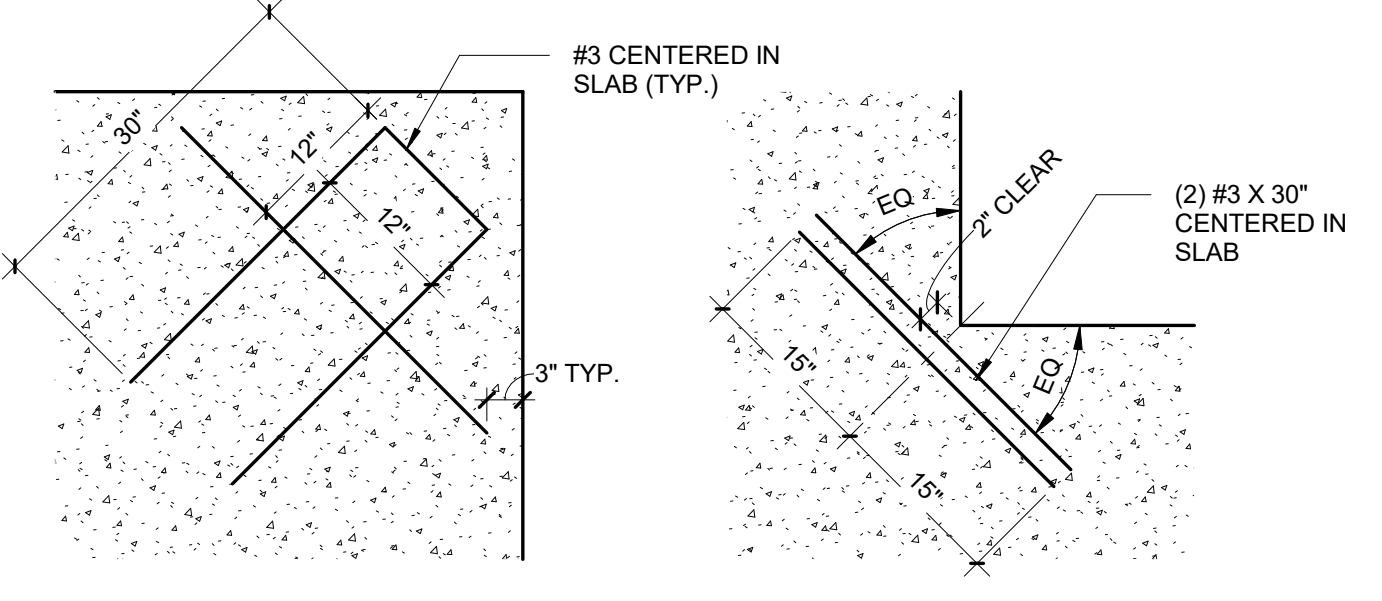
1 Foundation Plan
3/16" = 1'-0"



5 Construction Joint Detail (End Pour)
1 1/2" = 1'-0"



6 Control Joint Detail (Saw Cut)
1 1/2" = 1'-0"



9 PROJECTING CORNER Reinforcing @ Slab Corners
3/4" = 1'-0"

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2036 Creek Rd
Kitty Hawk, NC 27949
252-655-1056
kittyhawk@kittyhawkengineering.com

Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **Structural Foundation Plan**
Date: **March 10, 2023**
Scale: **As indicated**

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Professional Engineer Seal: MAK AREY KASTEN ARCHITECTS, P.C. License No. 7220, State of North Carolina, expires 5/19/23. Seal No. 51211.

Revisions:

No.	Description	Date
1	Structural Footing Revisions	5/19/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

S101

Project: **ABC Buxton**

Project No: **22041**

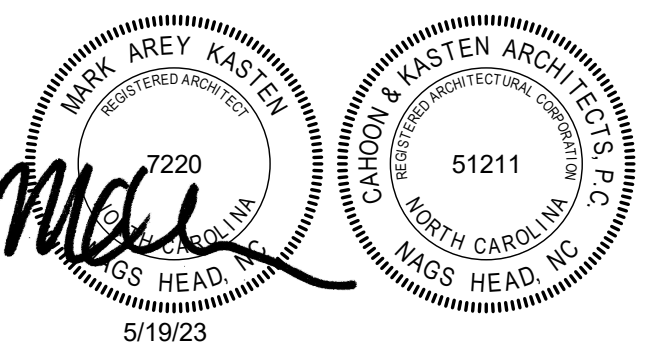
Location: **47290 Hwy 12
Buxton, NC**

Title: **Structural First Floor
Plan**

Date: **March 10, 2023**

Scale: **3/16" = 1'-0"**

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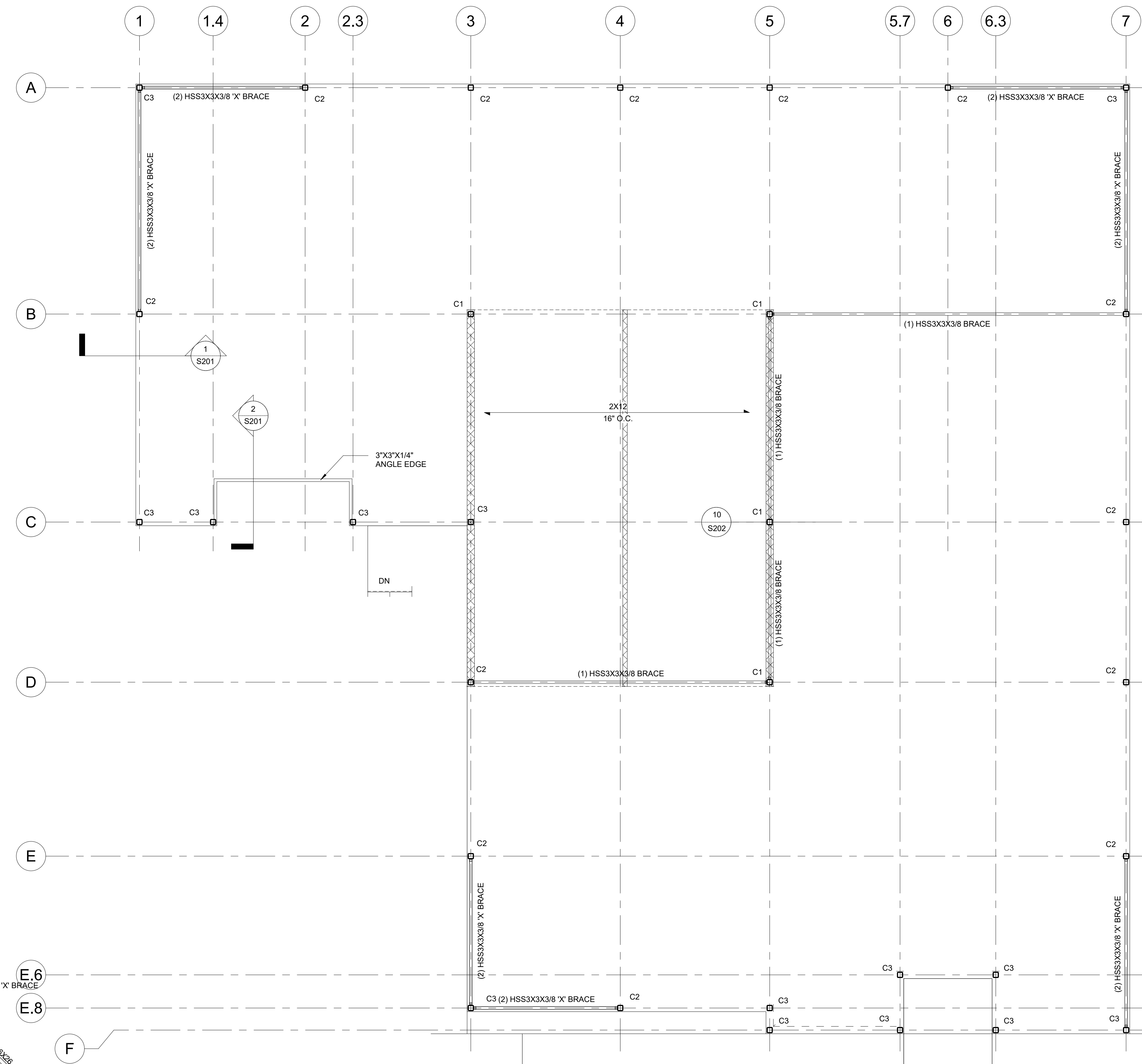


Revisions:

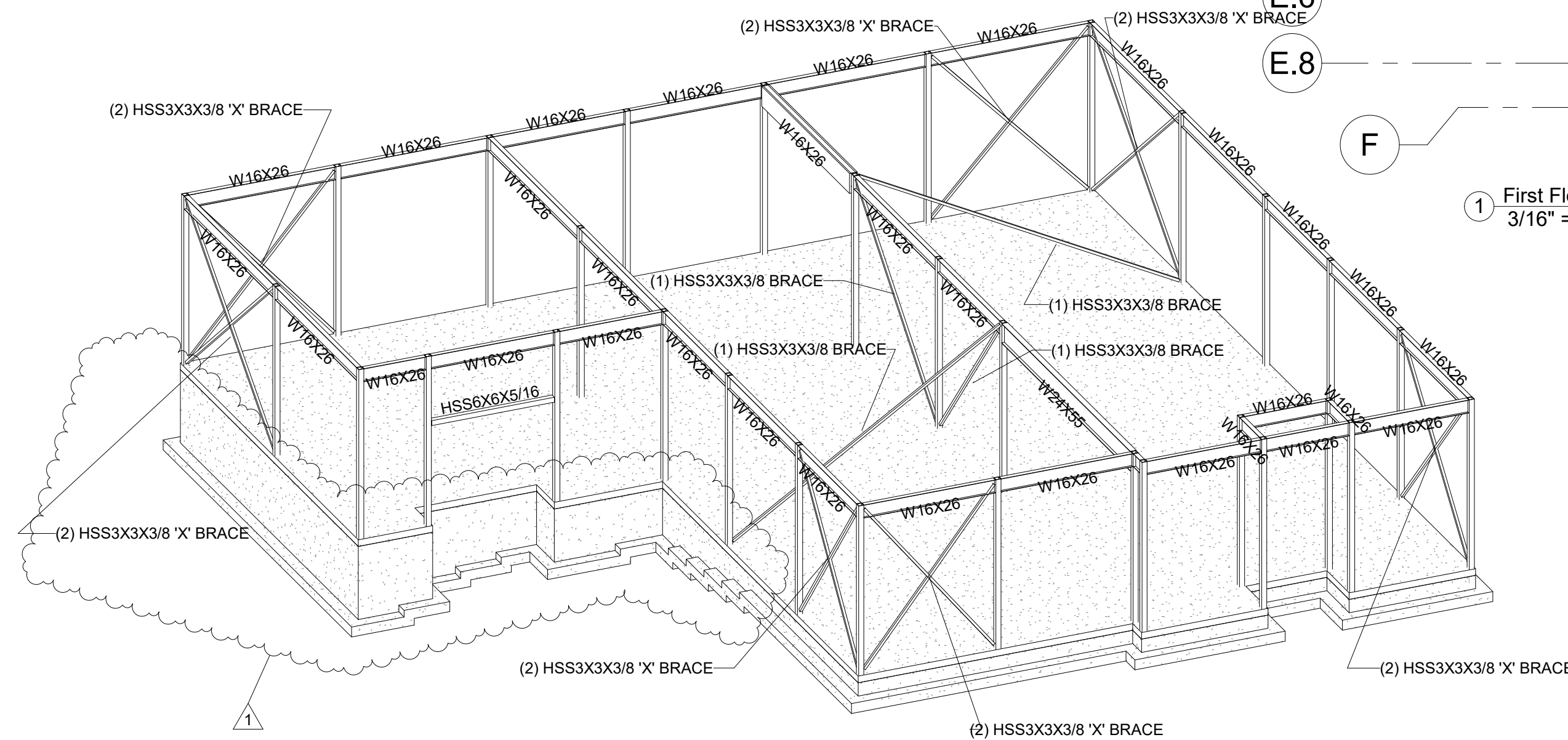
No.	Description	Date
1	Structural Footing Revisions	5/19/23

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

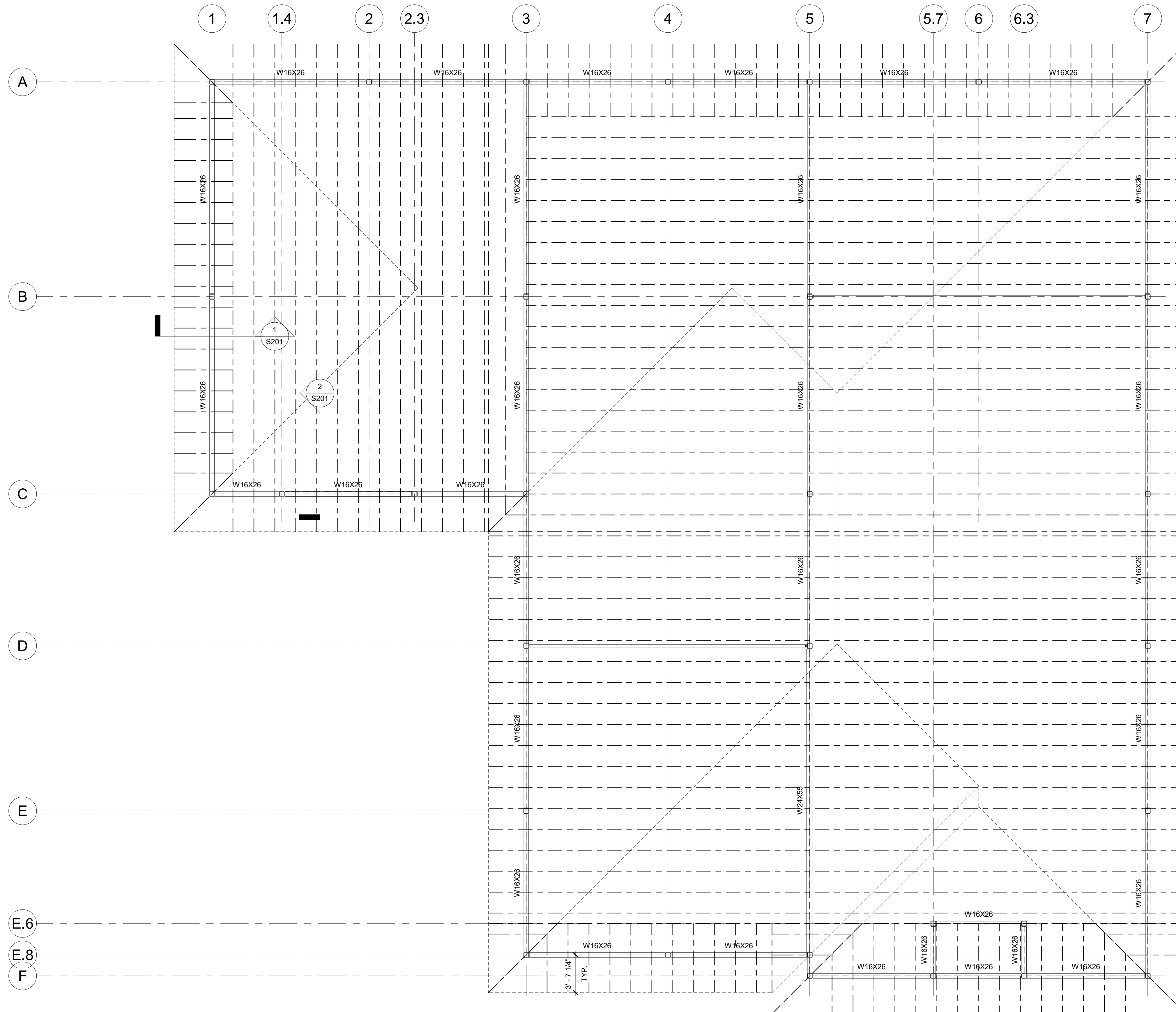
S102



1 First Floor Plan
3/16" = 1'-0"

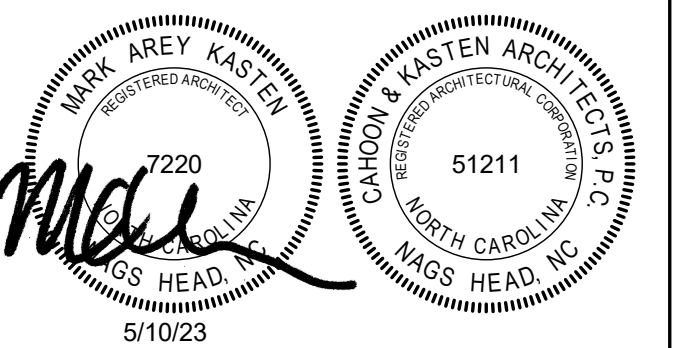


2 Framing Iso



Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12
Buxton, NC**
Title: **Structural Roof
Framing Plan**
Date: **March 10, 2023**
Scale: **3/16" = 1'-0"**

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Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

S103

Project: **ABC Buxton**

Project No: **22041**

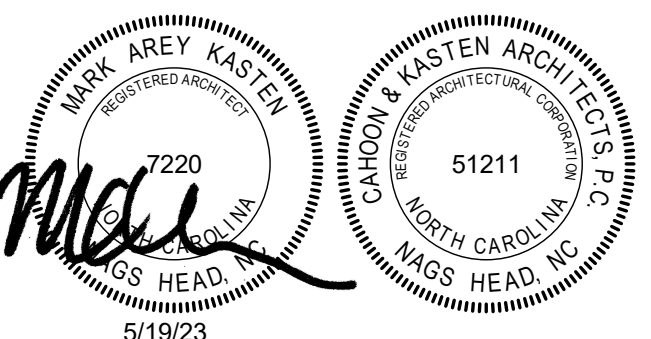
Location: **47290 Hwy 12
Buxton, NC**

Title: **Structural Wall
Sections**

Date: **March 10, 2023**

Scale: **3/4" = 1'-0"**

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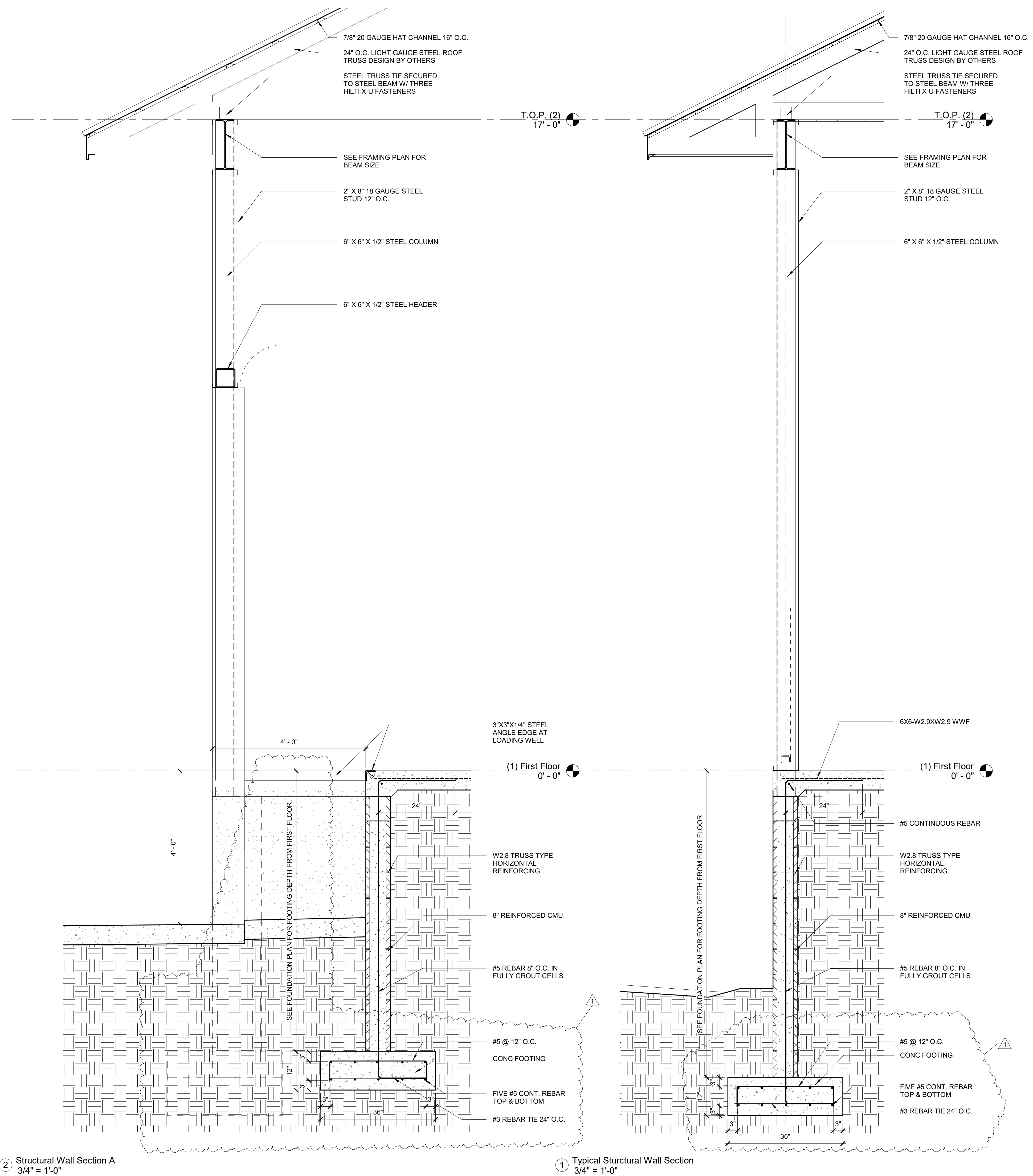


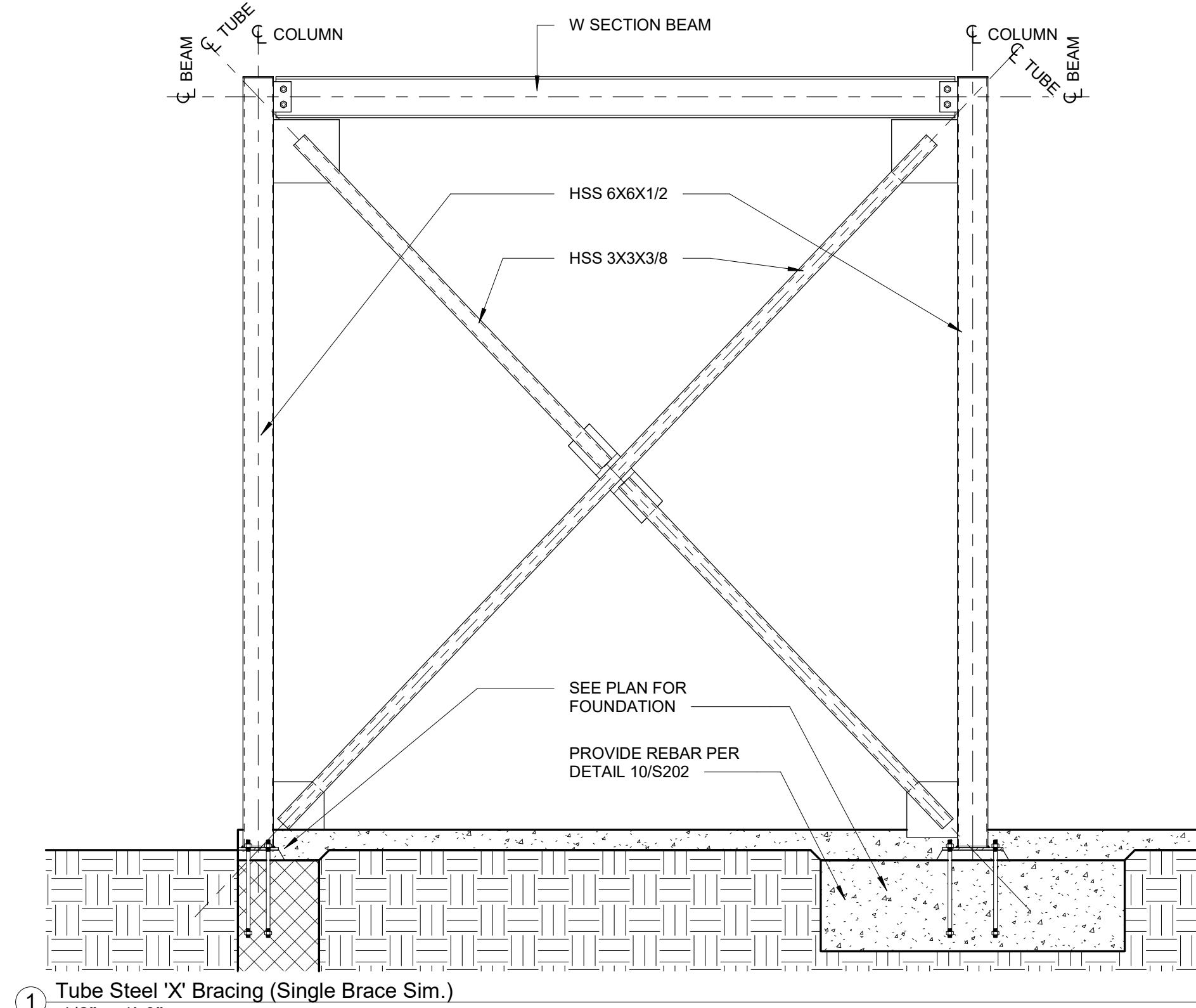
Revisions:

No.	Description	Date
1	Structural Footing Revisions	5/19/23

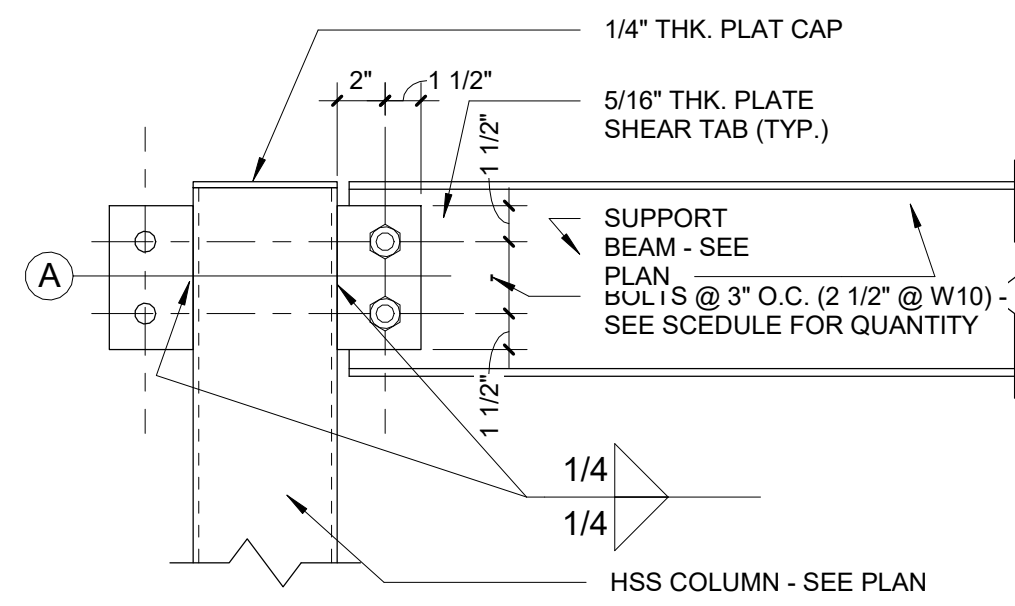
Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File:

S201



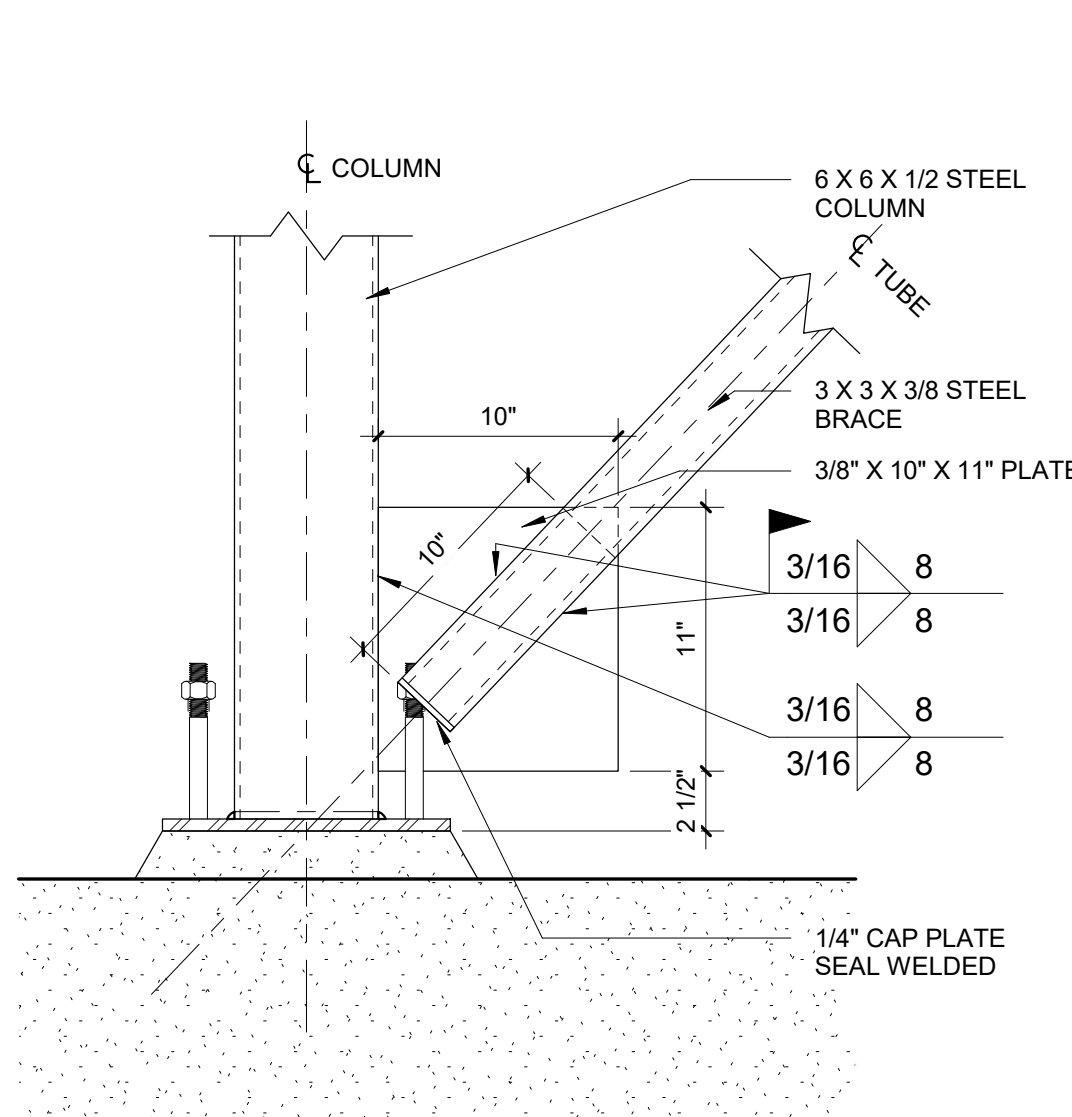
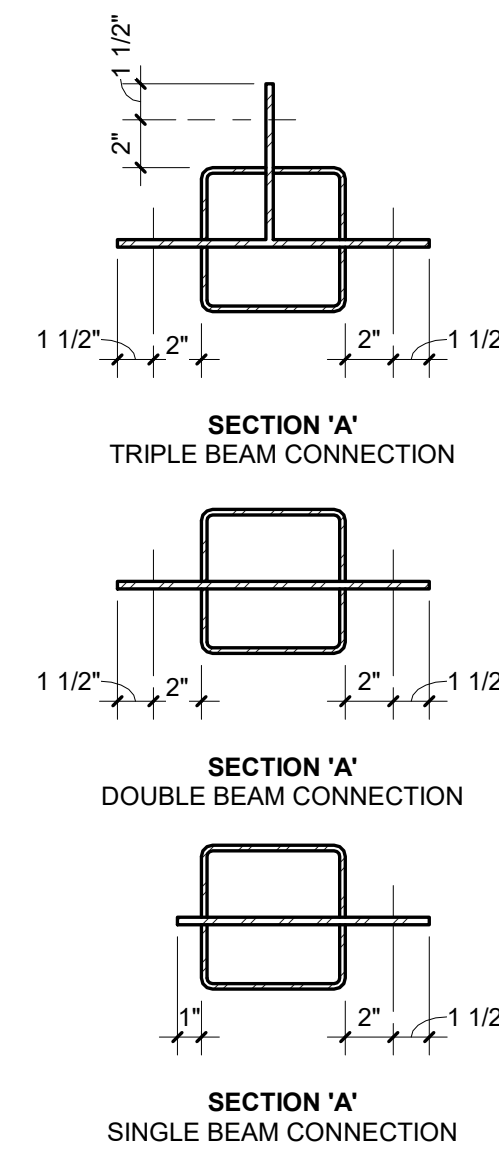


1 Tube Steel 'X' Bracing (Single Brace Sim.)
1/2" = 1'-0"

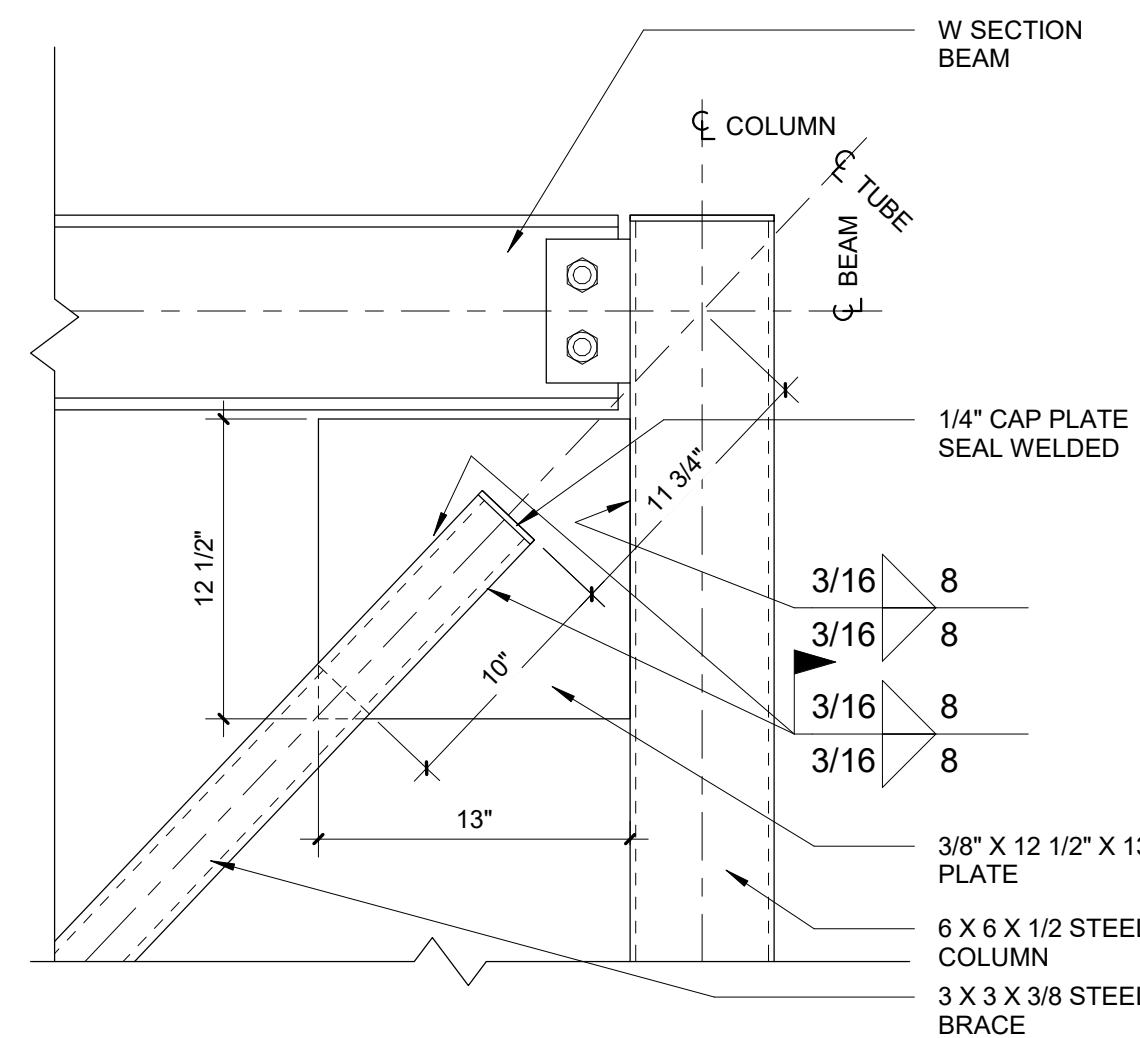


6 Beam to HSS Column Shear Tab
1 1/2" = 1'-0"

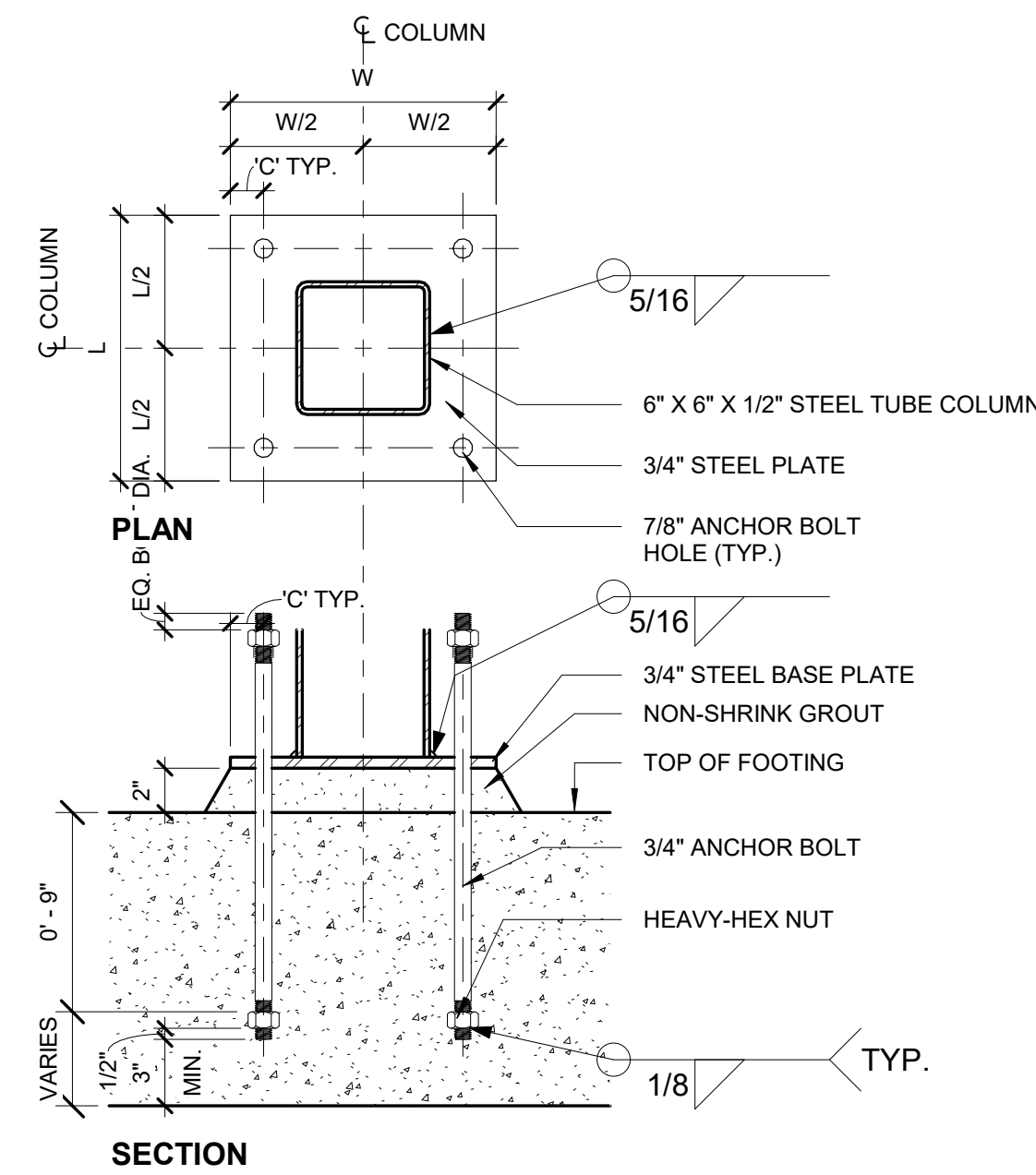
BOLT QUANTITY SCHEDULE	
SUPPORTED BEAM	QTY. 3/4" DIA A325N BOLTS
W8	2
W10 & W12	3
W14 & W16	4
W18	5
W21	6
W24	7



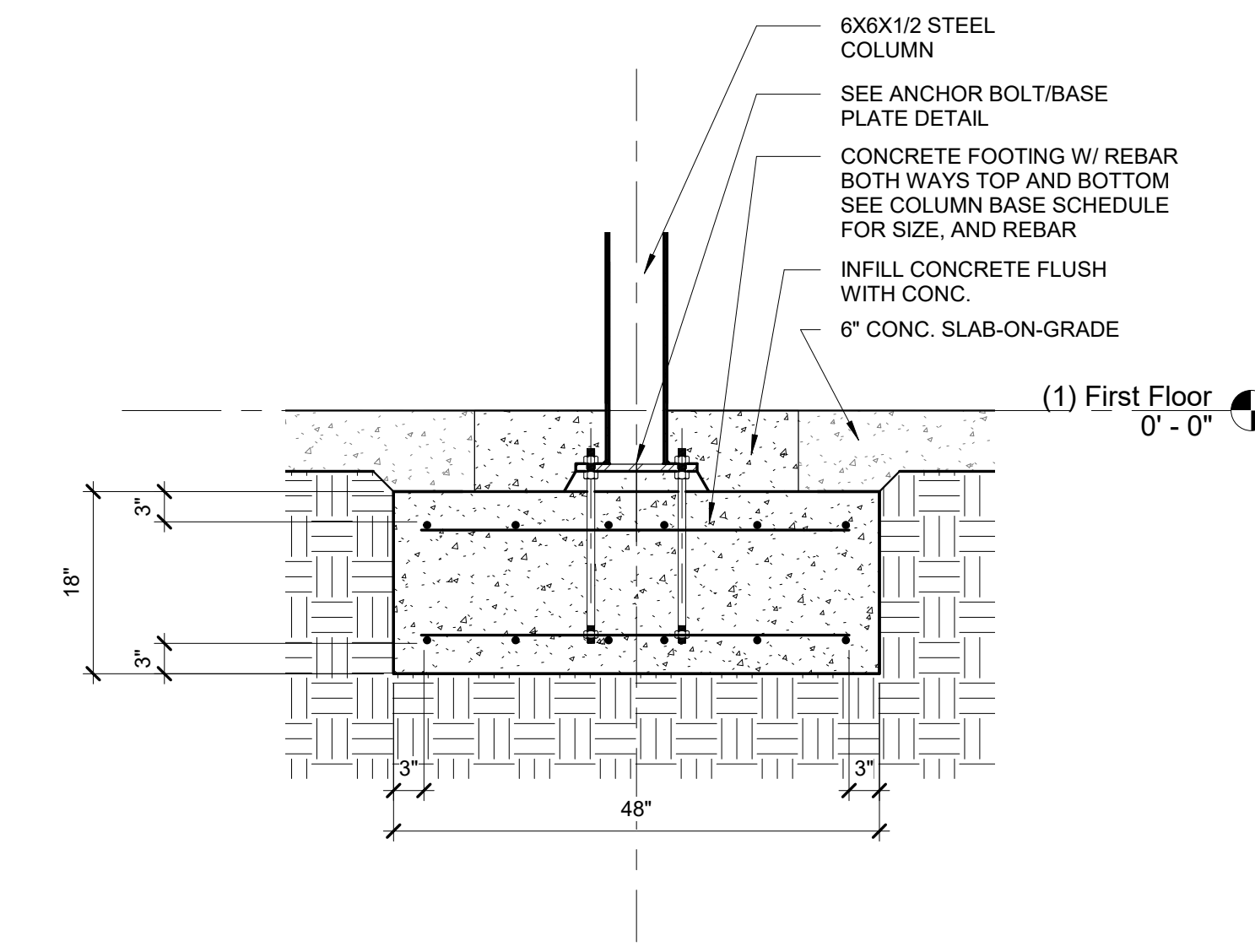
2 Tube Steel Cross Bracing Detail @ Bottom
1 1/2" = 1'-0"



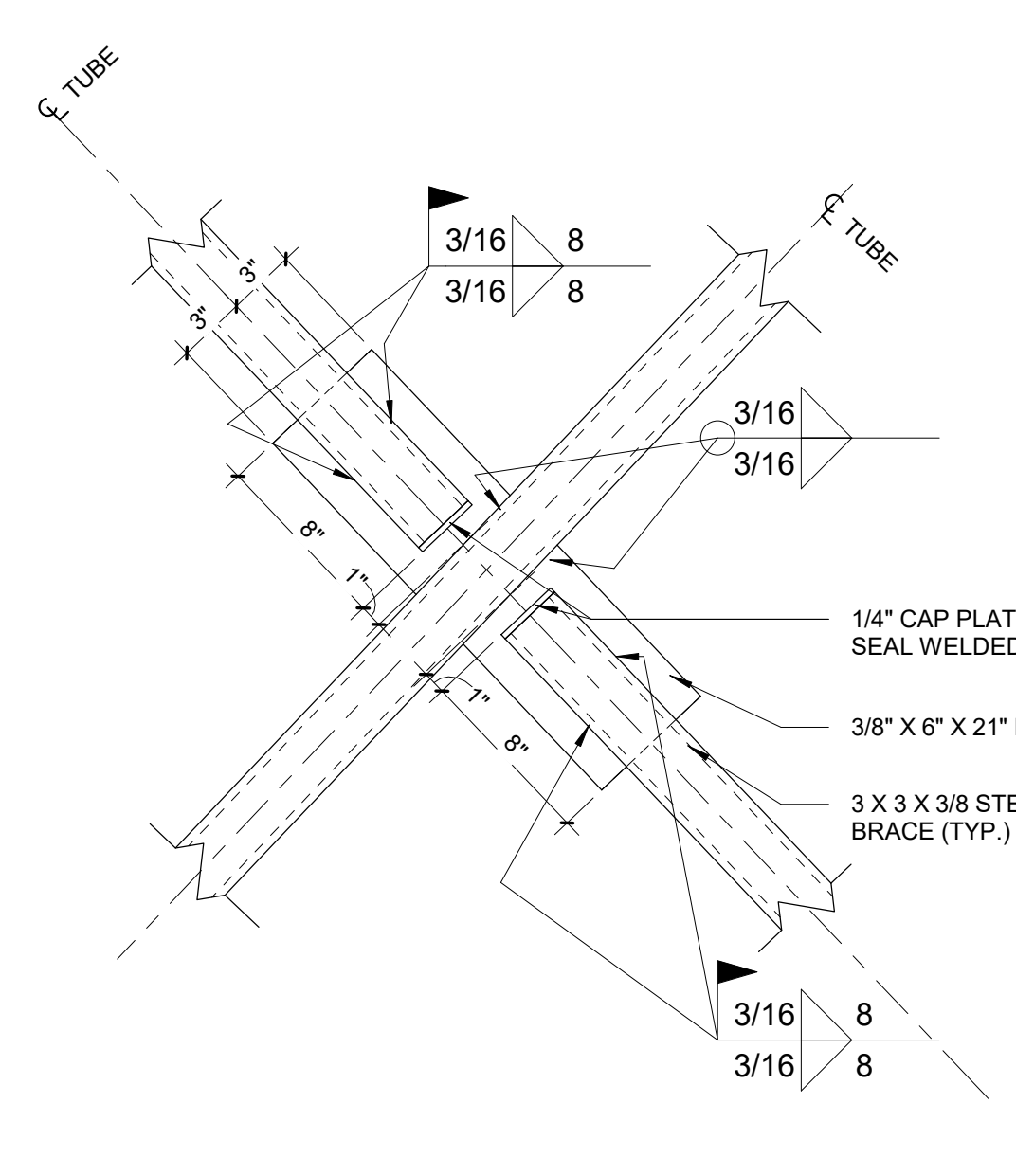
4 Tube Steel Cross Bracing Detail @ Top
1 1/2" = 1'-0"



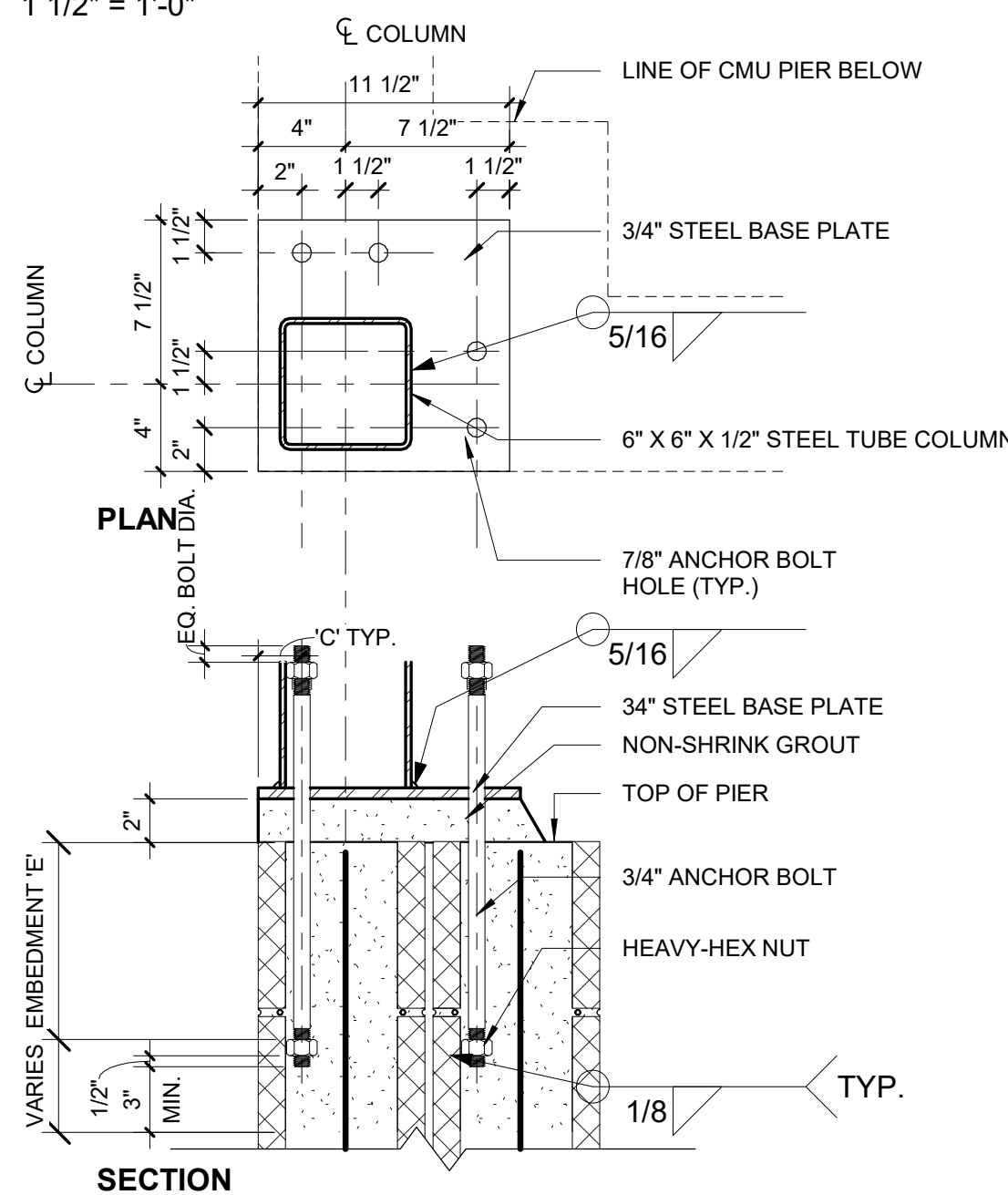
7 Anchor Bolt/Base Plate - C1
1 1/2" = 1'-0"



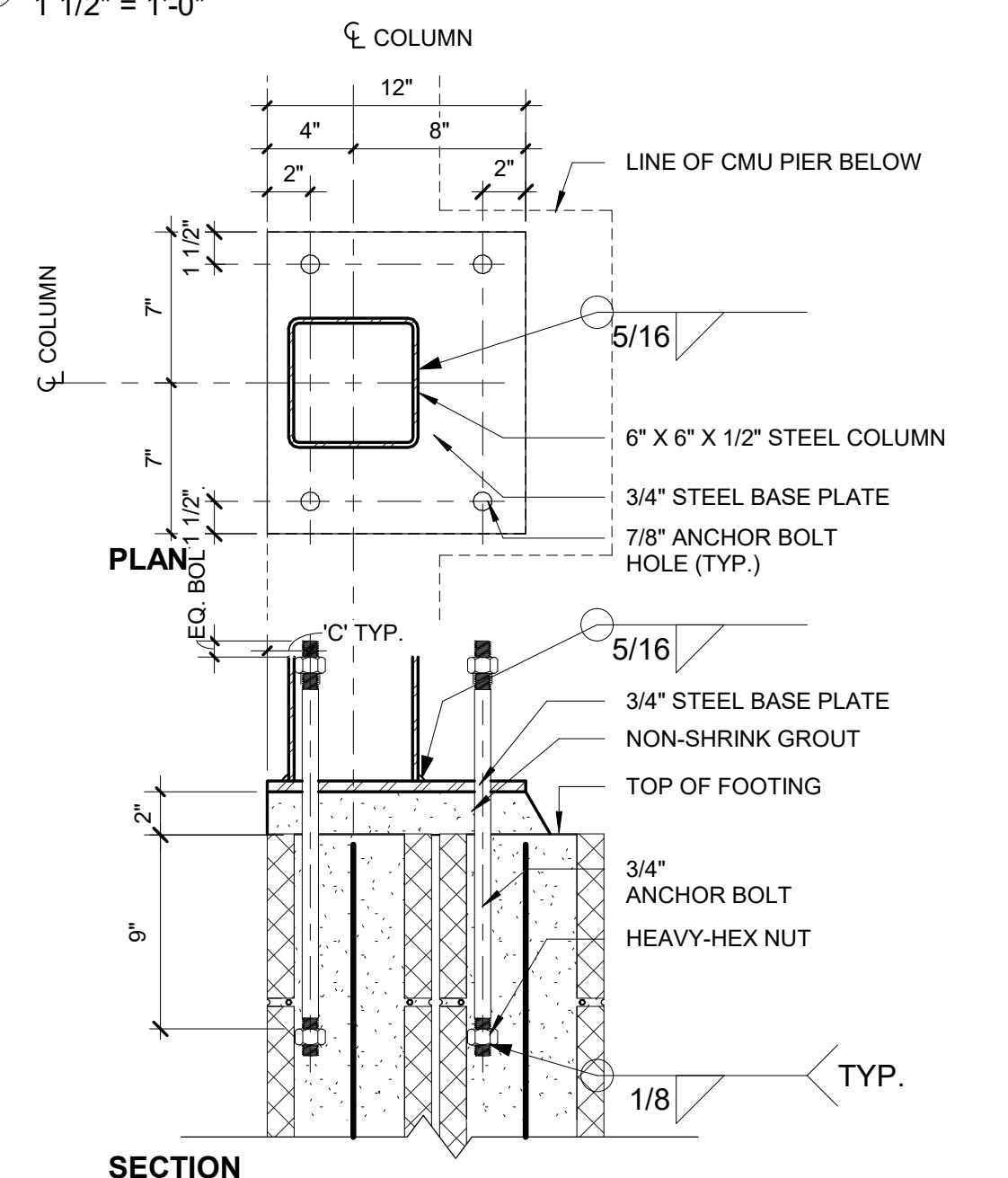
10 Column Footing Detail
3/4" = 1'-0"



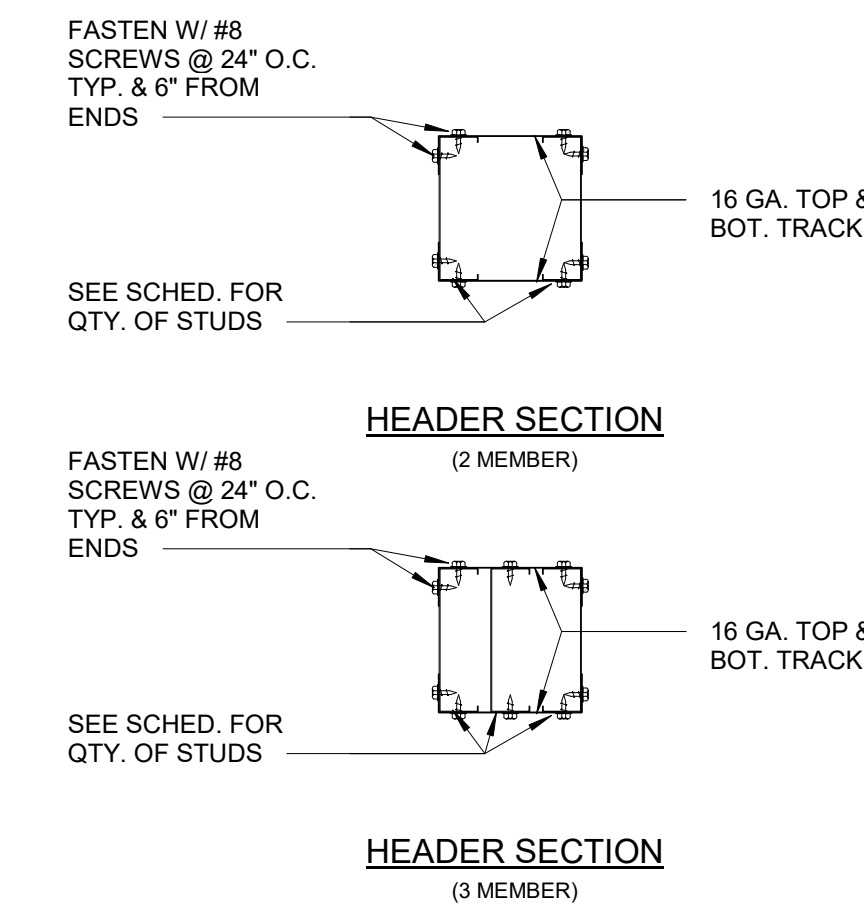
3 Tube Steel Cross Bracing Detail @ Crossing
1 1/2" = 1'-0"



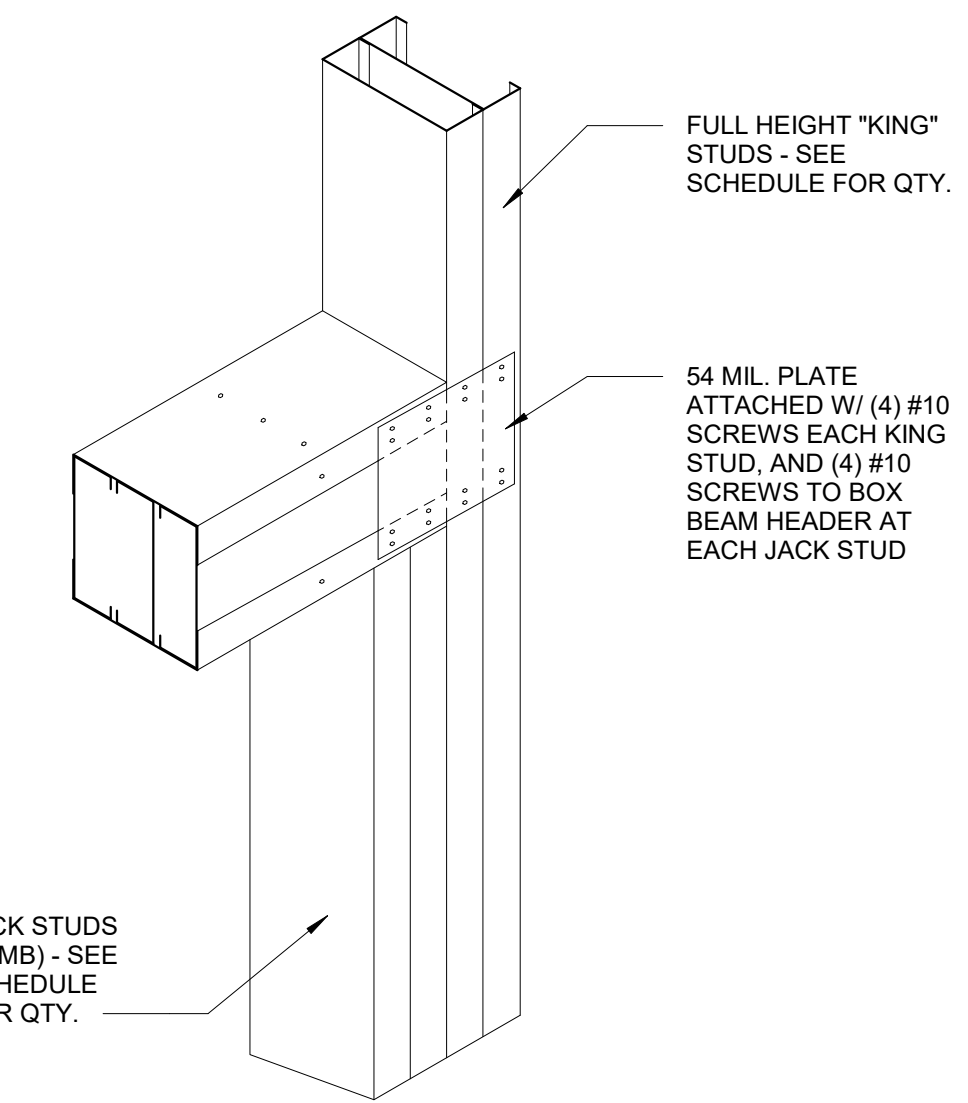
8 Anchor Bolt/Base Plate - C3
1 1/2" = 1'-0"



5 Anchor Bolt/Base Plate - C2
1 1/2" = 1'-0"

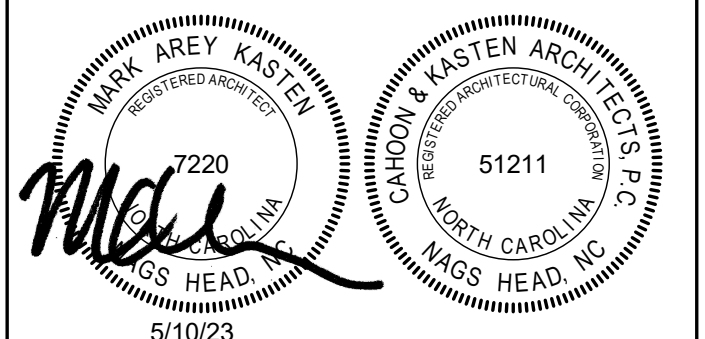


9 Metal Stud Box Beam Header
1 1/2" = 1'-0"



Project: **ABC Buxton**
Project No: **22041**
Location: **47290 Hwy 12 Buxton, NC**
Title: **Structural Details**
Date: **March 10, 2023**
Scale: **As indicated**

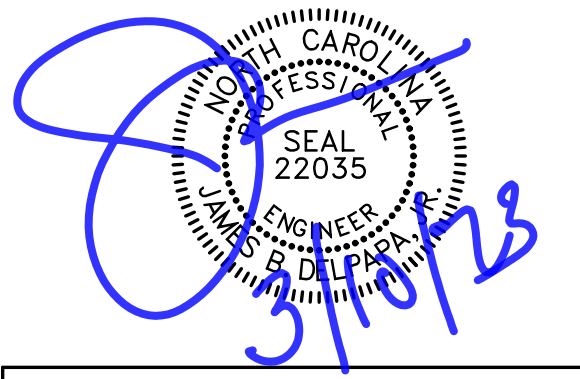
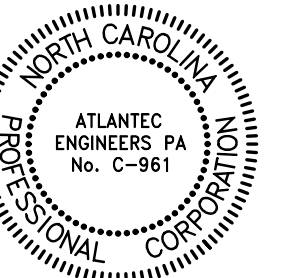
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Revisions:

No.	Description	Date

Designed: MAK
Drawn: MAK
Reviewed: MAK
Cad File: S202



Project: ABC Buxton
Project No: 22041
Location: 47290 Hwy 12
Buxton, NC
Title: PLUMBING
Date: March 10th, 2023
Scale: As indicated

**PLUMBING WASTE PLAN
FIRST FLOOR**

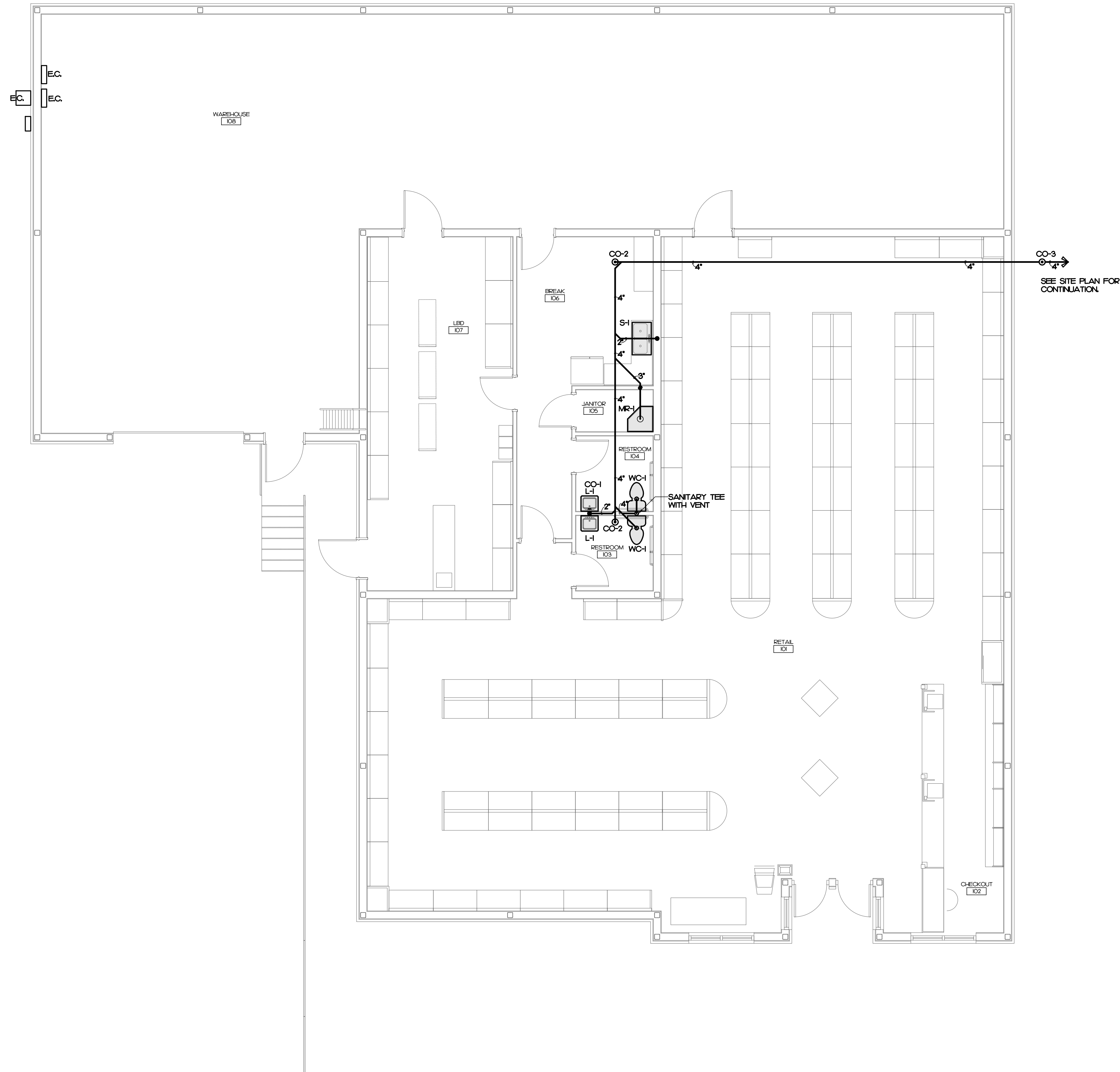
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Revisions:

No.	Description	Date

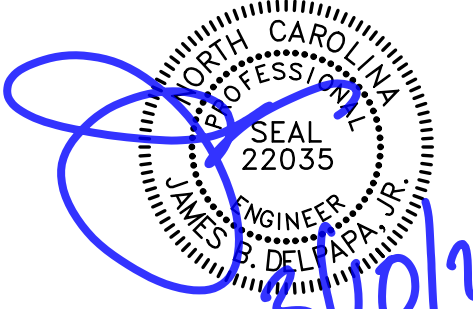
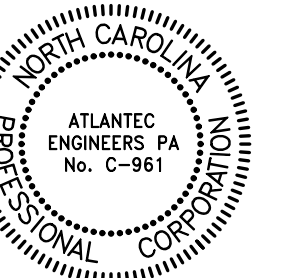
Designed: JAD
Drawn: JAD
Reviewed: JBD
Cad File:

P101



1 PLUMBING WASTE PLAN - FIRST FLOOR

SCALE: 3/16" = 1'-0"



Project: ABC Buxton
Project No: 22041
Location: 47290 Hwy 12
Buxton, NC
Title: PLUMBING
Date: March 10th, 2023
Scale: As indicated

PLUMBING WATER
PLAN
FIRST FLOOR

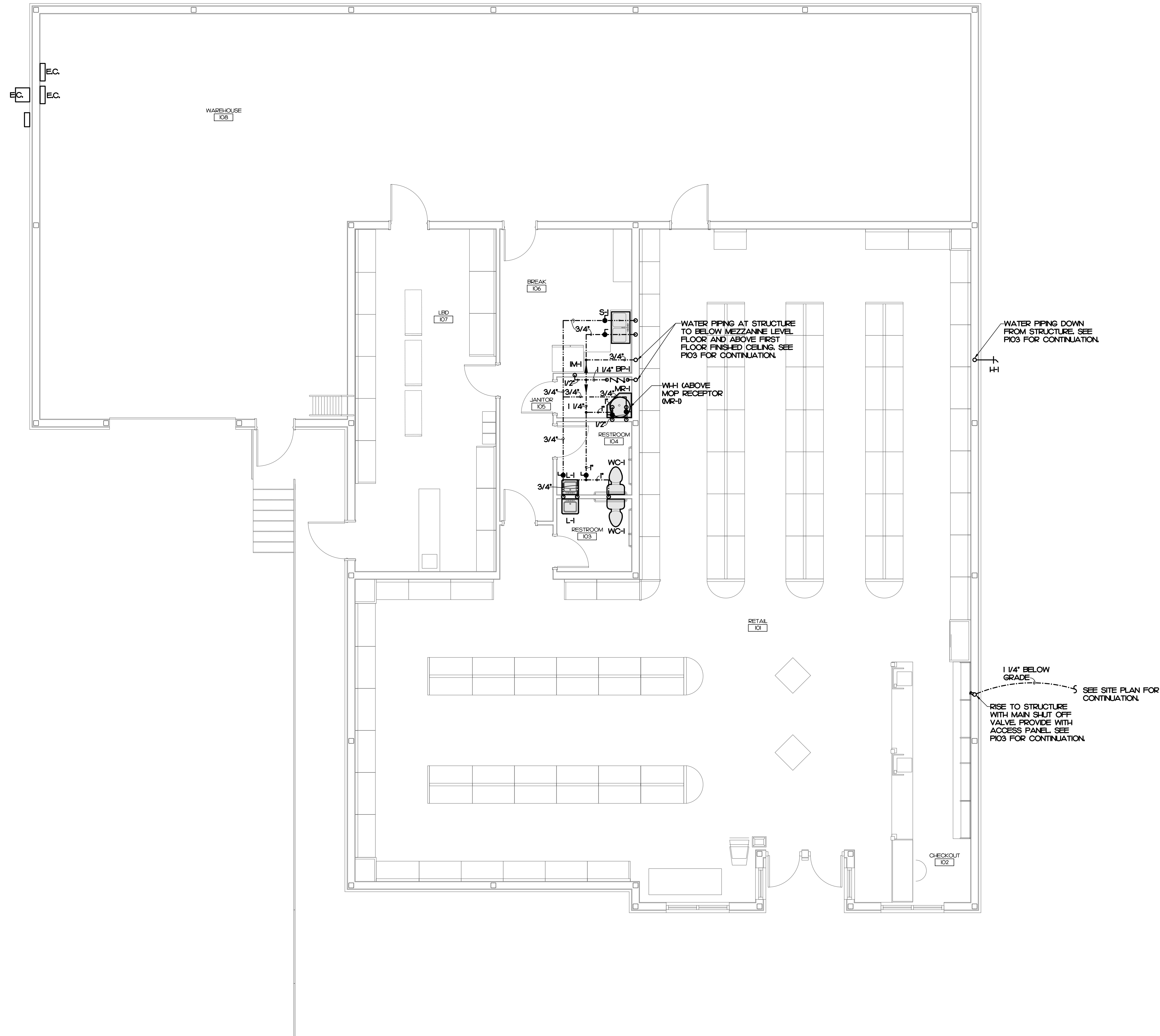
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Revisions:

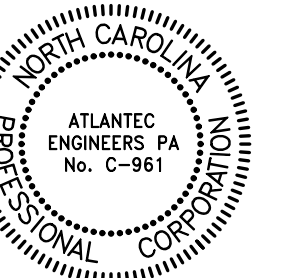
No.	Description	Date

Designed: JAD
Drawn: JAD
Reviewed: JBD
Cad File:

P102



1 PLUMBING WATER PLAN - FIRST FLOOR
SCALE: 3/16" = 1'-0"



Project: ABC Buxton
Project No: 22041
Location: 47290 Hwy 12
Buxton, NC
Title: PLUMBING
Date: March 10th, 2023
Scale: As indicated

PLUMBING PLAN
MEZZANINE
FLOOR

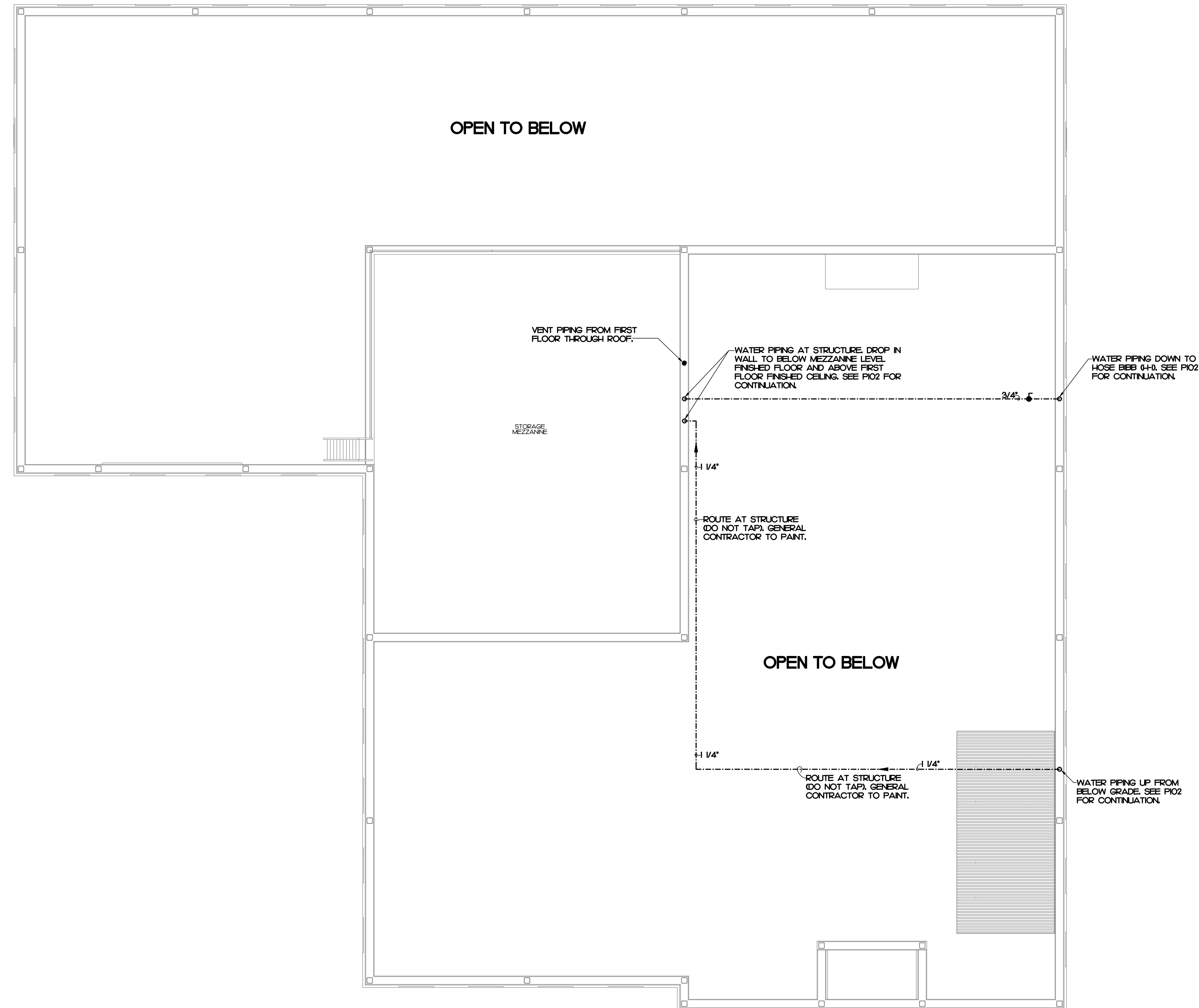
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Revisions:

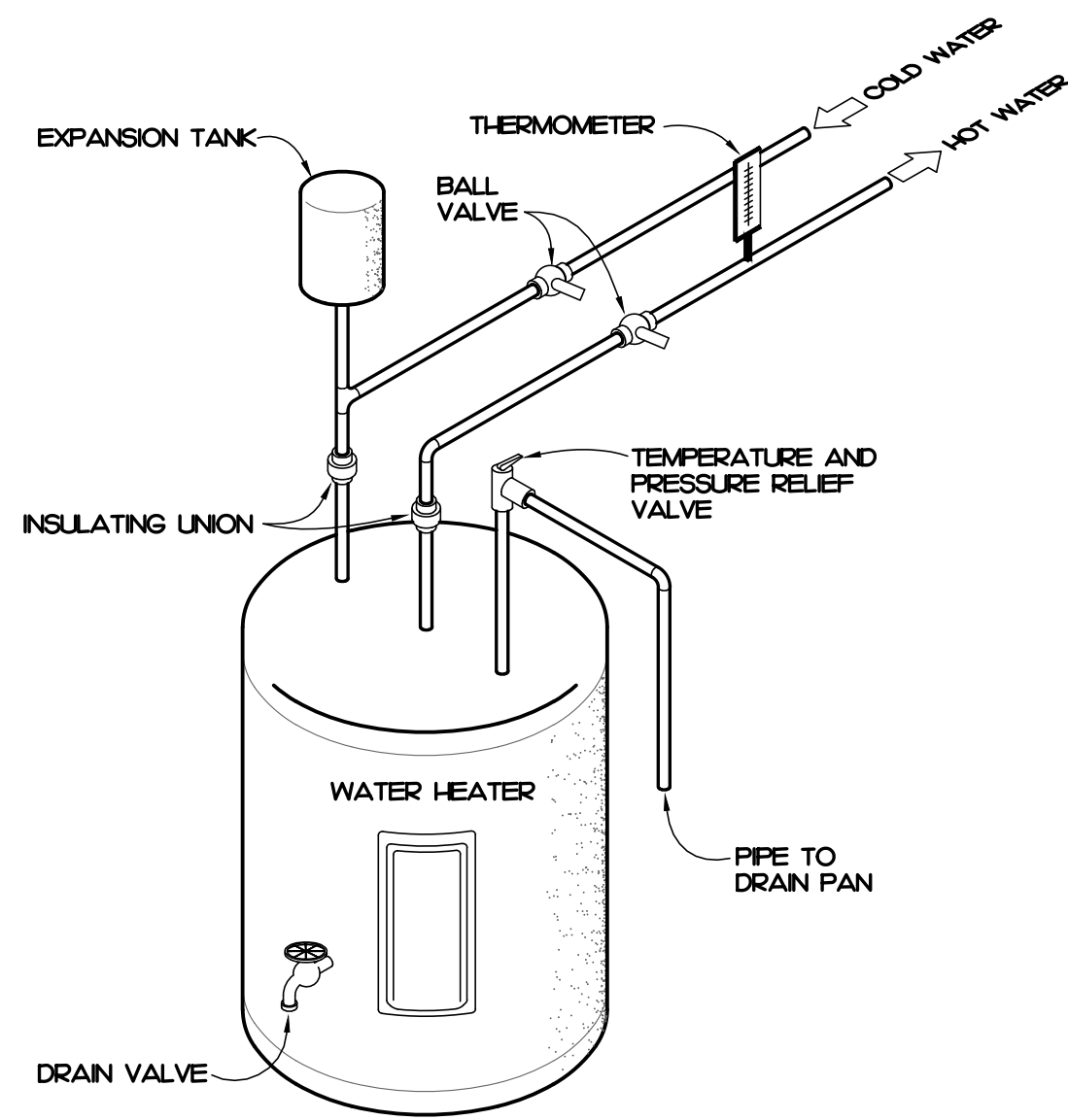
No.	Description	Date

Designed: JAD
Drawn: JAD
Reviewed: JBD
Cad File:

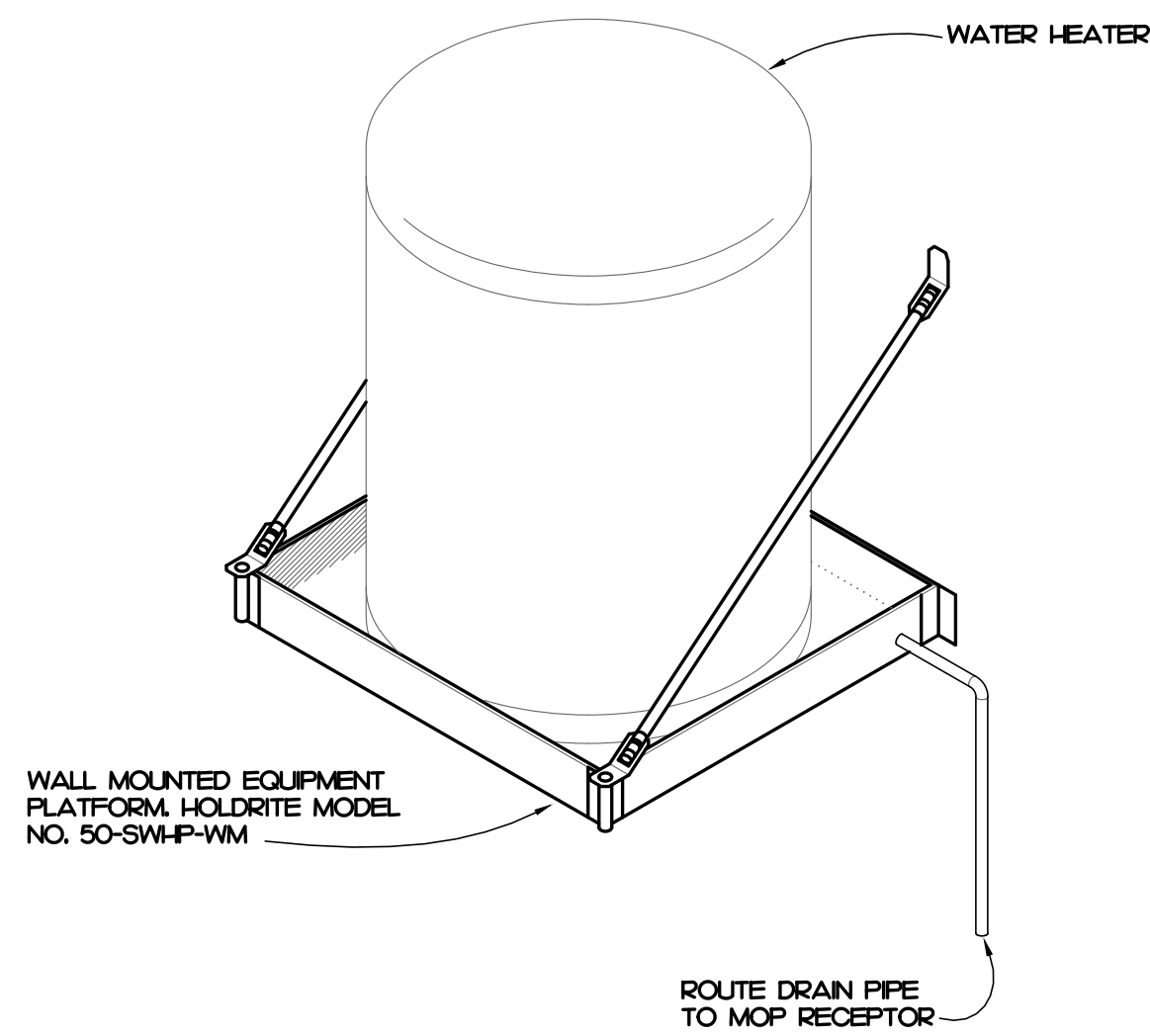
P103



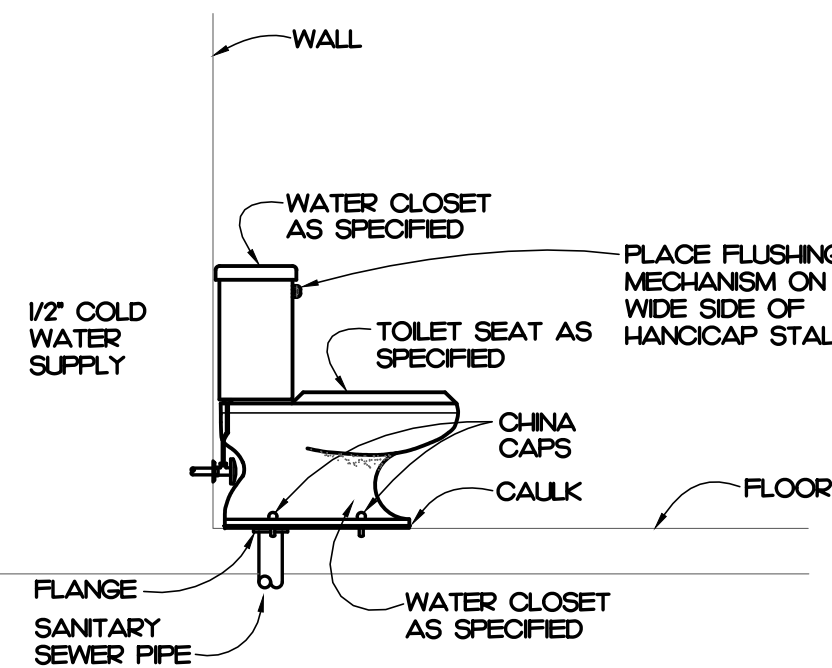
1 PLUMBING PLAN - MEZZANINE
SCALE: 3/16" = 1'-0"



3 WATER HEATER DETAIL
SCALE: NOT TO SCALE



2 WATER HEATER MOUNTING DETAIL
SCALE: NOT TO SCALE



1 WATER CLOSET DETAIL
SCALE: NOT TO SCALE

PLUMBING FIXTURE SCHEDULE

SYMBOL / IMAGE	DESCRIPTION	3 - EQUALS						PIPING CONNECTIONS		
		MANUFACTURER	MODEL NUMBER	MANUFACTURER	MODEL NUMBER	MANUFACTURER	MODEL NUMBER	COLD WATER	HOT WATER	SANITARY SEWER
BP-1	BACKFLOW PREVENTOR LEAD FREE, REDUCED PRESSURE ZONE WITH BALL VALVES AND STRAINER. MOUNT 24" ABOVE FINISHED FLOOR.	WATTS	LF9090TM-S	WIKINS	975XL2-S	FEBCO	LF860	1 1/4" - 2"	-	-
CO-1	WALL CLEANOUT ACCESS COVER PVC CLEANOUT BODY AND PLUG TO BE GAS AND WATER TIGHT. PLUG TO HAVE A BRASS THREADED INSERT TO RECEIVE SECURING SCREW FOR STAINLESS STEEL ROUND ACCESS COVER.	ZURN	CO-243-PVC	MFAB		JR SMITH		-	-	SEE PLUMB DRAWINGS
CO-2	FLOOR CLEANOUT PVC CLEANOUT WITH AN ADJUSTABLE PVC RISER, NICKEL BRONZE FRAME AND COVER, AND AN ABS TAPER THREADED PLUG. CLEANOUT TO BE GAS AND WATERTIGHT.	ZURN	CO2449	MFAB		JR SMITH		-	-	SEE PLUMB DRAWINGS
CO-3	EXTERIOR CLEANOUT CLEANOUT FERRULE WITH CAST IRON BODY, WITH GAS AND WATERTIGHT BRONZE PLUG, MOUNT IN CONCRETE.	ZURN	Z-H449-EP	WATTS	CO-380-34B	JR SMITH	4283	-	-	SEE PLUMB DRAWINGS
HH	ANTIFREEZE HOSE BEB ANTIFREEZE HOSE BEB SHALL HAVE AUTOMATIC DRAINING WITH ANTI-SIPHON VACUUM BREAKER, 3/4" INLET AND OUTLET. EXTERIOR FINISH TO BE CHROME. PROVIDE WITH LOOSE TEE KEY FOR EACH HOSE BEB. MOUNT 12" ABOVE FINISHED GRADE.	WOODFORD	65	WATTS	HT-420	MFAB	MHT-5	3/4"	-	-
IH	ICE MAKER BOX PLASTIC ICE MAKER BOX WITH 1/4 TURN BRASS BALL VALVE - COPPER SWEAT AND SUPPLY TUBE TO REFRIGERATOR. COORDINATE MOUNTING HEIGHT WITH ARCHITECT.	OATEY CO.	98574	GUY GRAY	AB9700	SIOUX CHEF	696-G100MF	1/2"	-	-
L-1	LAVATORY WALL HUNG LAVATORY SHALL BE MADE OF VITREOUS CHINA WITH A WHITE FINISH. HAVE 4" CENTERS, AN OVERFLOW, SEE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT. DECK MOUNTED FAUCET SHALL BE CHROME FINISH SINGLE LEVER, 4" CENTERS, WITH 3/8" COPPER SUPPLY TUBE INLETS, AND PROVIDED WITH AN AERATOR. RIGID SUPPLY KIT SHALL INCLUDE CHROME PLATED BRASS STOPS WITH THREADED CONNECTIONS AND FLANGE INLET AND OUTLET SHALL BE 3/8" IPS. OUTLET SHALL BE 3/8" IPS. P-TRAP SHALL BE CHROME PLATED CAST BRASS BODY WITH CLEANOUT, CAST BRASS ELBOW AND CAST BRASS SLIP NUT, AND FLANGE. PROVIDE WITH OFFSET DRAIN, TRUBERO LAV SHIELD, WALL HANGER, AND WATER TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125.3.	KOHLER	K-2032-0	AMERICAN STANDARD	036604I	ZURN				
	FAUCET	DELTA	523LF-HGMDF	CHICAGO FAUCETS	2200-4	MOEN	8470			
	TRAP	McGUIRE	8902	DEARBORN BRASS	702-1	KOHLER	K-8999			2"
	SUPPLY	McGUIRE	158LK	BRASS CRAFT	R92AC	KOHLER	K-7605-P-CP	1/2"	1/2"	
MR-1	MOP RECEPTOR FLOOR MOUNTED CORNER MOP RECEPTOR SHALL BE 28" x 28", ACID RESISTANT ENAMEL FINISH. PROVIDE WITH COATED WIRE GUARD RM.	KOHLER	670	FIAT						3"
	FAUCET	STERN WILLIAMS	T-10-YB	CHICAGO	897RCF	MOEN	824	1/2"	1/2"	
	HOSE	STERN WILLIAMS	T-35	FIAT	832AA					
	MOP BRACKET	STERN WILLIAMS	T-40	FIAT	889CC					
S-1	2-COMPARTMENT SINK SINK IS TO BE 18 GAUGE STAINLESS STEEL, SELF-RIMMING, DECK MOUNTED FAUCET SHALL BE CHROME FINISHED, WITH 1/2" INLET AND PROVIDED WITH AN AERATOR. RIGID SUPPLY KIT SHALL INCLUDE CHROME PLATED BRASS STOPS WITH THREADED CONNECTIONS AND FLANGE INLET AND OUTLET SHALL BE 3/8" IPS. PROVIDE WITH PROVIDE WITH McGUIRE FROWRAP INSULATOR, PROVIDE WITH SPRAYER, DISHWASHER CONNECTION, AND DISPOSAL IF REQUIRED BY ARCHITECT.	JUST	DL-ADA-933-A-GR	ELKAY	LRAD-339					
	FAUCET	DELTA	400	MOEN	7437	KOHLER		1/2"	1/2"	
	TRAP	McGUIRE	8902	KOHLER	K8999	DEARBORN BRASS	702-1			2"
	SUPPLY	McGUIRE	170	KOHLER	K-76-6-P	BRASSCRAFT	CS400AC			
	STRAINER	JUST	JB-99	ELKAY	LK-99	DEARBORN	L7			
WC-1	WATER CLOSET 16 GPF TOILET SHALL BE MADE OF VITREOUS CHINA WITH A WHITE FINISH AND A 12" ROUGH-IN. TOILET SHALL INCLUDE POLISHED CHROME TRIP LEVER. SEAT SHALL BE EXTRA HEAVY WEIGHT SOLID PLASTIC WITH OPEN FRONT LESS COVER FOR ELONGATED BOWL. SUPPLY KIT SHALL INCLUDE CHROME PLATED BRASS STOPS, FULL TURN BRASS STEM AND FLANGE. INLET SHALL BE 3/8" IPS. OUTLET SHALL BE 3/8" IPS. THE FLUSHING LEVER MECHANISM SHALL BE ON THE WIDE SIDE OF THE STALL.	KOHLER	K-9979	TOTO	CS1744SL	AMERICAN STANDARD	265AA004020			4"
	SEAT	BEMIS	K655SC	KOHLER	K-4670-C-0	CHUROH				
	SUPPLY	BRASSCRAFT	CS400LC	KOHLER	K-7638	McGUIRE	185	1/2"	-	
WH	WATER HEATER ELECTRIC WATER HEATER SHALL HAVE A 30 GALLON STORAGE CAPACITY, AN ELECTRIC INPUT OF 4.5 KW AT 240 VOLT, SINGLE PHASE AND A RECOVERY OF 19 GPH AT A 100' RISE. PROVIDE WITH THERMOSTATIC MIXING VALVE SET AT 107F, EXPANSION TANK AND HEAVY DUTY FUSIBLE DISCONNECT, WIRING BY LICENSED ELECTRICAL CONTRACTOR. WATER HEATER TO BE PROVIDED WITH HEAT TRAPS AND MEET THE ENERGY EFFICIENCY REQUIREMENT PER 2018 NORTH CAROLINA STATE BUILDING CODE ENERGY CONSERVATION CODE.	STATE INDUSTRIES	PCE 30 20MSA	A.O. SMITH		LOCHINVAR		r	r	

PLUMBING SCHEDULE NOTES AND LEGEND:

- THE PLUMBING CONTRACTOR MAY SUBSTITUTE FIXTURES WITH OWNERS' APPROVAL.
 - SUBMIT CUT SHEETS FOR ALL PROPOSED FIXTURES TO ARCHITECT PRIOR TO BIDDING.
 - PROVIDE VACUUM BREAKER ON ALL EQUIPMENT REQUIRING PLUMBING.
 - REFER TO MANUFACTURERS WEB SITE FOR CUT SHEETS AND DATA ON THE FIXTURES AND APPURTENANCES USED IN THIS SCHEDULE.
- ADA COMPLIANT
 ELECTRICAL POWER
 GAS FIRED

PLUMBING GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE CODE, ALL LOCAL AND OTHER APPLICABLE CODES.
- ANY PERMITS AND INSPECTION FEES SHALL BE SECURED AND PAID FOR BY THE PLUMBING CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY EXPERIENCED AND SKILLED CRAFTSMAN. THE PLUMBING CONTRACTOR SHALL COORDINATE ALL OF HIS WORK WITH ALL OTHER CONTRACTORS.
- THE PLUMBING PLANS AND SPECIFICATIONS SHALL BE THOROUGHLY REVIEWED PRIOR TO PURCHASING MATERIALS AND INSTALLATION. ALL DISCREPANCIES OR INTERFERENCE'S SHALL BE BROUGHT TO THE ENGINEERS ATTENTION.
- THESE PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW MINOR DETAILS AND LOCATIONS. FOR DIMENSIONS, REFER TO THE ARCHITECTURAL PLANS.
- THE PLUMBING CONTRACTOR SHALL PROVIDE ALL OPENINGS REQUIRED FOR THE PLUMBING WORK. THE PATCHING SHALL BE BY THE PLUMBING CONTRACTOR AND FINISHING BY GENERAL CONTRACTOR.
- ALL PIPE, FITTINGS, FIXTURES, AND SOLDER TO BE LEAD FREE.
- WATER PIPING BELOW GRADE SHALL BE TYPE 1" COPPER (NO JOINTS BELOW GRADE) AND ABOVE GRADE TYPE 1" COPPER. SUPPORTED AS REQUIRED AND SHALL BE HYDROSTATICALLY TESTED FOR ONE HOUR AT 50 PSI. TEST TO COMPLY WITH ALL EPA STANDARDS. THE ENTIRE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PRIOR TO PLACING IN SERVICE.
- WATER PIPING LOCATED ABOVE CEILINGS AND IN EXTERIOR WALLS SHALL BE ROUTED ON HEATED SIDE OF CEILING INSULATION (UNDERSIDE) AND WALL INSULATION (INSIDE).
- ALL COLD AND HOT WATER PIPING SHALL BE INSULATED. INSULATE WASTE PIPING AS DESIGNATED ON PLUMBING DRAWINGS. INSULATION SHALL BE FIBERGLASS. EXPOSED PIPING TO BE WRAPPED WITH ALUMINUM JACKET.
- STENCIL ALL PIPING WITH IDENTIFICATION AND FLOW ARROW + 10'-0" ON CENTER AT BOTH SIDES OF WALL PENETRATIONS AND AT EACH TAKE - OFF.
- WATER SHUT - OFF VALVES ABOVE FINISHED CEILING ARE TO BE FREE FROM OBSTRUCTIONS SUCH AS DUCTWORK, LIGHTS, WIRING AND OTHER PIPING SO AS TO PROVIDE EASY ACCESS. MOUNT NO MORE THAN 2'-0" ABOVE FINISHED CEILING.
- PLUMBING CONTRACTOR SHALL PROVIDE A DIELECTRIC UNION WHEN CONNECTING DISSIMILAR MATERIAL.
- WATER HEATERS SHALL HAVE AND EFFICIENCY MEETING REQUIREMENTS OF THE NORTH CAROLINA BUILDING CODE.
- THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL AND CONTROL CONNECTIONS TO THE EQUIPMENT FURNISHED UNDER HIS CONTRACT.
- SANITARY SEWER AND VENT PIPING SHALL BE SCHEDULE 40 PVC. CELLULAR CORE (FOAM CORE) IS NOT ALLOWED. SANITARY SEWER AND VENT PIPING SHALL BE GAS AND AIR TIGHT.
- THE PLUMBING CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION OF ANY WORK.
- THE PLUMBING CONTRACTOR SHALL REVIEW ALL UTILITY SITE PLANS FOR WORK BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH WORK BY OTHERS AND AVOID ALL CONFLICTS.
- LOCATIONS OF UTILITIES (WASTE AND WATER PIPING, ETC.) PROVIDED BY OTHERS, THAT ARE TO BE CONNECTED TO ARE ASSUMED. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO VERIFY THESE LOCATIONS AND MAKE FINAL CONNECTIONS AS REQUIRED.
- VERIFY THE LOCATION OF ALL EQUIPMENT SUPPLIED BY OTHERS.
- ALL VENT PIPING THROUGH THE ROOF SHALL BE A MINIMUM OF 15'-0" FROM ALL MAKE-UP AIR INLETS OR A MINIMUM OF 2'-0" ABOVE THE TOP OF ALL MAKE-UP AIR INLETS. VENTS THROUGH ROOF ARE TO BE ON REAR OF BUILDING.
- SEE ARCHITECTURAL DRAWINGS FOR PLUMBING MINIMUM FACILITY CALCULATIONS.
- ALL INDIRECT WASTE IS TO BE PROVIDED WITH AN AIR GAP 2 TIMES THE SIZE OF THE WASTE INLET.
- THE PLUMBING CONTRACTOR SHALL VERIFY BUILDING FLOOR ELEVATION IS ABOVE MANHOLE RM ELEVATION OR PROVIDE A BACKWATER VALVE AS REQUIRED.
- THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR DEMOLITION AT NO COST TO THE OWNER.
- THE PLUMBING CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A SET OF AS-BUILT DRAWINGS UPON COMPLETION OF PROJECT.

PLUMBING SYMBOL LEGEND

SYMBOL	DESCRIPTION
	COLD WATER PIPING
	WATER PIPING DIRECTION OF FLOW
	COLD WATER PIPING BELOW FINISHED FLOOR
	HOT WATER PIPING
	BALL VALVE
	WATER PIPING TURNED DOWN
	WATER PIPING TURNED UP
	PIPING SIDE CONNECTION
	SANITARY SEWER / WASTE PIPING
	VENT PIPING
	VENT PIPE UP
	NON FREEZE WALL HYDRANT
	PLUMBING FIXTURE PROVIDED AND INSTALLED BY PLUMBING CONTRACTOR
	FLOOR CLEANOUT
	WALL CLEANOUT
	FLOOR DRAIN
	FLOOR SINK
	ELECTRICAL EQUIPMENT BY ELECTRICAL CONTRACTOR. ROUTE PIPING TO AVOID.
E.C.	

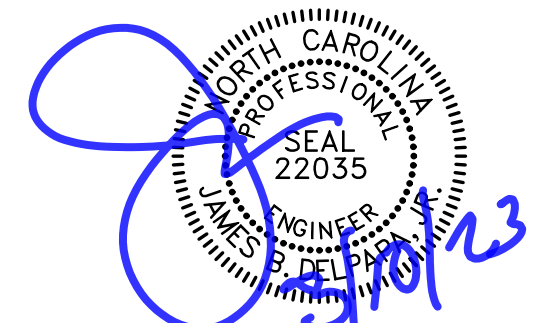
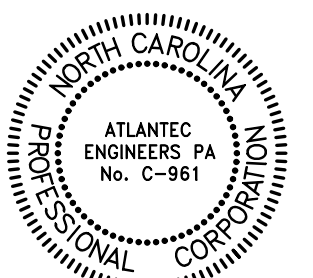
PLUMBING LOAD SUMMARY

SANITARY SEWER DEMAND FU	WATER DEMAND FU	WATER DEMAND GPM
50	220	210

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Project: ABC Buxton
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Scale: As indicated

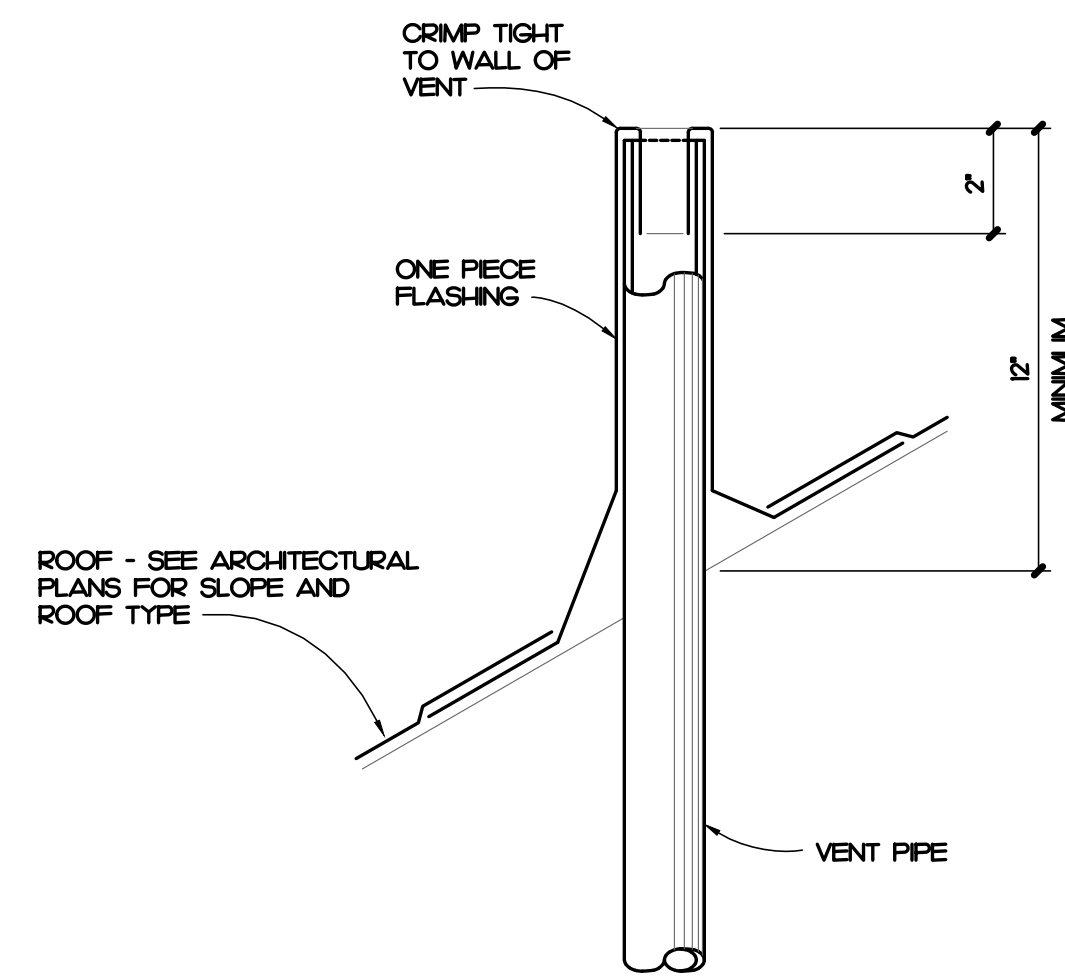
PLUMBING NOTES, LEGENDS, DETAILS & FIXTURE SCHEDULE

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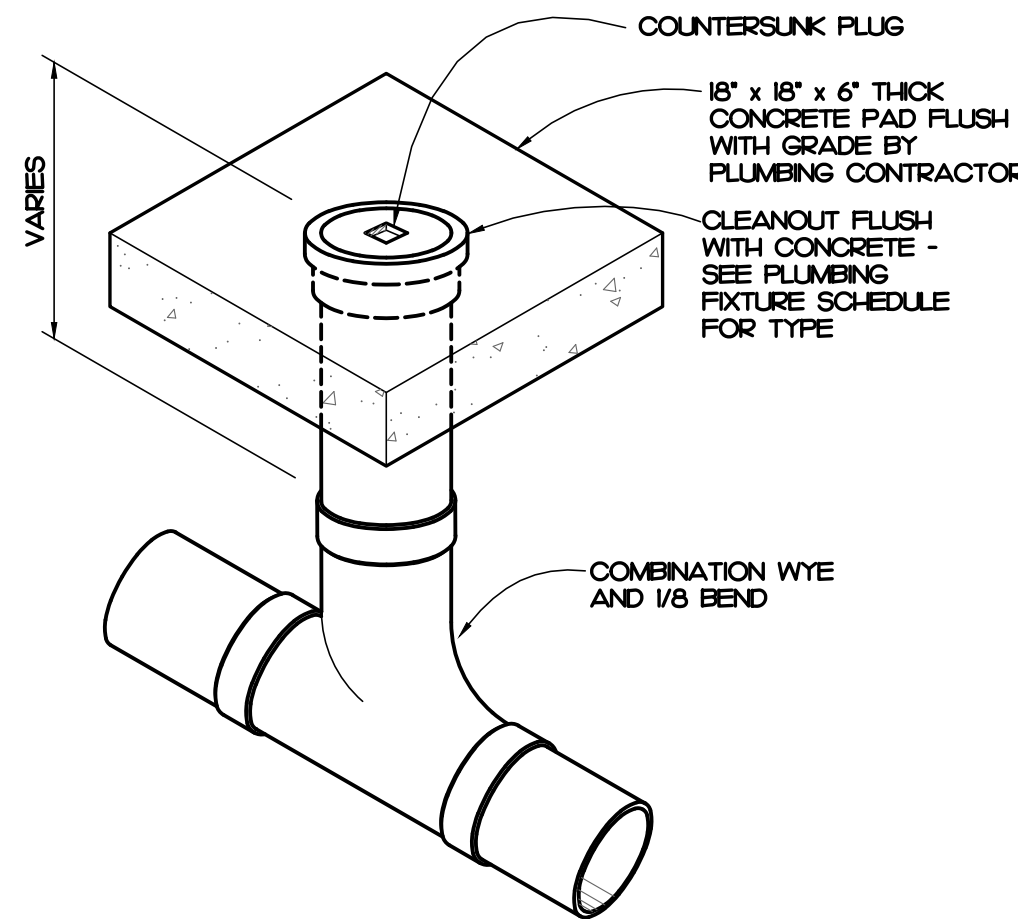
Revisions:

No.	Description	Date

Designed: JAD
Drawn: JAD
Reviewed: JBD
Cad File:

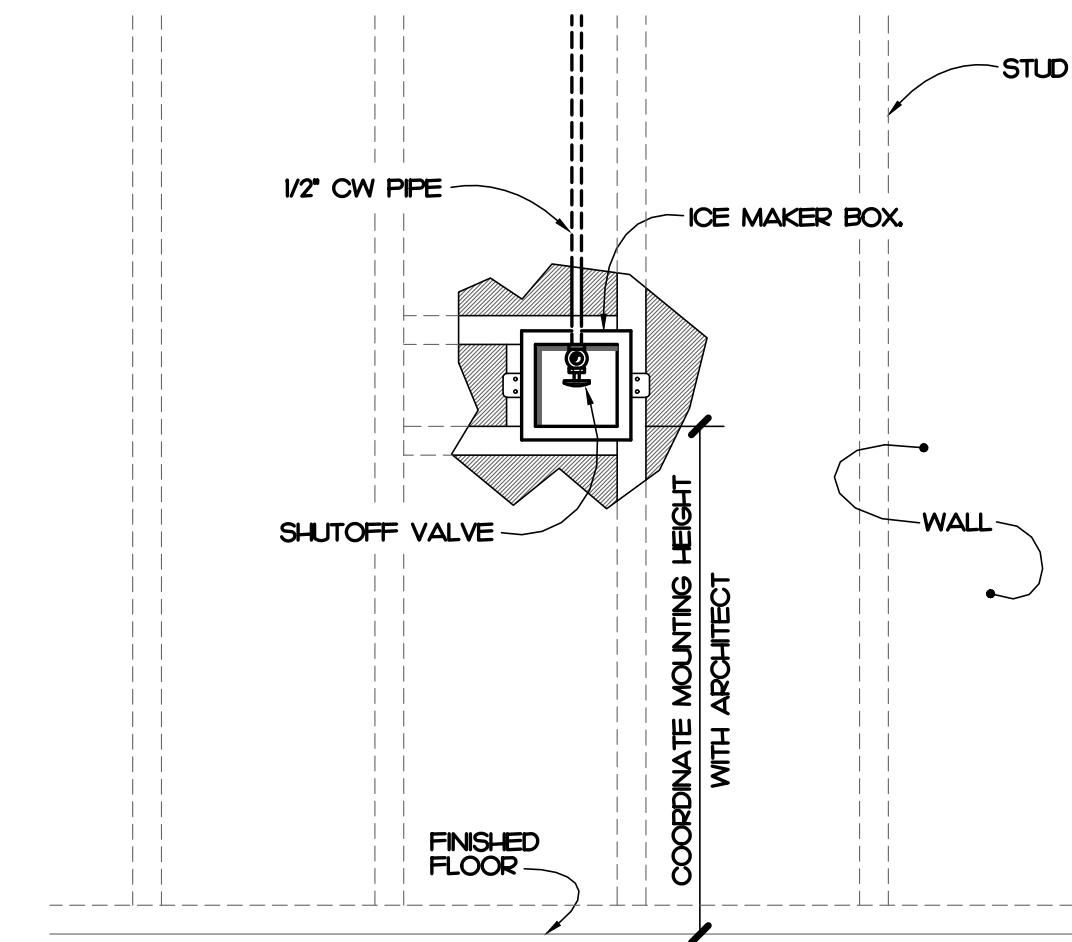


7 VENT THROUGH ROOF DETAIL
SCALE: NOT TO SCALE

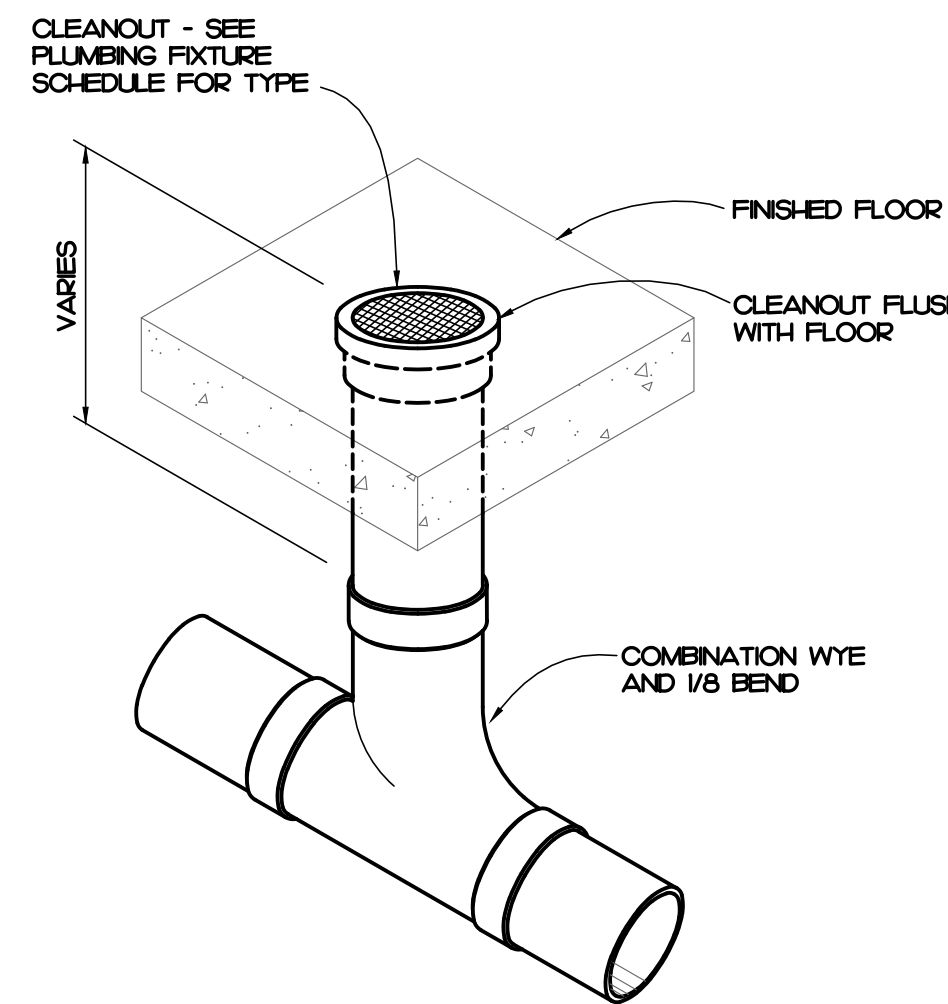


NOTE: SEE SITE AND/OR UTILITY PLAN FOR LOCATION AND FINISH GRADE ELEVATION

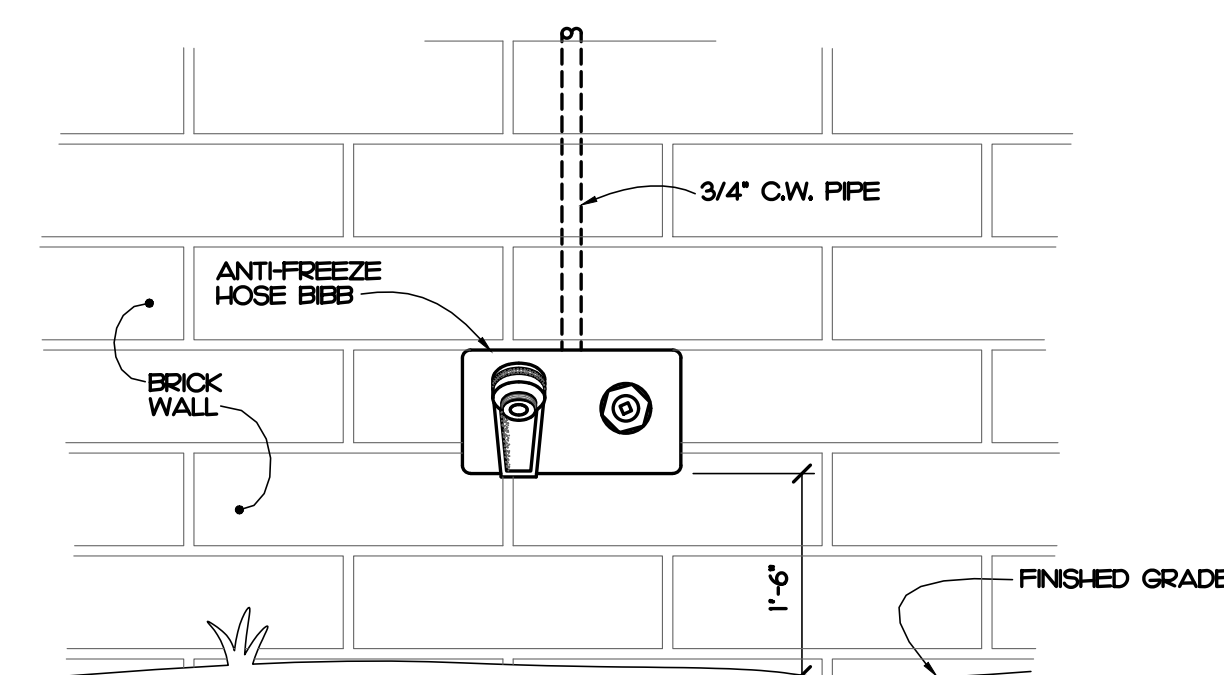
5 EXTERIOR CLEANOUT DETAIL
SCALE: NOT TO SCALE



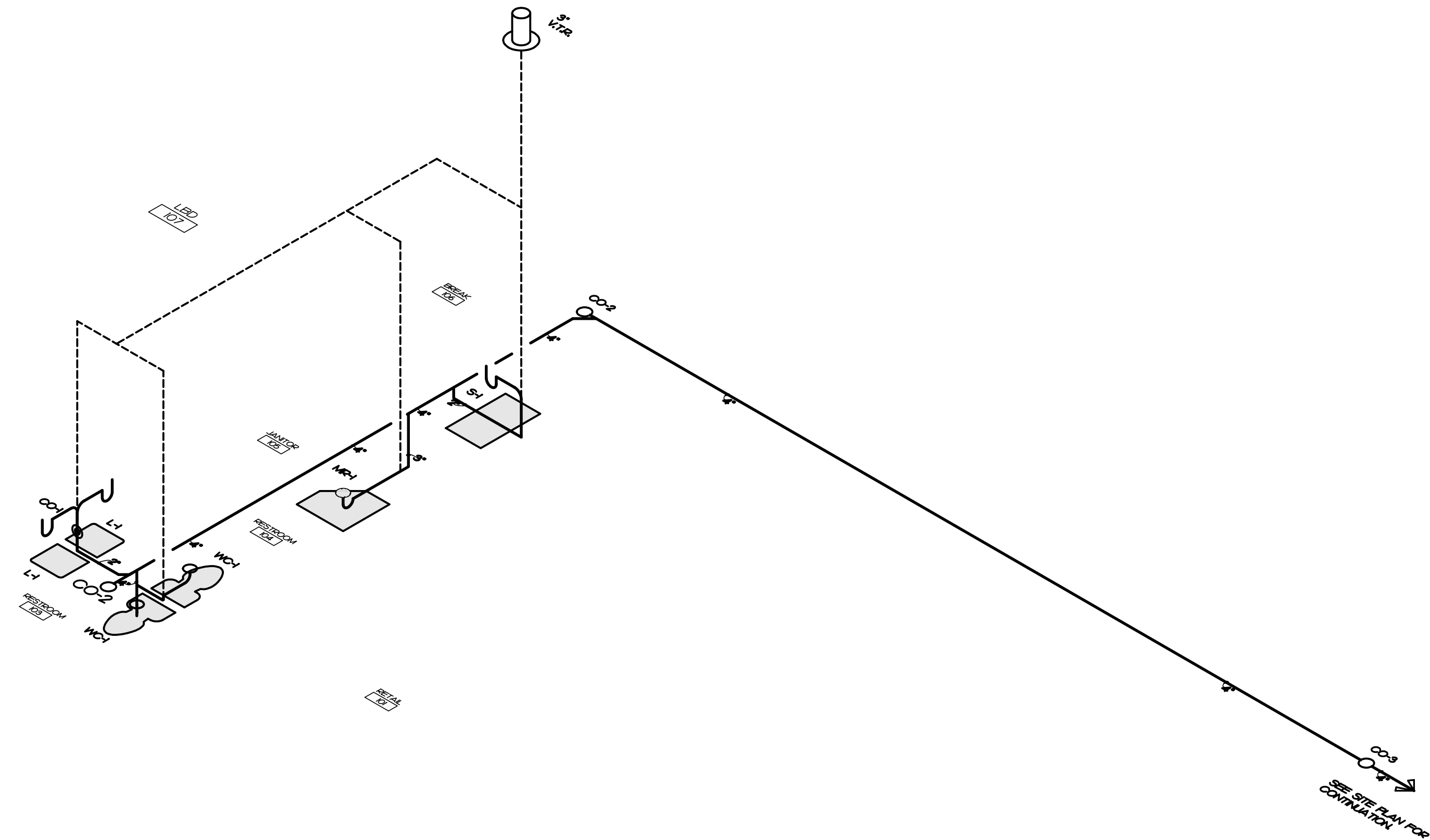
3 ICE MAKER DETAIL
SCALE: NOT TO SCALE



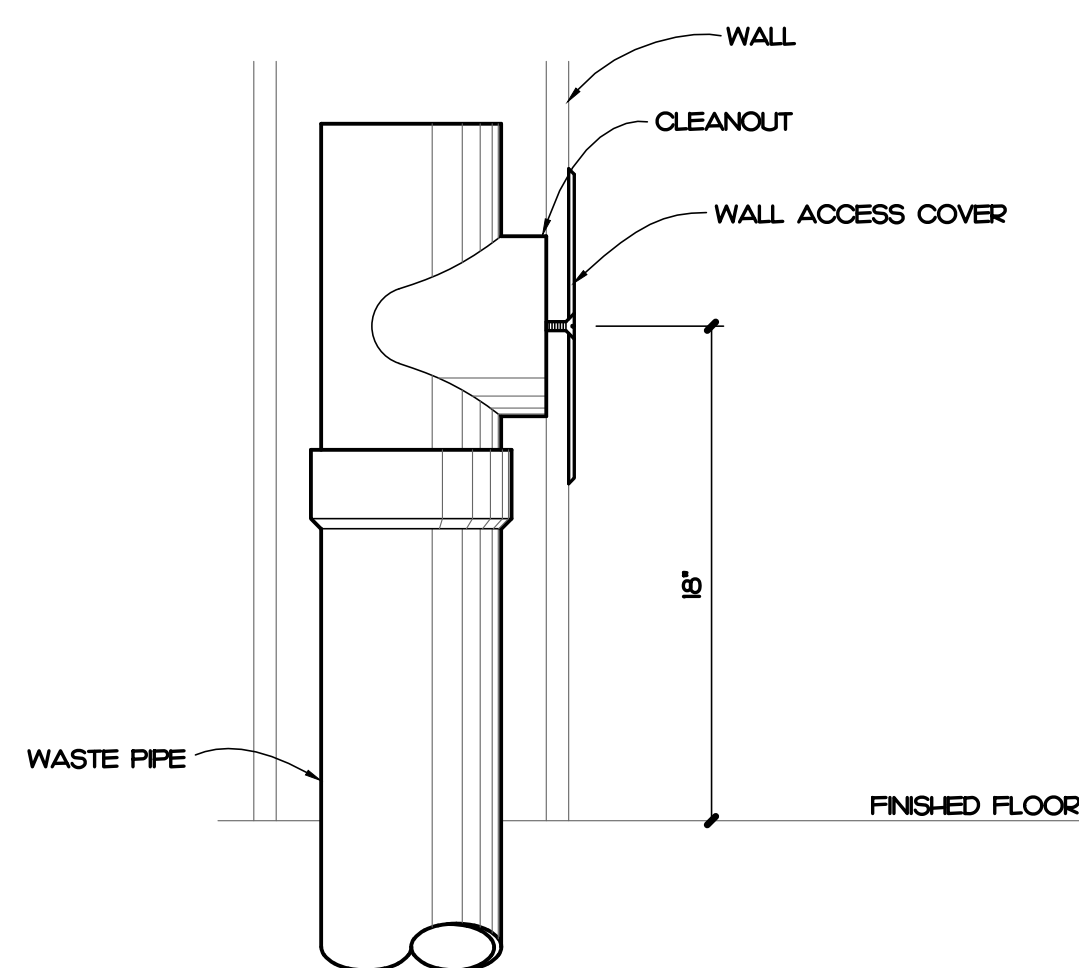
5 FLOOR CLEANOUT DETAIL
SCALE: NOT TO SCALE



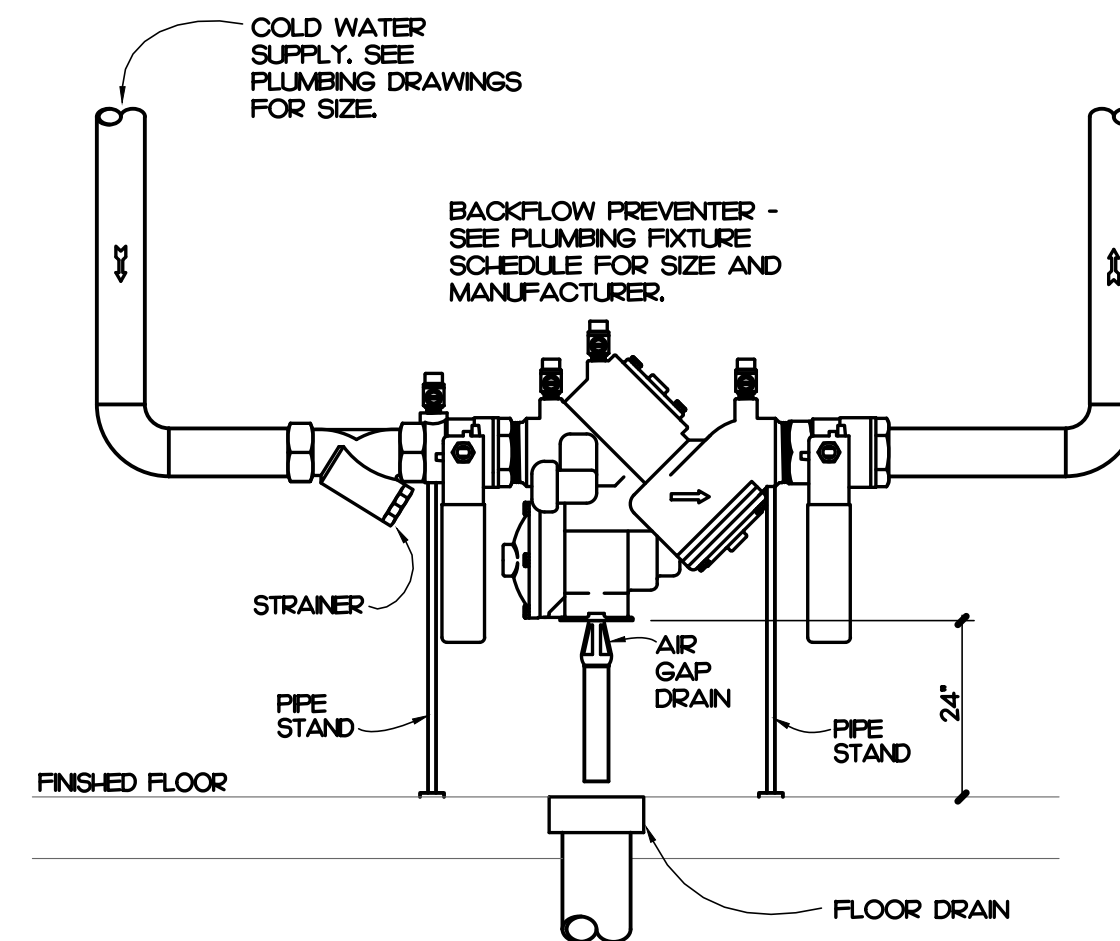
2 HOSE BIBB DETAIL
SCALE: NOT TO SCALE



6 WASTE RISER
SCALE: NOT TO SCALE



4 WALL CLEANOUT DETAIL
SCALE: NOT TO SCALE

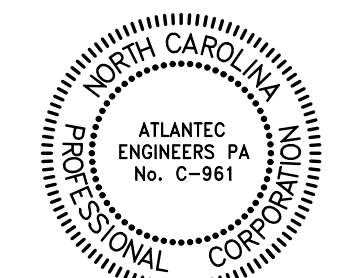


1 BACKFLOW PREVENTER DETAIL
SCALE: NOT TO SCALE

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Project: ABC Buxton
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Buxton, NC
Title: PLUMBING
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PLUMBING
DETAILS (CONT.)
AND WASTE
RISER

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

Revisions:

No.	Description	Date

Designed: JAD
Drawn: JAD
Reviewed: JBD
Cad File:

P202

MECHANICAL KEY NOTES

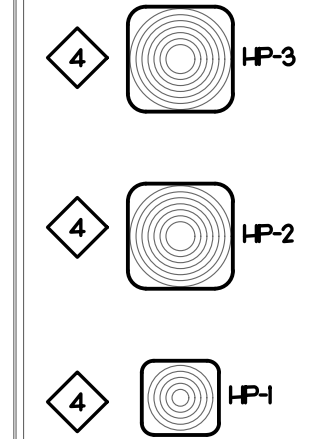
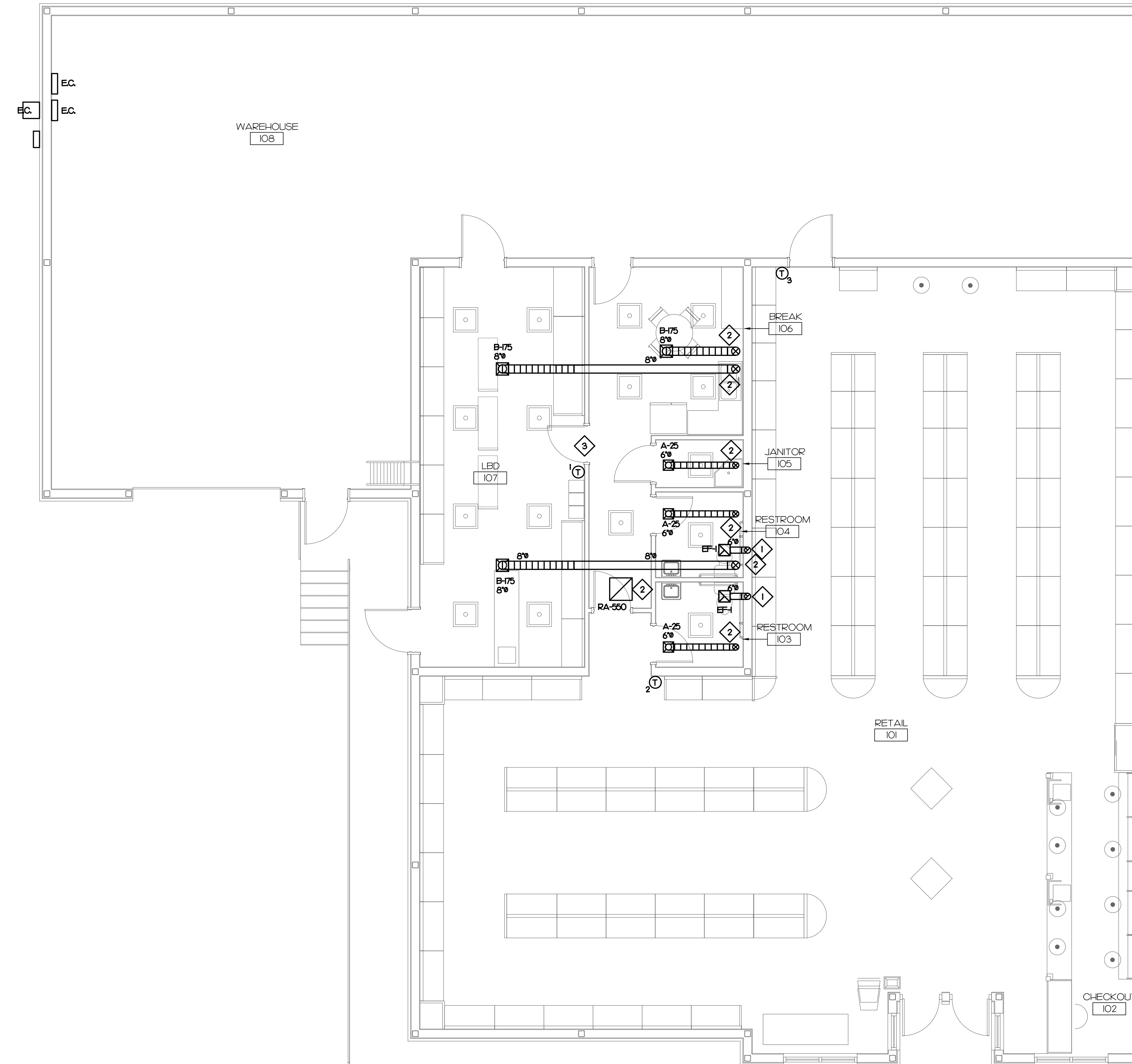
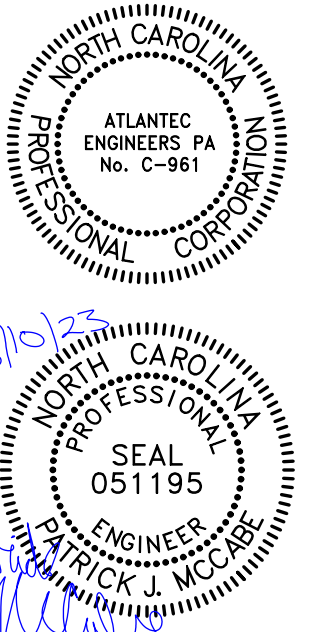
- 1 6" EXHAUST DUCT UP TO SECOND FLOOR IN WALL. SEE M102 FOR CONTINUATION.
- 2 SUPPLY DIFFUSER/RETURN GRILLE FED FROM MEZZANINE. SEE M102 FOR CONTINUATION.
- 3 UNDERCUT DOOR BY 1/2" FOR RETURN AIR PATH.
- 4 OUTDOOR UNITS LOCATED ON RAISED WOOD PLATFORM PROVIDED BY G.C.

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Project: ABC Buxton
Project No: 22041
Location: 47290 Hwy 12
Buxton, NC
Title: MECHANICAL PLAN
Date: March 10th, 2023
Scale: As indicated

MECHANICAL PLAN FIRST FLOOR

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Revisions:

No.	Description	Date

Designed: PJM
Drawn: PJM
Reviewed: PJM
Cad File:

M101

MECHANICAL KEY NOTES

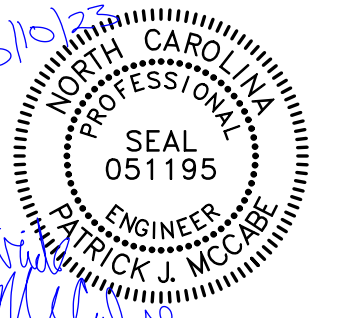
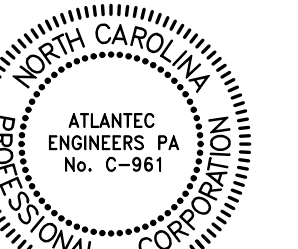
- 1 6" EXHAUST DUCT UP FROM FIRST FLOOR IN WALL, COMBINE TO ONE 8" EXHAUST DUCT OUTSIDE OF WALL AND TERMINATE WITH ROOF CAP.
- 2 DUCT DOWN TO SUPPLY DIFFUSER/RETURN GRILLE ON FIRST FLOOR. SEE MOI FOR CONTINUATION.

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MECHANICAL PLAN SECOND FLOOR

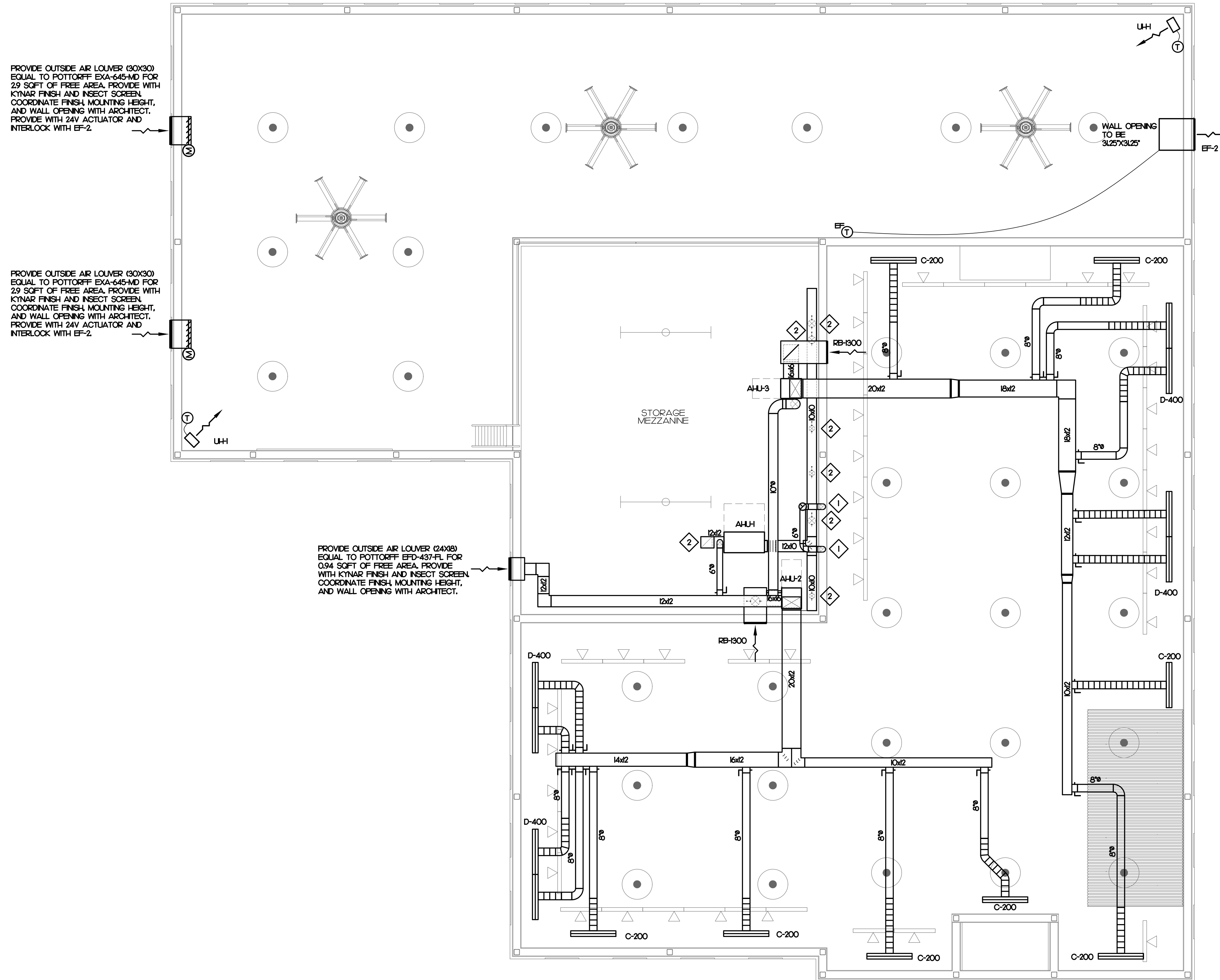
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Revisions:

No.	Description	Date

Designed: PJM
Drawn: PJM
Reviewed: PJM
Cad File:

M102



PROVIDE OUTSIDE AIR LOUVER (30X30) EQUAL TO POTTORFF EXA-645-ND FOR 29 SQFT OF FREE AREA. PROVIDE WITH KYNAR FINISH AND INSECT SCREEN. COORDINATE FINISH, MOUNTING HEIGHT, AND WALL OPENING WITH ARCHITECT. PROVIDE WITH 24V ACTUATOR AND INTERLOCK WITH EF-2.

PROVIDE OUTSIDE AIR LOUVER (30X30) EQUAL TO POTTORFF EXA-645-ND FOR 29 SQFT OF FREE AREA. PROVIDE WITH KYNAR FINISH AND INSECT SCREEN. COORDINATE FINISH, MOUNTING HEIGHT, AND WALL OPENING WITH ARCHITECT. PROVIDE WITH 24V ACTUATOR AND INTERLOCK WITH EF-2.

PROVIDE OUTSIDE AIR LOUVER (24X18) EQUAL TO POTTORFF EPD-437-FL FOR 0.94 SQFT OF FREE AREA. PROVIDE WITH KYNAR FINISH AND INSECT SCREEN. COORDINATE FINISH, MOUNTING HEIGHT, AND WALL OPENING WITH ARCHITECT.

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT METHOD OF COMPLIANCE

PRESCRIPTIVE ENERGY COST BUDGET

THERMAL ZONE 3A

EXTERIOR DESIGN CONDITIONS
 winter dry bulb: 16°F
 summer dry bulb: 93°F
 relative humidity: 46%

INTERIOR DESIGN CONDITIONS
 winter dry bulb: 70°F
 summer dry bulb: 74°F
 relative humidity: 50%

BUILDING HEATING LOAD: BLOCK LOAD = 739 MBH
BUILDING COOLING LOAD: BLOCK LOAD = 1021 MBH (85 TONS)

MECHANICAL SPACING CONDITIONING SYSTEM

Unitary:
 description of unit:
 heating efficiency:
 cooling efficiency:
 heat output of unit:
 cooling output of unit: } SEE SCHEDULES ON SHEET(S) THIS SHEET

Boiler: NA
 total boiler capacity, if oversized state reason.

Chiller: NA
 total chiller capacity, if oversized state reason.

LIST EQUIPMENT EFFICIENCIES: SEE SCHEDULES ON SHEET(S) THIS SHEET

EQUIPMENT SCHEDULES WITH MOTORS (MECHANICAL SYSTEMS)

motor horsepower:
 number of phases:
 minimum efficiency:
 motor type:
 # of poles: } SEE SCHEDULES ON SHEET(S) THIS SHEET

DESIGNER STATEMENT

To the best of my knowledge and belief, the design of this building complies with the mechanical systems, service systems and equipment requirements of the North Carolina State Energy Code.

SIGNED: Patrick J. McCabe

NAME: Patrick J. McCabe, PE

TITLE: Professional Engineer

SPLIT-SYSTEM HEAT PUMP SCHEDULE

MARK	BASIS OF DESIGN	INSIDE UNIT					MARK	BASIS OF DESIGN	OUTSIDE UNIT					NOTES					
		CFM	FAN	SUPP. HEAT	ELECTRICAL POWER	PLA. MOOP			TOTAL	SENSIBLE	HEATING CAPACITY	ELECTRICAL POWER	PLA. MOOP		COOLING	HEATING			
AH-U-1	TRANE GAMBEOA18	600	0.5	1/3	4.8 kW	230/1	22.8	30	HP-1	TRANE 4TWR3048	18.5 MBH	13.4 MBH	10.6 MBH	230/1	9.6	20	15.0 SEER	8.5 HSPFF	I-9
AH-U-2	TRANE GAMBEOC48	1600	0.5	3/4	14.4 kW	230/1	60.0	90	HP-2	TRANE 4TWR3048	48.2 MBH	35.4 MBH	29.2 MBH	230/1	19.4	40	15.0 SEER	8.5 HSPFF	I-9
AH-U-3	TRANE GAMBEOC48	1600	0.5	3/4	14.4 kW	230/1	60.0	90	HP-3	TRANE 4TWR3048	48.2 MBH	35.4 MBH	29.2 MBH	230/1	19.4	40	15.0 SEER	8.5 HSPFF	I-9

- NOTES:
- PROVIDE WITH FUSIBLE DISCONNECT ON INDOOR AND OUTDOOR UNITS.
 - PROVIDE WITH SINGLE POINT ELECTRICAL CONNECTION.
 - PROVIDE WITH PROGRAMMABLE THERMOSTAT WITH 10 HR BATTERY BACKUP AND 2 HOUR OVERRIDE.
 - SEE OUTSIDE AIR SUMMARY FOR OUTSIDE AIR INTAKE FLOW SETTINGS.
 - PROVIDE WITH CONDENSATE PUMP AND ROUTE CONDENSATE TO EXTERIOR SPLASH BLOCK.
 - PROVIDE WITH LOW AMBIENT CONTROLS FOR OPERATION DOWN TO 0 DEGREES FAHRENHEIT.
 - PROVIDE WITH 2" PLEATED FILTER RACK AND FILTER AT UNIT.
 - PROVIDE SIMPLE ENGINEERED SOLUTIONS DEHUMIDIFICATION CONTROL MODULE WITH WALL MOUNTED HUMIDISTAT.
 - PROVIDE WITH SALT SPRAY COATING ON OUTDOOR UNIT AND INDOOR COIL.

ELECTRIC UNIT HEATER SCHEDULE

MARK	BASIS OF DESIGN	LOCATION	CFM	CAPACITY (Btu/h)	ELECTRICAL			NOTES
					(A)	(W)	POWER	
UH-1	MARK MLH05-B1	WAREHOUSE	350	17,000	210	5.0	240/1	I-3

- NOTES:
- PROVIDE WITH POWER DISCONNECT.
 - PROVIDE WITH INTEGRAL THERMOSTAT.
 - PROVIDE WITH HANGING KIT

EXHAUST FAN SCHEDULE

MARK	BASIS OF DESIGN	SERVICE	TYPE	CFM	RPM	HP/AMPS	SP.	POWER	NOTES
EF-1	COOK GC-140	TOILET	CABINET FAN	105	1500	67 Watts	0.25'	120/1	I-3
EF-2	COOK 24-XMP	WAREHOUSE	SIDEWALL FAN	4600	1725	3/4 HP	0.25'	120/1	I-2,4

- NOTES:
- PROVIDE WITH DISCONNECT SWITCH.
 - PROVIDE WITH BACKDRAFT DAMPER.
 - CONTROL VIA LIGHT SWITCH BY E.C.
 - PROVIDE WITH WALL MOUNTED THERMOSTAT.

GRILLE & DIFFUSER SCHEDULE

MARK	BASIS OF DESIGN	SERVICE	TYPE	MAX. CFM	FACE SIZE	NECK SIZE	NOTES
A	PRICE SMD	SUPPLY	SURFACE MOUNT	100	8x8	6"	I-2,4,5
B	PRICE SMD	SUPPLY	SURFACE MOUNT	200	10x10	8"	I-2,4,5
C	PRICE LEFH 16B	SUPPLY	LINEAR BAR GRILLE	200	48x2	8"	I-5
D	PRICE LEFH 16B	SUPPLY	LINEAR BAR GRILLE	400	96x2	(2)8"	I-5
RA	PRICE S30	RETURN	SURFACE MOUNT	550	16x14	14x12	I-4
RB	PRICE S30	RETURN	SIDEWALL GRILLE	1300	26x22	24x20	I-4

- NOTES:
- COORDINATE FINISH WITH ARCHITECT.
 - GRILLE TO HAVE FULLY LOWERED FACE.
 - PROVIDE WITH INSULATED SHEET METAL PLENUM.
 - FRAME FOR SURFACE MOUNTING.
 - PROVIDE WITH OPPOSED BLADE DAMPER.

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE CODE, ALL LOCAL AND OTHER APPLICABLE CODES.
- ANY PERMITS AND INSPECTION FEES SHALL BE SECURED AND PAID FOR BY THE MECHANICAL CONTRACTOR (M.C.).
- ALL WORK SHALL BE PERFORMED BY EXPERIENCED AND SKILLED CRAFTSMAN. THE M.C. SHALL COORDINATE ALL OF HIS WORK WITH ALL OTHER CONTRACTORS.
- THE MECHANICAL PLANS AND SPECIFICATIONS SHALL BE THOROUGHLY REVIEWED PRIOR TO PURCHASING MATERIALS AND INSTALLATION. ALL DISCREPANCIES OR INTERFERENCES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
- THESE PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW MINOR DETAILS AND LOCATIONS. FOR DIMENSIONS, REFER TO THE ARCHITECTURAL PLANS.
- THE M.C. SHALL BE RESPONSIBLE FOR ALL ELECTRICAL STARTERS, INTERLOCKS, CONTROL WIRING. THE ELECTRICAL CONTRACTOR SHALL PROVIDE POWER WIRING, CONDUIT FROM THE DISCONNECT TO M.C. EQUIPMENT. THE M.C. SHALL BE RESPONSIBLE FOR ALL FINAL CONNECTION TO HIS EQUIPMENT.
- INSTALL FLEXIBLE CONNECTORS ON SUPPLY AND RETURN DUCTWORK AT ALL AIR HANDLING UNITS.
- INSTALL TURNING VANES IN SUPPLY DUCTS AT ELBOWS. PROVIDE BALANCING AND SPLITTER DAMPERS WHERE SHOWN AND AS REQUIRED FOR SYSTEM BALANCING.
- ALL THERMOSTATS, WIRING AND CONDUIT ARE TO BE FURNISHED BY THE M.C. MOUNT THERMOSTATS 4'-0" ABOVE THE FLOOR, UNLESS OTHERWISE NOTED.
- THE M.C. SHALL INSURE THAT ALL MECHANICAL EQUIPMENT INSTALLED UNDER HIS CONTRACT SHALL OPERATE FREE OF OBJECTIONABLE NOISE AND VIBRATION.
- THE M.C. SHALL KEEP THE PREMISES CLEAR OF DEBRIS FROM HIS WORK DURING CONSTRUCTION AND LEAVE THE AREA AND BUILDING CLEAN AT THE COMPLETION OF HIS WORK. HE SHALL ALSO LEAVE CLEAN ALL EXPOSED EQUIPMENT IN HIS CONTRACT.
- FLEXIBLE DUCT RUNOUTS SHALL BE A MAXIMUM OF 10'-0".
- ALL FLEXIBLE DUCT RUNOUTS SHALL INCLUDE INSULATED DAMPERED BOOTS AT THE POINT OF CONNECTION WITH RECTANGULAR DUCT. PROVIDE ALL FLEXIBLE DUCTWORK WITH FOIL-BACKED, EXTERNALLY WRAPPED INSULATION FOR A MINIMUM OF R-8.
- ALL DUCTWORK SIZES SHOWN ARE ACTUAL SHEET METAL DIMENSIONS. EXTERNALLY WRAP ALL DUCT WITH 3" FOIL-BACKED INSULATION FOR A MINIMUM OF R-8, UNLESS NOTED OTHERWISE.
- MECHANICAL CONTRACTOR SHALL WORK WITH TEST AND BALANCE CONTRACTOR TO REMEDY ANY DIFFERENCES TO INCLUDE FAN DRIVE CHANGES, INSTALLATION OF DAMPERS OR OTHER MINOR DUCT MODIFICATIONS TO PROVIDE AIRFLOW TO WITHIN +/- 10% OF THE DESIGN VALUES LISTED ON THESE PLANS.
- THE AIR HANDLING UNIT SHALL OPERATE AT ALL TIMES DURING OCCUPIED HOURS.
- THE MECHANICAL CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A SET OF AS-BUILT DRAWINGS UPON COMPLETION OF JOB.
- THE MECHANICAL CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A SET OF DUCT SHOP DRAWINGS FOR APPROVAL.
- THE MECHANICAL CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A BALANCE REPORT BY A CERTIFIED TEST AND BALANCE COMPANY.
- PROVIDE PERMIT LABEL ENGRAVED PLASTIC LAMINATE MECHANICALLY FASTENED TO OUTDOOR UNITS.
- LABEL CEILING GRID WHERE EQUIPMENT IS LOCATED ABOVE LAY-IN CEILING, WITH EQUIPMENT IDENTIFIER. ALSO LABEL ALL TEMPERATURE SENSORS AND THERMOSTATS WITH EQUIPMENT IDENTIFIER.

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SHEET METAL DUCT
	FLEXIBLE DUCT
	SUPPLY DIFFUSER - LETTER & NUMBER INDICATES TYPE & CFM
	RETURN GRILLE - LETTER & NUMBER INDICATES TYPE & CFM
	SIDEWALL SUPPLY GRILLE - LETTER & NUMBER INDICATES TYPE & CFM
	SIDEWALL RETURN GRILLE - LETTER & NUMBER INDICATES TYPE & CFM
	EXHAUST FAN
	THERMOSTAT - MOUNTED 48" ABOVE FINISHED FLOOR
	BALANCING DAMPER
	ELBOW WITH TURNING VANES
	CONDENSATE DRAIN
	MOTOR OPERATED DAMPER

OUTSIDE AIR SUMMARY

REQUIRED:

RETAIL = 2774 SQFT * 0.12 CFM/SQFT * 41 PERSONS = 75 CFM/PERSON = 640 CFM
 LBD = 436 SQFT * 0.12 CFM/SQFT * 2 PERSONS = 75 CFM/PERSON = 67 CFM
 BREAK = 374 SQFT * 0.06 CFM/SQFT * 3 PERSONS = 5 CFM/PERSON = 38 CFM

TOTAL REQUIRED = 745 CFM

PROVIDED:

AH-U-1 = 100 CFM
 AH-U-2 = 325 CFM
 AH-U-3 = 325 CFM

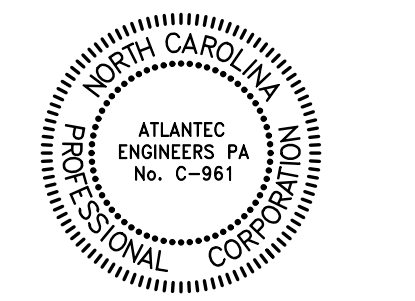
TOTAL PROVIDED = 750 CFM

cahoon + kasten
ARCHITECTS

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ATLANTEC
ENGINEERS, PA

3221 BLUE RIDGE ROAD, SUITE 113
RALEIGH, NC 27612
(919) 571-1111 22223



Project: ABC Buxton
 Project No: 22041
 Location: 47290 Hwy 12
 Buxton, NC
 Title: MECHANICAL PLAN
 Date: March 10th, 2023
 Scale: As indicated

MECHANICAL NOTES, LEGEND, AND SCHEDULES

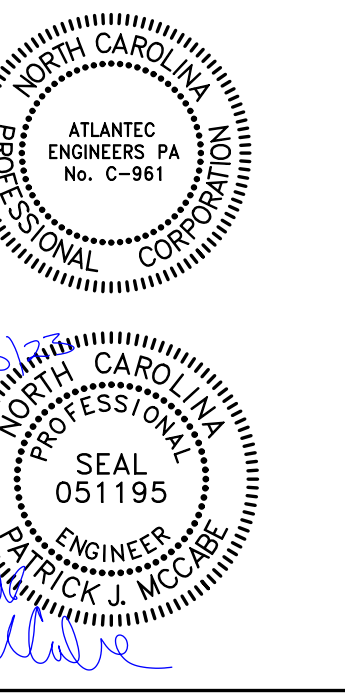
The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

Revisions:

No.	Description	Date

Designed: PJM
 Drawn: PJM
 Reviewed: PJM
 Cad File:

M201



Project: ABC Buxton
Project No: 22041
Location: 47290 Hwy 12
Buxton, NC
Title: MECHANICAL PLAN
Date: March 10th, 2023
Scale: As indicated

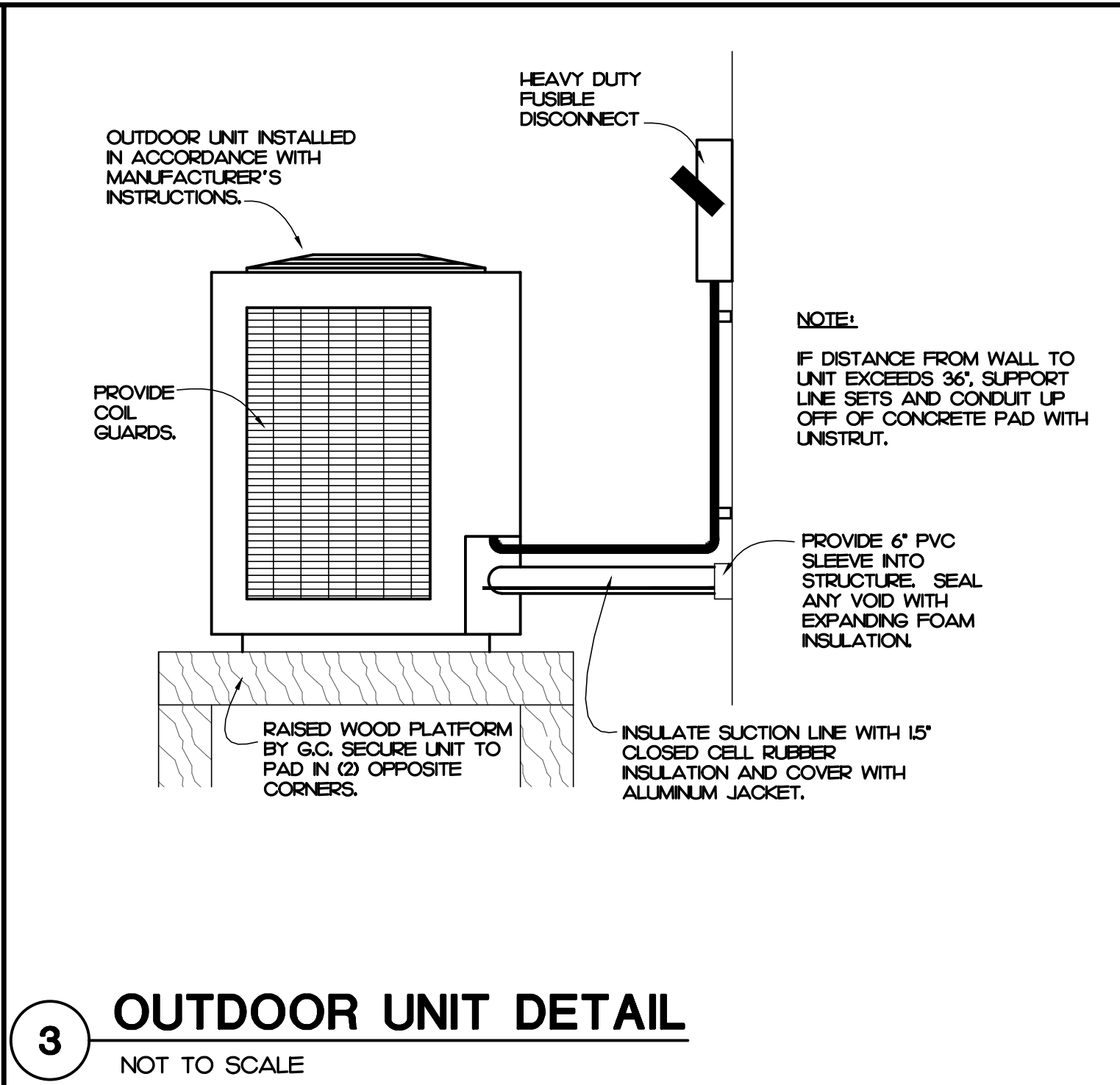
MECHANICAL
DETAILS

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a loss of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

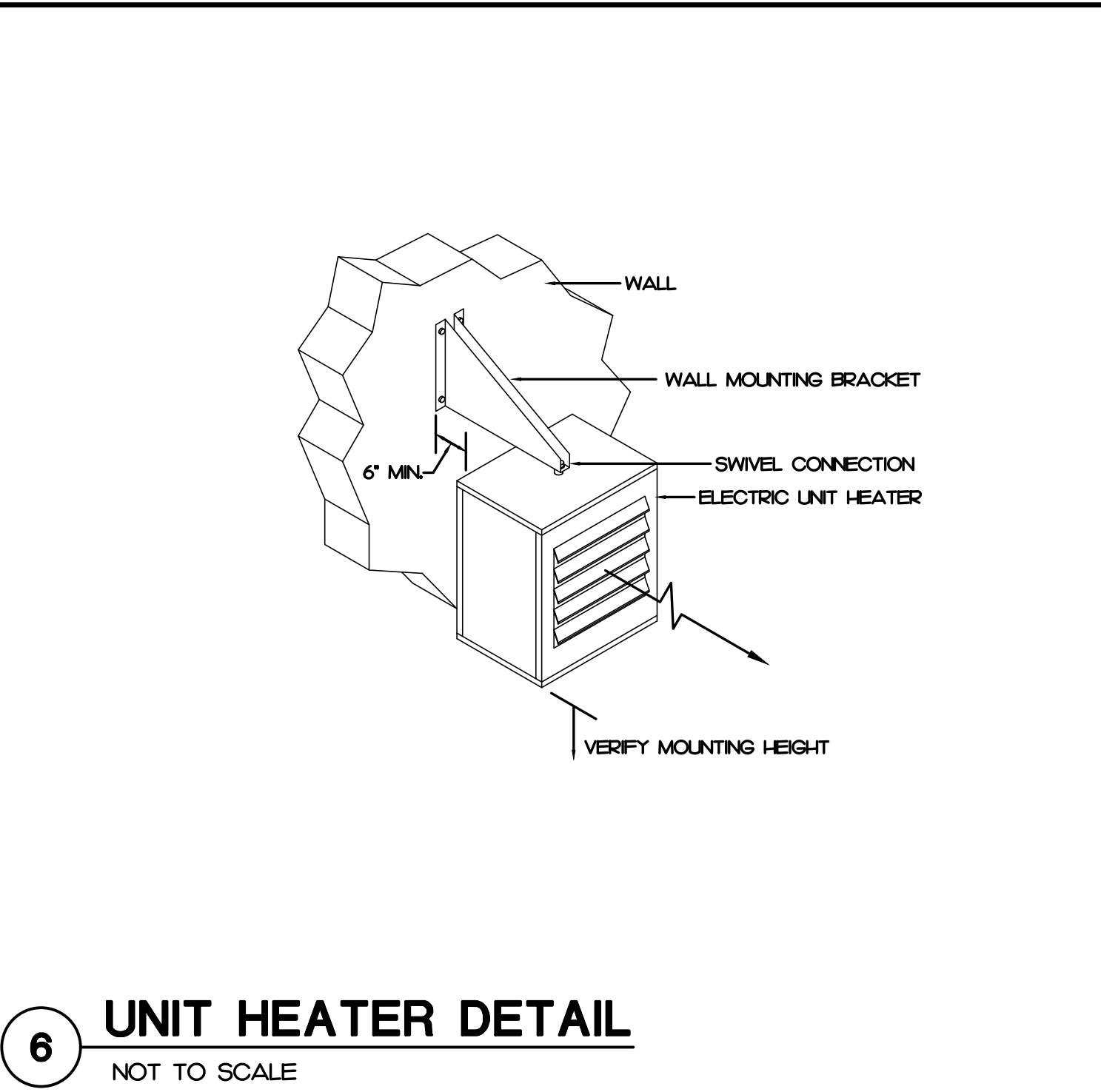
Revisions:

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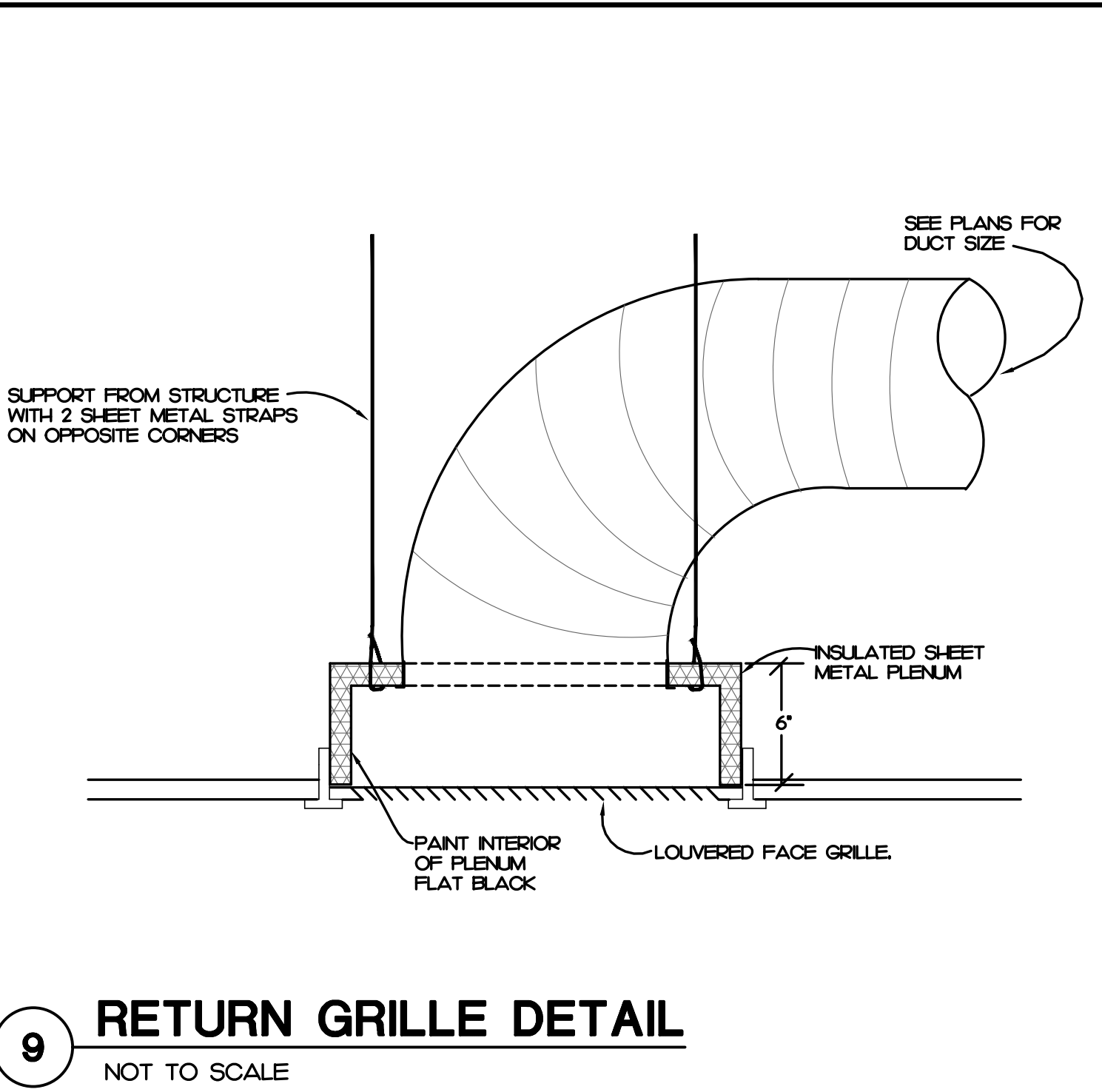
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Drawn: PJM
Reviewed: PJM
Cad File:



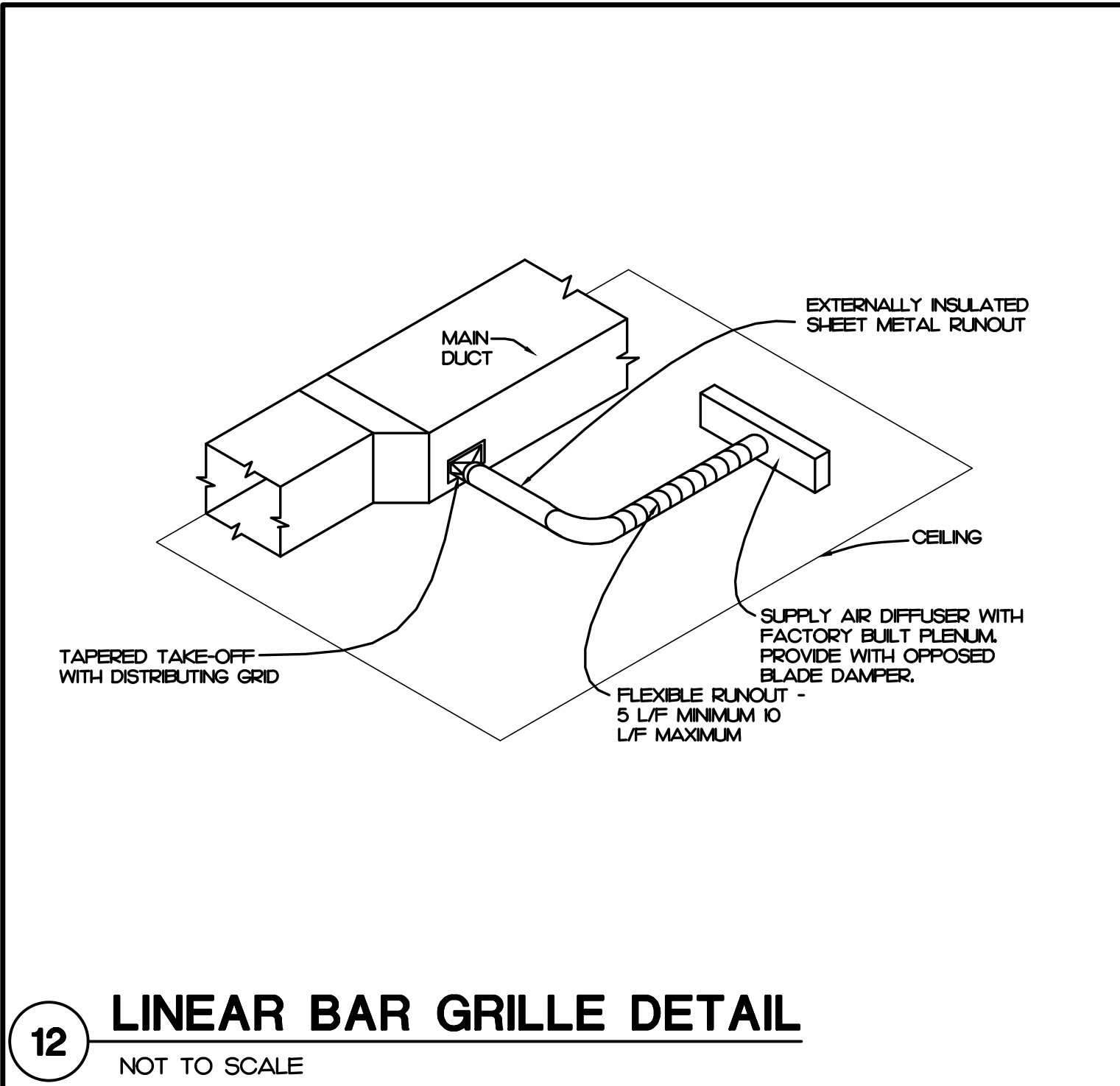
3 OUTDOOR UNIT DETAIL
NOT TO SCALE



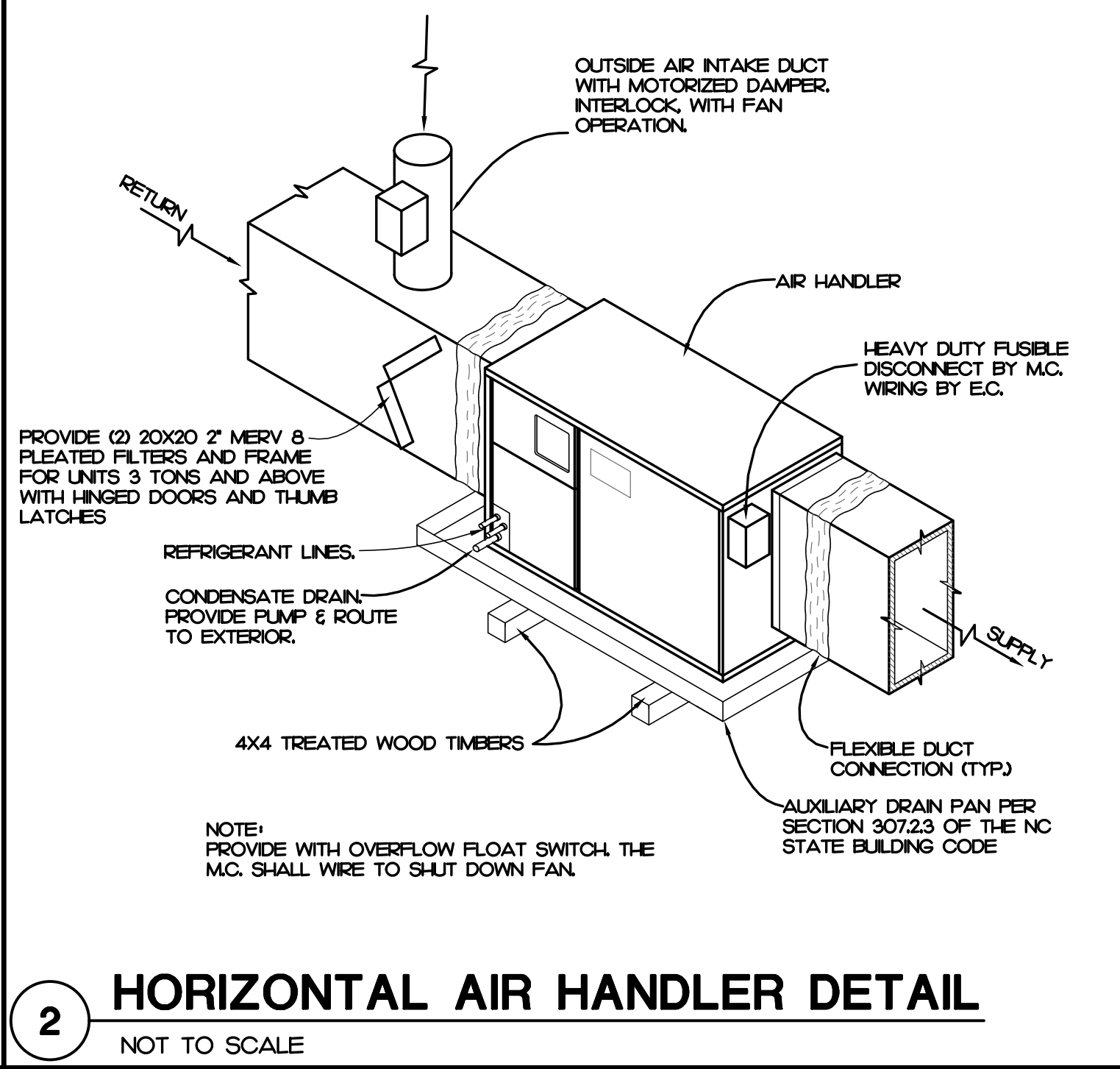
6 UNIT HEATER DETAIL
NOT TO SCALE



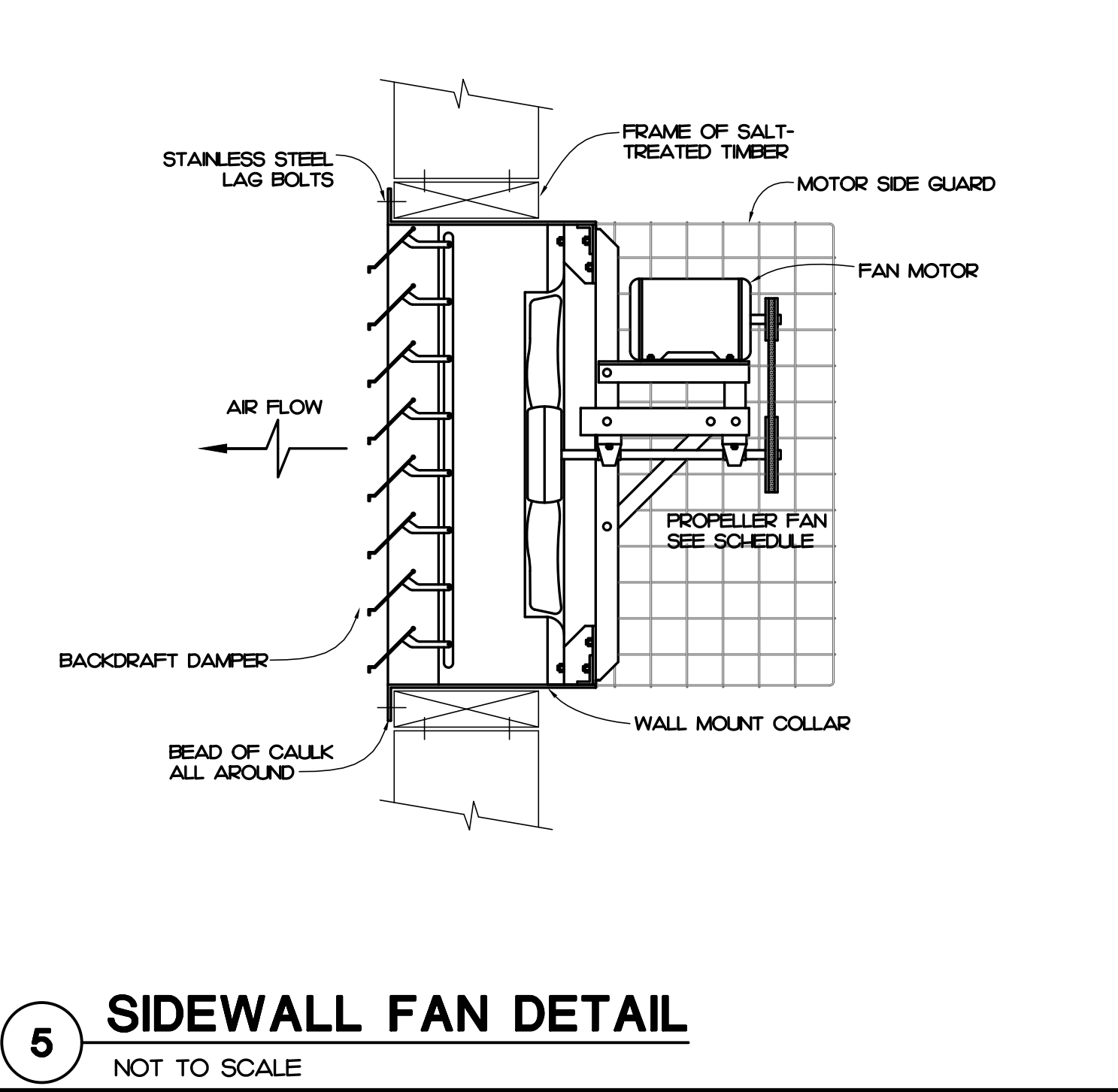
9 RETURN GRILLE DETAIL
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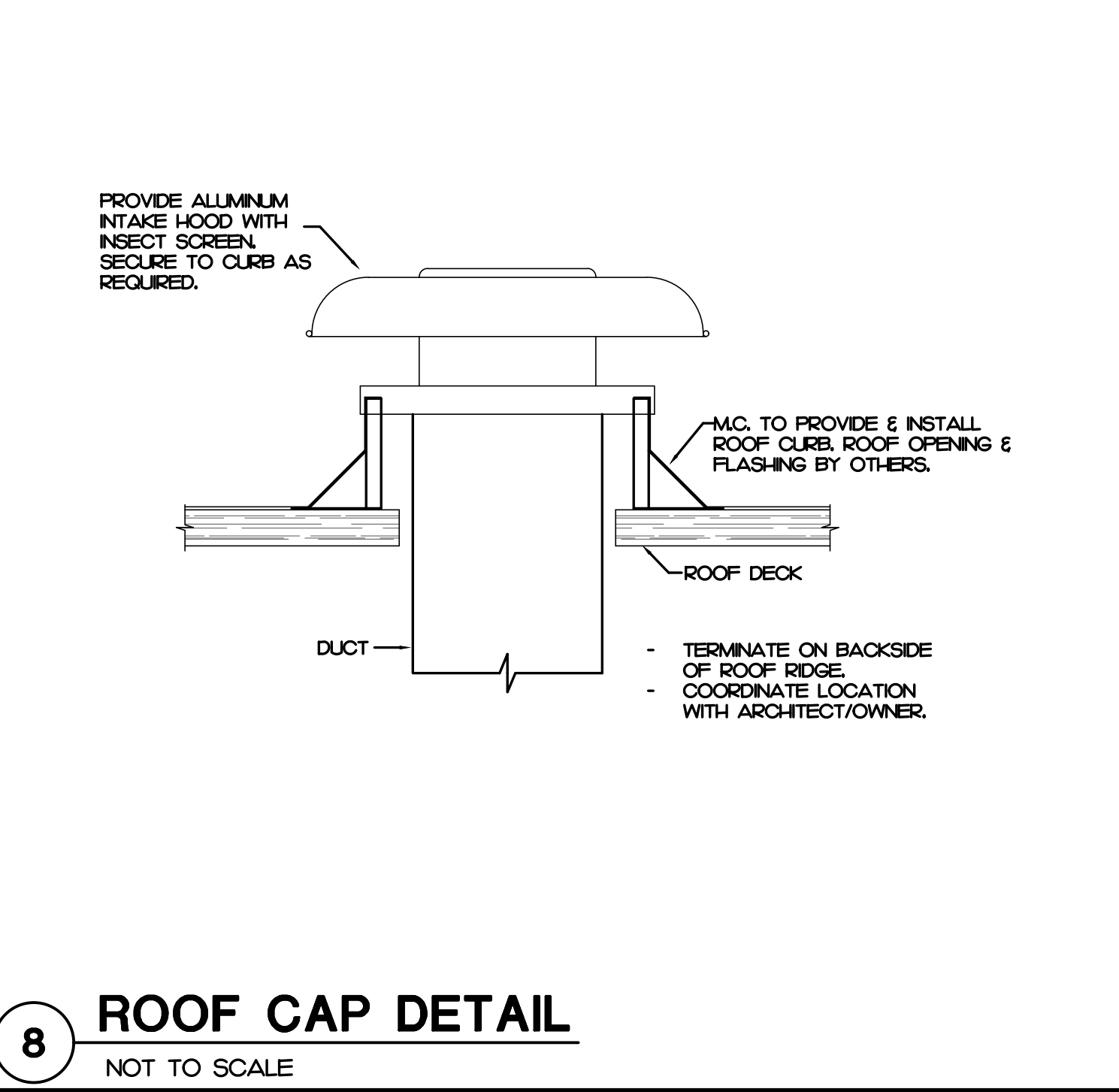
12 LINEAR BAR GRILLE DETAIL
NOT TO SCALE



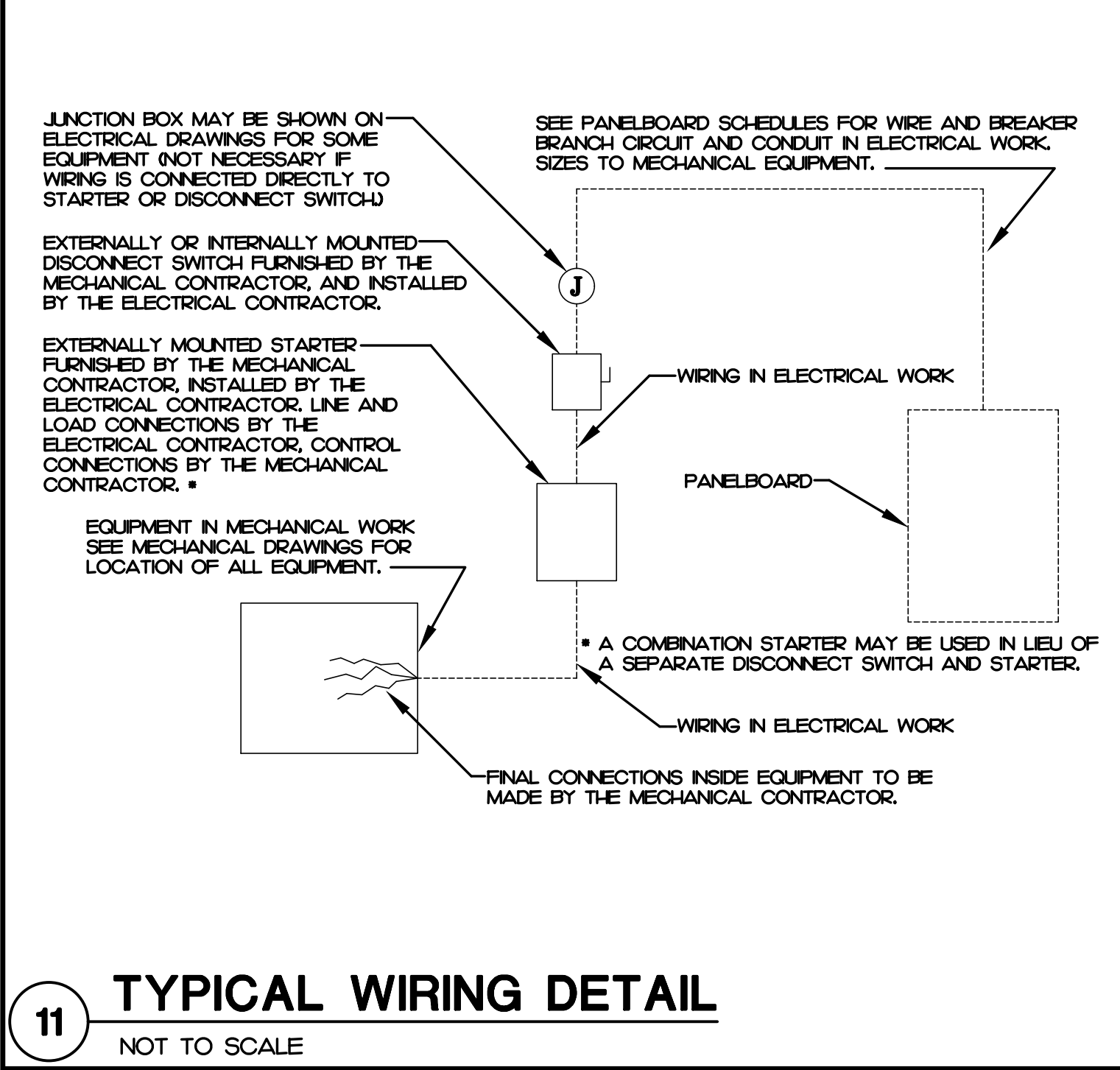
2 HORIZONTAL AIR HANDLER DETAIL
NOT TO SCALE



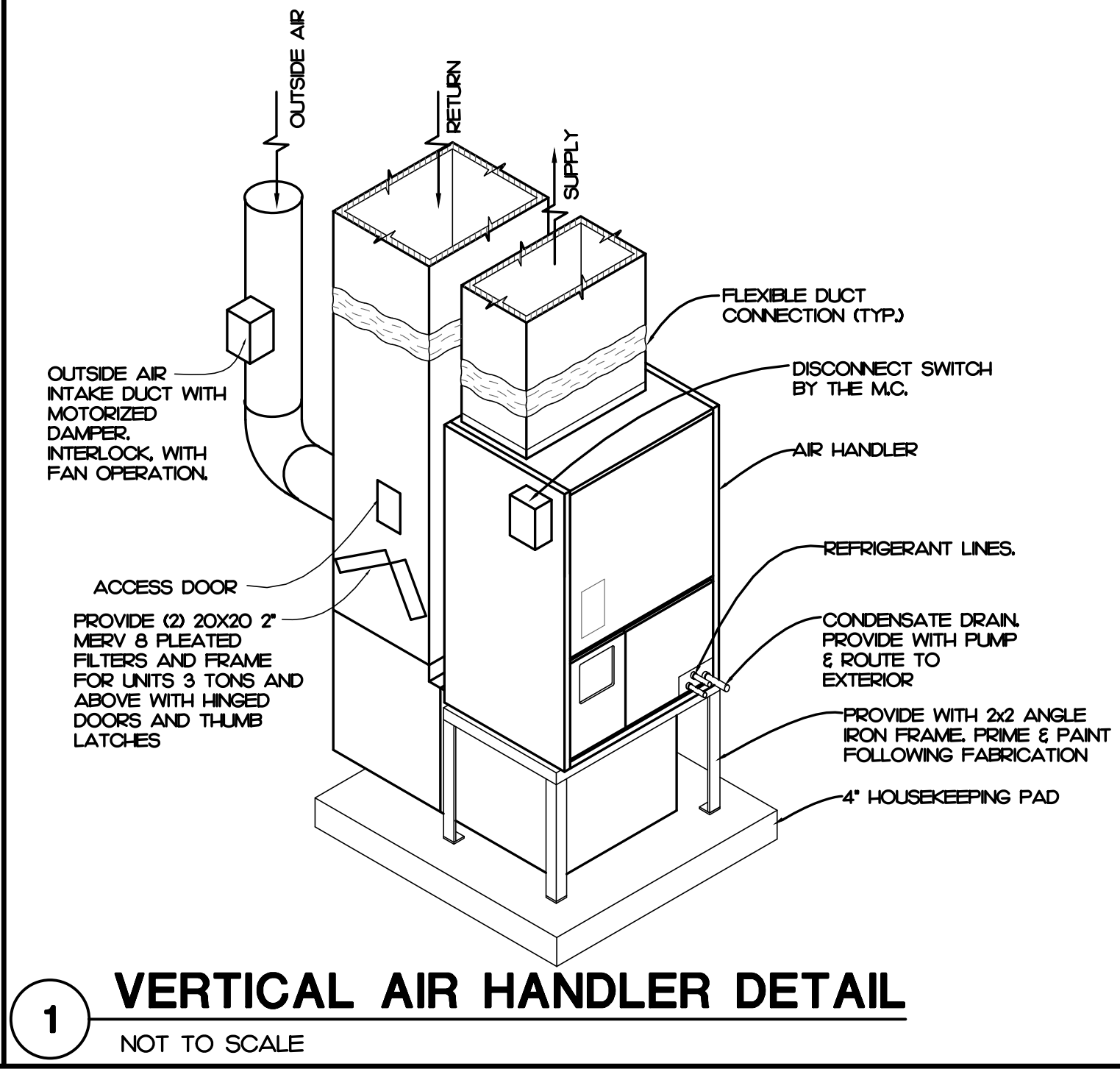
5 SIDEWALL FAN DETAIL
NOT TO SCALE



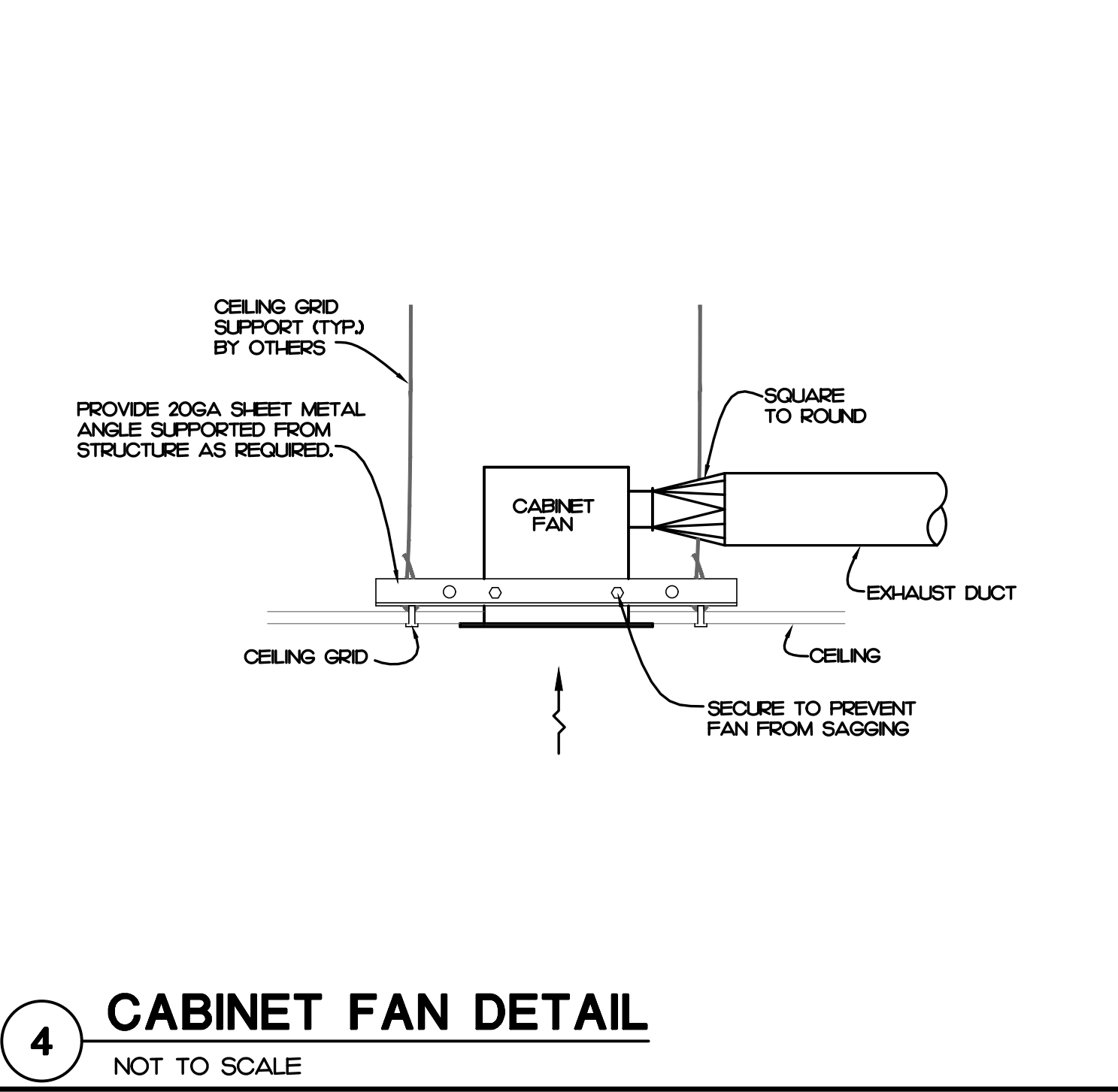
8 ROOF CAP DETAIL
NOT TO SCALE



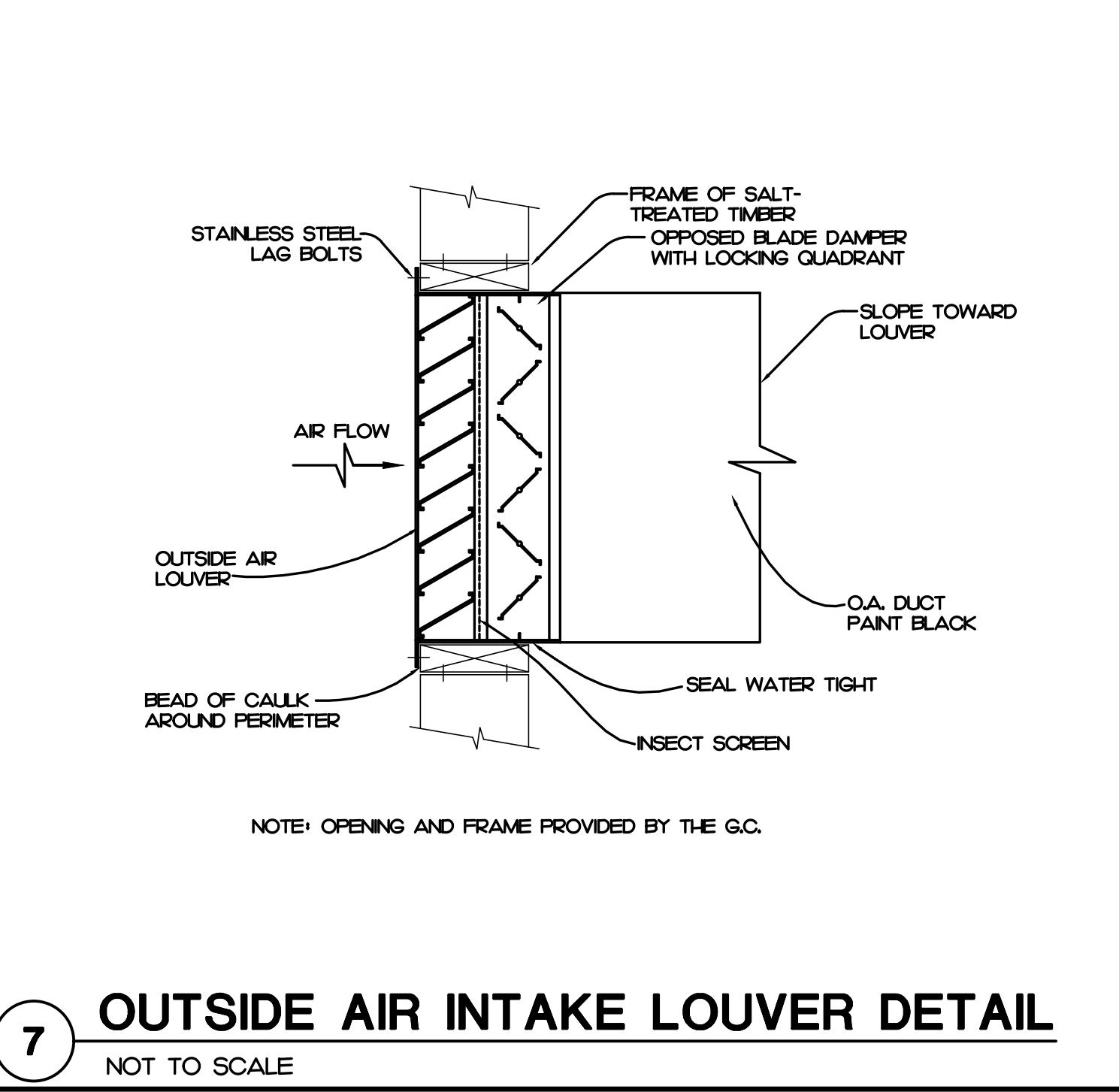
11 TYPICAL WIRING DETAIL
NOT TO SCALE



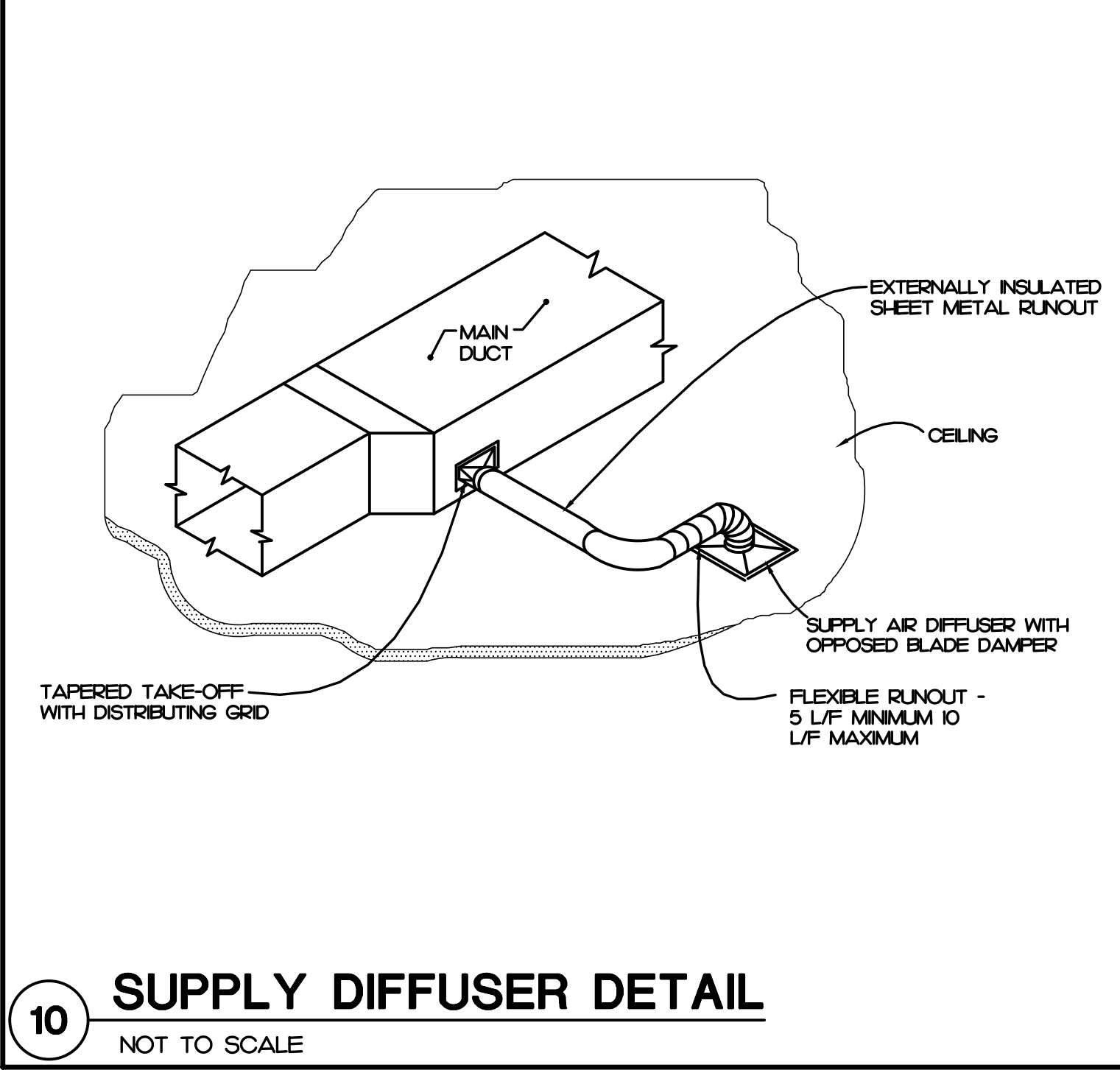
1 VERTICAL AIR HANDLER DETAIL
NOT TO SCALE



4 CABINET FAN DETAIL
NOT TO SCALE



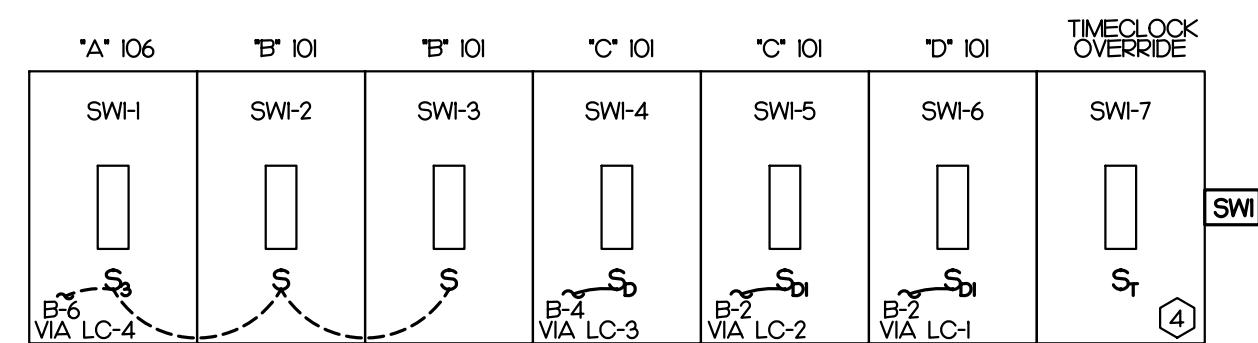
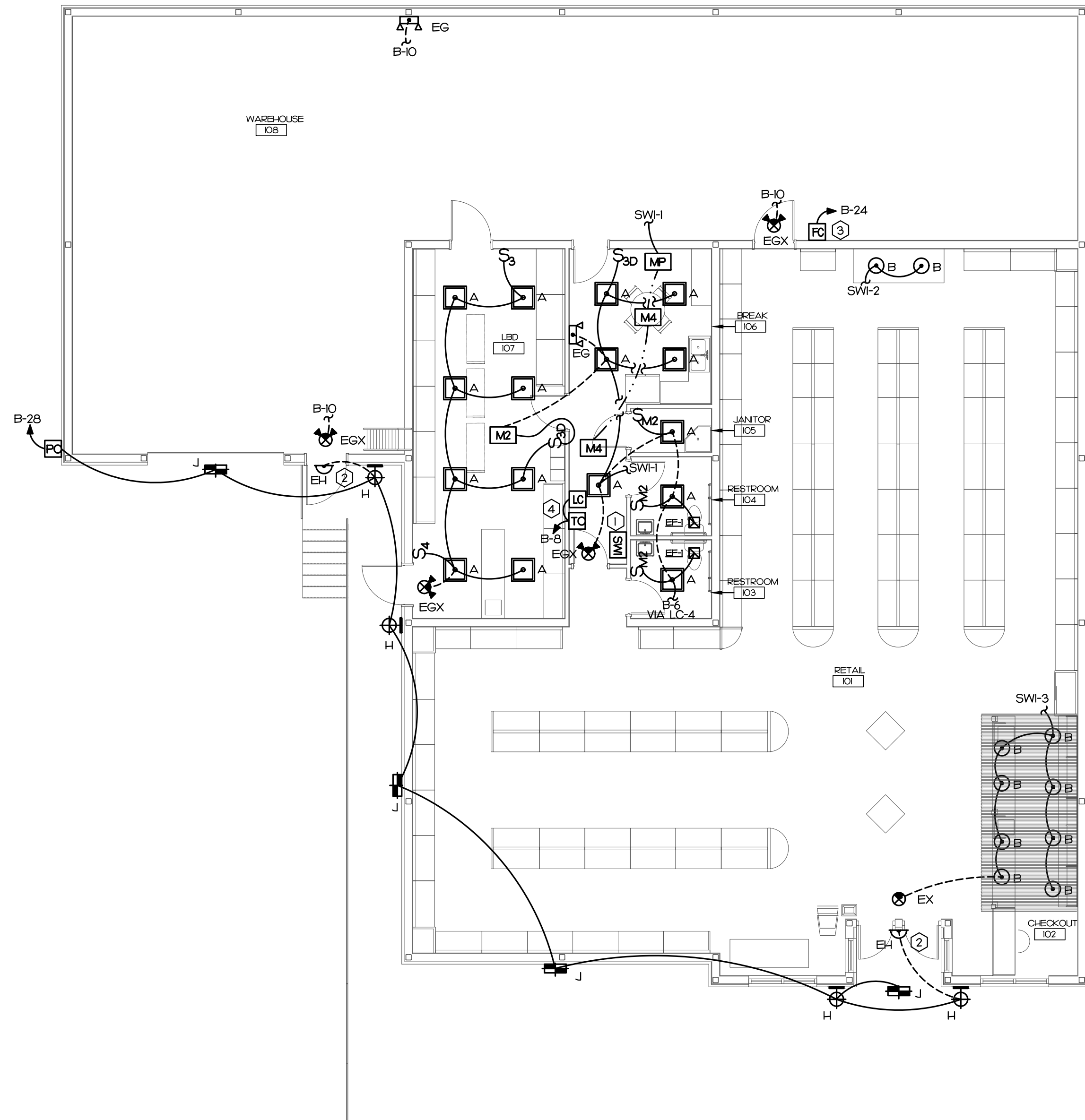
7 OUTSIDE AIR INTAKE LOUVER DETAIL
NOT TO SCALE



10 SUPPLY DIFFUSER DETAIL
NOT TO SCALE

KEY NOTES

- ① SEE 2/E101 FOR DETAILS
- ② FIXTURE TO BE USED AS EXTERIOR EMERGENCY LIGHT. CONNECT BATTERY BACKUP AHEAD OF PHOTOCELL CONTROL
- ③ FAN CONTROL PANEL. FIELD COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. SEE 2/E201 FOR DETAILS.
- ④ SEE 3/E201 FOR DETAILS

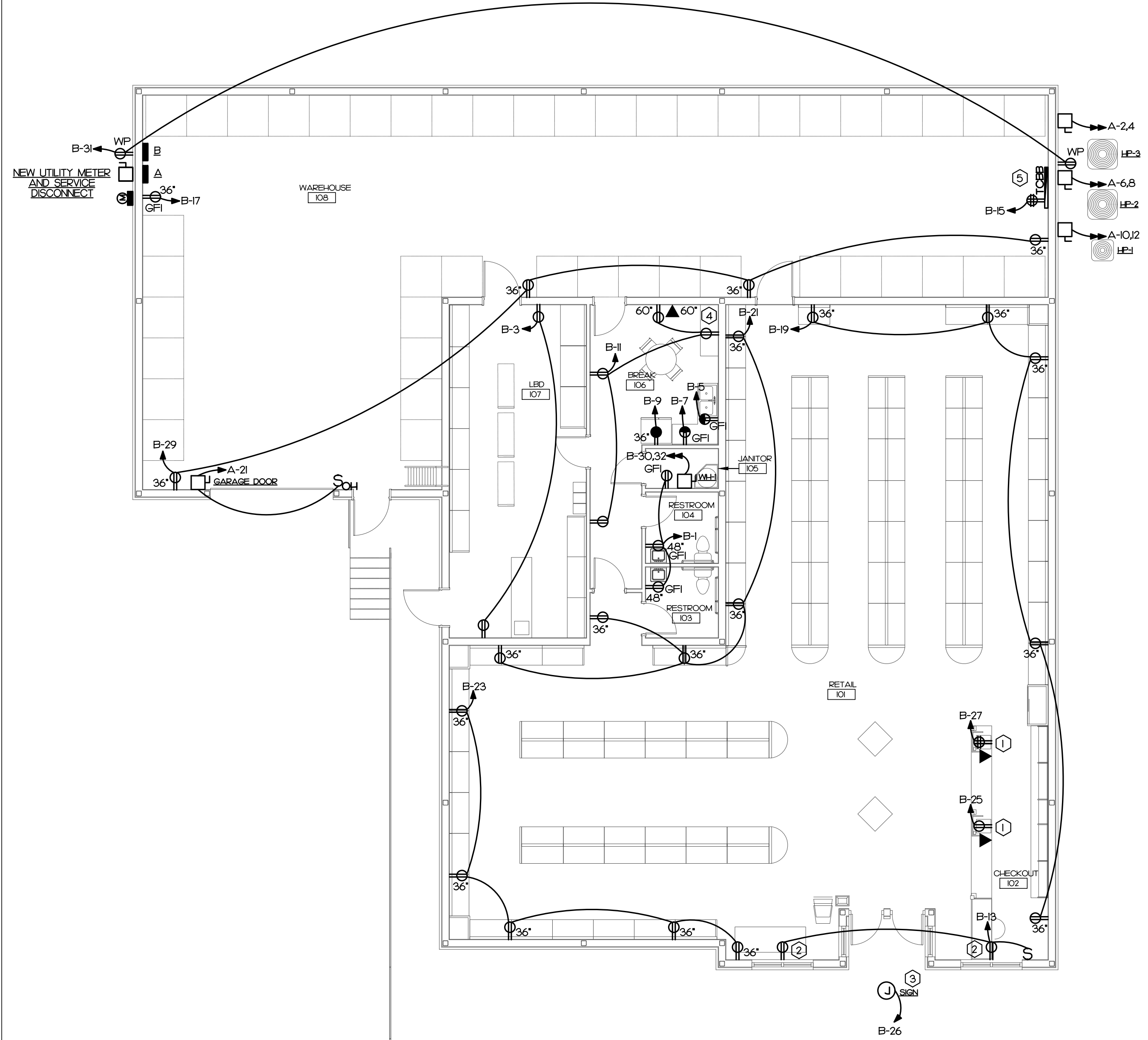


1 LIGHTING PLAN FIRST FLOOR
SCALE: 1/8" = 1'-0"

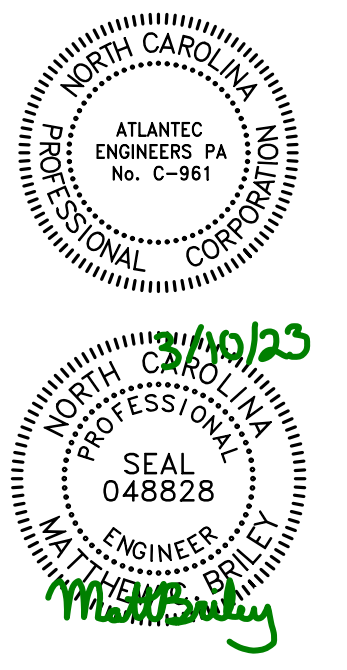
2 SWITCHGANG DETAIL
NOT TO SCALE

KEY NOTES

- ① RECEPTACLE AND DATA OUTLET AT CASEWORK. COORDINATE LOCATION AND MOUNTING HEIGHT WITH ARCHITECT PRIOR TO ROUGH-IN
- ② INSTALL RECEPTACLE WITHIN 18" OF TOP OF SHOW WINDOWS PER NEC 210.62
- ③ FIELD COORDINATE EXACT LOCATION OF SIGN CIRCUIT PRIOR TO ROUGH-IN.
- ④ FIELD COORDINATE RECEPTACLE INSTALLATION WITH ARCHITECT PRIOR TO ROUGH-IN
- ⑤ COMMUNICATION BOARD:
 - STUB 2-2 EMPTY CONDUITS TO PROPERTY LINE PER TELEPHONE COMPANY. PROVIDE WITH PULLWIRE.
 - PROVIDE GROUND BAR AND 1-HSG CU IN 1/2" TO PANEL.
 - MOUNT RECEPTACLE ON BOARD TO ACCOMMODATE EQUIPMENT



3 POWER PLAN FIRST FLOOR
SCALE: 1/8" = 1'-0"



Project: ABC Buxton
Project No: 22041
Location: 47290 Hwy 12 Buxton, NC
Title: Electrical Plan
Date: March 10th, 2023
Scale: As indicated

**ELECTRICAL PLAN
FIRST FLOOR**

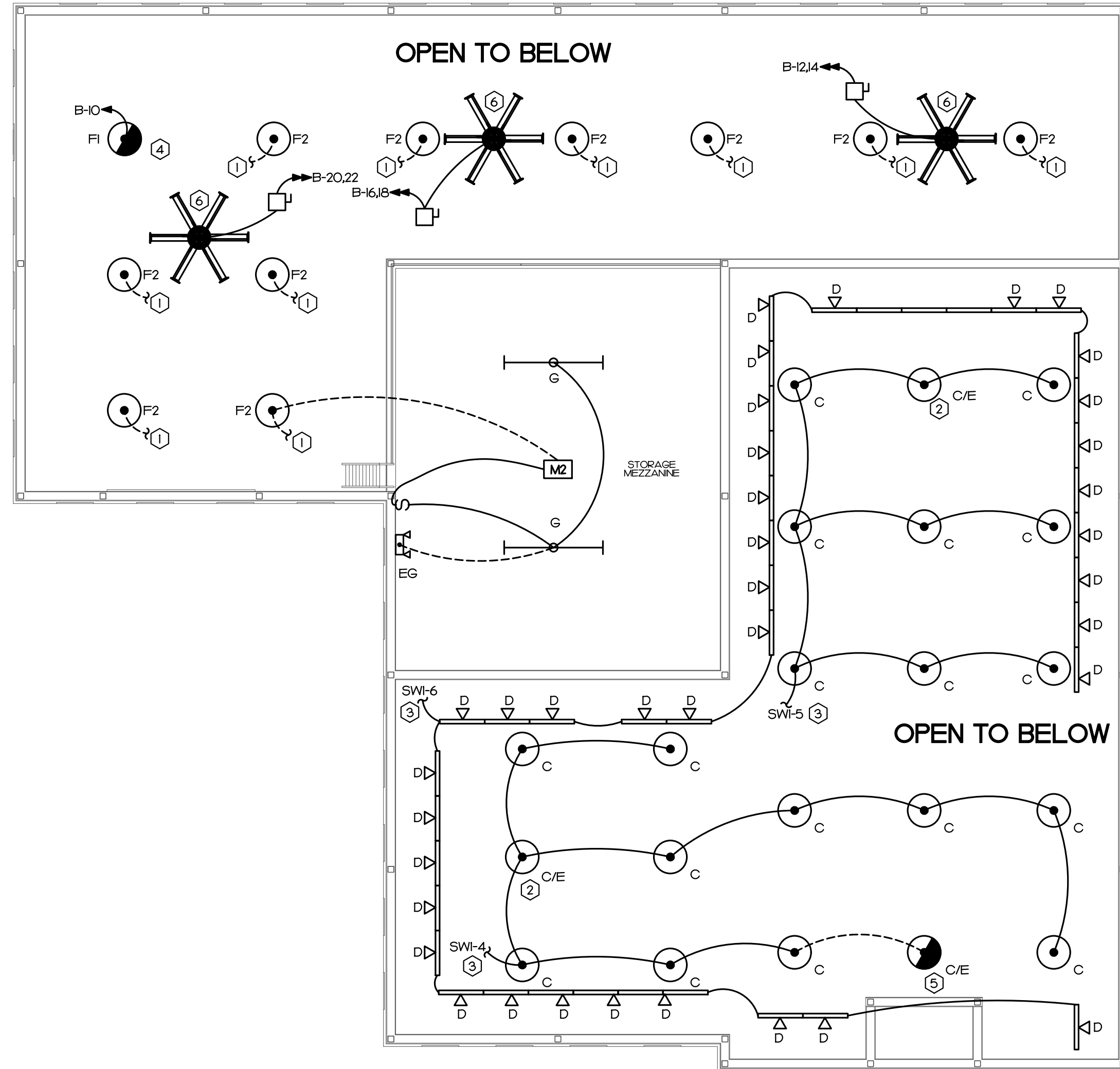
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Revisions:

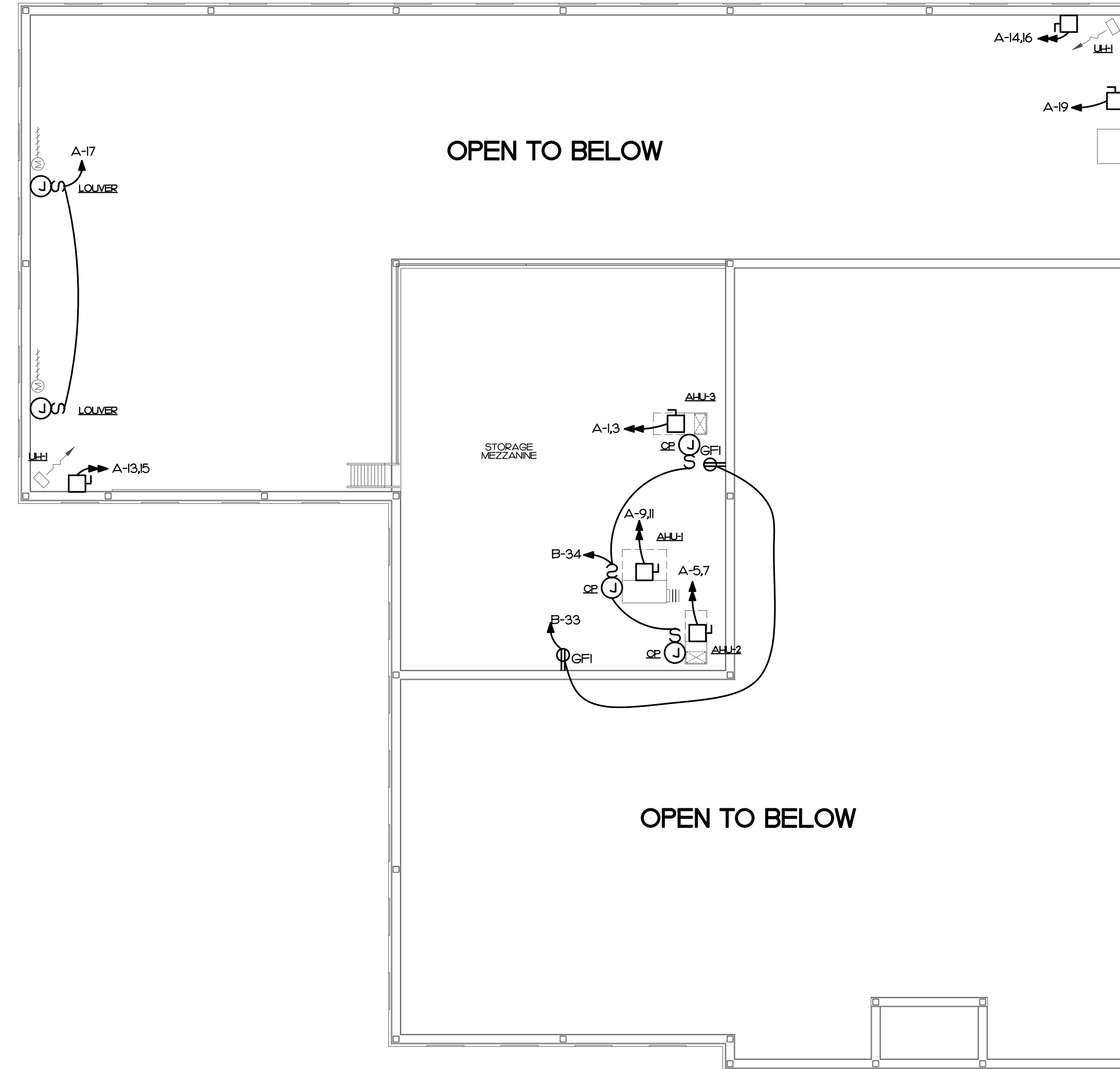
No.	Description	Date

KEY NOTES

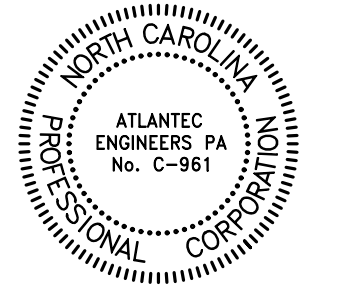
- ① FIXTURES CONTROLLED BY INTEGRAL OCCUPANCY SENSORS, CONNECT TO CIRCUIT B-10
- ② FIXTURE TO BE USED AS EMERGENCY LIGHT, CONNECT BATTERY BACKUP AHEAD OF LIGHTING CONTROL. FIXTURE TO RETURN TO FULL BRIGHTNESS ON LOSS OF POWER
- ③ SEE 2/E101 FOR DETAILS
- ④ FIXTURE TO BE USED AS A NIGHT LIGHT, CONNECT UNSWITCHED
- ⑤ FIXTURE TO BE USED AS A NIGHT LIGHT, CONNECT NORMAL POWER UNSWITCHED, DIM FIXTURE WITH OTHER TYPE 'C' FIXTURES IN THIS AREA, PROVIDE WITH 0-10V WIRE AS REQUIRED, FIXTURE TO RETURN TO FULL BRIGHTNESS ON LOSS OF POWER
- ⑥ CONTROL FANS VIA FAN CONTROLLER, SEE 2/E201 FOR DETAILS, INSTALL DISCONNECTS, LIGHT FIXTURES, AND OTHER EQUIPMENT OUTSIDE OF FAN CLEARANCE AREA



1 LIGHTING PLAN SECOND FLOOR
SCALE: 1/8" = 1'-0"



2 POWER PLAN SECOND FLOOR
SCALE: 1/8" = 1'-0"



Project: ABC Buxton
Project No: 22041
Location: 47290 Hwy 12
Buxton, NC
Title: Electrical Plan
Date: March 10th, 2023
Scale: As indicated

**ELECTRICAL PLAN
SECOND FLOOR**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

Revisions:

No.	Description	Date

Designed: SWM
Drawn: SWM
Reviewed: MCB
Cad File:

SYMBOL LEGEND

SYMBOL	DESCRIPTION	REMARKS
[Symbol]	2 X 2 SURFACE FIXTURE - LETTER DESIGNATES TYPE	SEE FIXTURE SCHED.
[Symbol]	LINEAR STRIP FIXTURE - LETTER DESIGNATES TYPE	SEE FIXTURE SCHED.
[Symbol]	PENDANT/SURFACE MOUNT FIXTURE - LETTER DESIGNATES TYPE	SEE FIXTURE SCHED.
[Symbol]	WALL SCONCE LIGHT FIXTURE - LETTER DESIGNATES TYPE	SEE FIXTURE SCHED.
[Symbol]	WALL MOUNT LIGHT FIXTURE - LETTER DESIGNATES TYPE	SEE FIXTURE SCHED.
[Symbol]	EXTERIOR WALL LIGHT FIXTURE - LETTER DESIGNATES TYPE	SEE FIXTURE SCHED.
[Symbol]	EXIT LIGHT - CONNECT UNSWITCHED	SEE FIXTURE SCHED.
[Symbol]	EMERGENCY WITH EXIT LIGHT - CONNECT UNSWITCHED	SEE FIXTURE SCHED.
[Symbol]	BATTERY BACKUP EMERGENCY LIGHT - CONNECT UNSWITCHED	SEE FIXTURE SCHED.
[Symbol]	LIGHT FIXTURE ON UNSWITCHED CIRCUIT FOR NIGHT LIGHT, THE SHADE DESIGNATED THE NIGHT LIGHT.	SEE FIXTURE SCHED.
[Symbol]	8" BIG ASS FAN POWERFOL D	
[Symbol]	PHOTOCELL, 125-305VAC, 30/60HZ, 1800VA BALLAST LOAD 1000W TUNGSTEN LOAD, 8A LED LOAD (UP TO 2200W 427V)	TORX ZSS24
[Symbol]	DIGITAL TIME CLOCK, 120A 120VAC NO CONTACTS, 7 DAY FORMAT, ASTRONOMICAL LIGHT SAVING ADJUSTMENT, 7 DAY SCHEDULE POWER BACKUP, OPTION FOR PHOTOCELL CONTROL.	TORX DGJ00A
[Symbol]	BIG ASS FANS BAFCON VERSATILE SMART CONTROLLER	
[Symbol]	SINGLE POLE TOGGLE SWITCH MOUNT 42" AFF, UNLESS NOTED OTHERWISE.	HUBBELL I221-11 WITH NPJ COVER PLATE
[Symbol]	THREE WAY TOGGLE SWITCH MOUNT 42" AFF, UNLESS NOTED OTHERWISE.	HUBBELL I223-11 WITH NPJ COVER PLATE
[Symbol]	FOUR WAY TOGGLE SWITCH MOUNT 42" AFF, UNLESS NOTED OTHERWISE.	HUBBELL I224-11 WITH NPJ COVER PLATE
[Symbol]	SWITCHGANG - SEE DETAIL INDICATED	
[Symbol]	WALL MOUNTED OCCUPANCY SENSOR SWITCH DUAL TECHNOLOGIES, MOUNT 42" AFF, UNLESS NOTED OTHERWISE. 800W/120VAC OR 1200W/277VAC	WATTSTOPPER DSW-301-11 NPJ26 COVER PLATE
[Symbol]	CEILING MOUNTED OCCUPANCY SENSOR, DUAL TECHNOLOGIES. 800W/120VAC OR 1200W/277VAC	WATTSTOPPER DT-355
[Symbol]	CEILING MOUNTED OCCUPANCY SENSOR, DUAL TECHNOLOGIES. LOW VOLTAGE, PROVIDE LOW VOLTAGE WIRING TO POWER PACK AS REQUIRED.	WATTSTOPPER DT-305
[Symbol]	POWER PACK FOR LOW VOLTAGE OCCUPANCY SENSOR, 120/277VAC, 20A 1 POLE CONTACTOR.	WATTSTOPPER BZ-50
[Symbol]	DIMMING SWITCH WITH PRESET TO MATCH CORRESPONDING FIXTURE TYPE 0-10V DIMMING, MOUNT 42" AFF, UNLESS NOTED OTHERWISE. PROVIDE SWITCHED WIRE AND 0-10V CONTROL WIRE TO FIXTURE AS REQUIRED.	LUTRON DVSTV-XX NPJ26 COVER PLATE
[Symbol]	DIMMING SWITCH WITH PRESET TO MATCH CORRESPONDING FIXTURE TYPE PHASE CONTROL (INCAN), MOUNT 42" AFF, UNLESS NOTED OTHERWISE.	LUTRON DV-600P-11 NPJ26 COVER PLATE 120VAC 600W
[Symbol]	DIMMING 3-WAY SWITCH WITH PRESET TO MATCH CORRESPONDING FIXTURE TYPE 0-10V DIMMING, MOUNT 42" AFF, UNLESS NOTED OTHERWISE. PROVIDE SWITCHED WIRE AND 0-10V CONTROL WIRE TO FIXTURE AS REQUIRED.	LUTRON DVSTV-XX NPJ26 COVER PLATE
[Symbol]	0-2 HOUR MECHANICAL TIME SWITCH, 120VAC, 1800W MOUNT 42" AFF, UNLESS NOTED OTHERWISE.	INTERMATIC FF24
[Symbol]	OVERHEAD DOOR SWITCH FOR GARAGE DOOR, BY OTHERS	
[Symbol]	SPECIFICATION GRADE DUPLEX TAMPER RESISTANT RECEPTACLE, MOUNT 16" AFF, UNLESS OTHERWISE NOTED.	HUBBELL HBL5362-11-TR WITH NPJ8 COVER PLATE
[Symbol]	SPECIFICATION GRADE TAMPER RESISTANT GFI RECEPTACLE, MOUNT 16" AFF, UNLESS NOTED OTHERWISE.	HUBBELL GFT1RST20-11 WITH NPJ26 COVER PLATE
[Symbol]	SPECIFICATION GRADE TAMPER RESISTANT, WEATHER RESISTANT AND GFI DUPLEX RECEPTACLE WITH IN-USE WEATHER PROOF COVER, MOUNT 16" AFF, UNLESS OTHERWISE NOTED.	HUBBELL GFTWRST20-11 WITH WP26M COVER PLATE
[Symbol]	SPECIFICATION GRADE DUPLEX TAMPER RESISTANT RECEPTACLE, MOUNT 16" AFF, UNLESS OTHERWISE NOTED.	HUBBELL HBL5362-11-TR WITH NPJ8 COVER PLATE
[Symbol]	SPECIFICATION GRADE TAMPER RESISTANT GFI RECEPTACLE, MOUNT 4" ABOVE COUNTER/BACKPLASH.	HUBBELL GFT1RST20-11 WITH NPJ26 COVER PLATE
[Symbol]	SPECIFICATION GRADE QUAD TAMPER RESISTANT RECEPTACLE, MOUNT 16" AFF, UNLESS OTHERWISE NOTED.	HUBBELL Q HBL5362-11-TR WITH NPJ82 COVER PLATE
[Symbol]	CEILING PANEL, CABINET FAN, FURNISHED AND INSTALLED BY MC, WIRED BY EC.	SEE MECH. PLAN.
[Symbol]	JUNCTION BOX SIZED PER NEC.	
[Symbol]	DISCONNECT SWITCH SEE PLANS FOR SIZE AND TYPE	SQUARE D HEAVY DUTY
[Symbol]	NEW CONCEALED WIRING	PER NEC.
[Symbol]	UNSWITCHED LIGHTING CONDUCTOR	PER NEC.
[Symbol]	HOME RUN TO PANEL BOARD, NUMBERS OF ARROW INDICATE CIRCUITS	PER NEC.
[Symbol]	120/240V 10, 3W PANEL BOARD - SEE PANEL SCHEDULES	SQUARE D NQ/HLINE
[Symbol]	UTILITY METER BASE	SEE POWER RISER
[Symbol]	COMMUNICATION OUTLET - MOUNT 16" AFF, UNLESS OTHERWISE NOTED. STUB 3/4" CONDUIT TO ACCESSIBLE CEILING OR ATTIC SPACE, OUTLET, COVER PLATE AND WIRING BY OTHERS.	SINGLE GANG BOX HUBBELL NPJ8 COVER PLATE
[Symbol]	COMMUNICATION BACKBOARD, 48" x 48" x 3/4" THICK FIREPROOFED PLYBOARD MOUNTED TO WALL, PROVIDE GROUND BAR AND CONNECT 1#6 AWG GROUND IN 1/2" C. TO PANEL.	
[Symbol]	A.F.F. ABOVE FINISHED CEILING	
[Symbol]	A.F.F. ABOVE FINISHED FLOOR - NOTE ALL MOUNTING DIMENSIONS GIVEN ARE TO THE BOTTOM OF THE OUTLET BOX	

GENERAL NOTES

- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR FLOOR PLAN DIMENSIONS, DO NOT SCALE THESE DRAWINGS.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE ANY AND ALL WORK WITH OTHER TRADES INVOLVED IN THE PROJECT, PRIOR TO THE INSTALLATION OF HIS EQUIPMENT SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND TO ALLOW FOR OPTIMUM MAINTENANCE AND WORKING SPACE.
- USE OF THE CONDUIT SYSTEM FOR EQUIPMENT GROUNDING SHALL NOT BE ACCEPTABLE. A SEPARATE GREEN GROUND WIRE SHALL BE RUN WITH THE CIRCUIT CONDUCTORS IN EACH CONDUIT.
- ALL BREAKER SIZES, SHOWN FOR MECHANICAL EQUIPMENT, SHALL BE VERIFIED BEFORE THE PURCHASE OR INSTALLATION OF SAID EQUIPMENT, WITH THE EQUIPMENT SUPPLIER AND THE MECHANICAL CONTRACTOR.
- ALL WORK AND MATERIAL SHALL BE PROVIDED IN ACCORDANCE WITH THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND 2020 NATIONAL ELECTRICAL CODE (NFPA 70).
- EACH CONTRACTOR SHALL PROVIDE HIS OWN SUPPORT OF ALL DEVICES AND EQUIPMENT PROVIDED BY HIM AND SHALL SUPPORT SUCH EQUIPMENT PER APPROVED GOVERNING CODES OR PER APPROVAL OF THE ENGINEER. UNACCEPTABLE WORKMANSHIP OR MATERIALS SHALL BE REPLACED AT THE REQUEST OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- THE MOUNTING HEIGHTS AND LOCATIONS OF ALL WALL MOUNTED OUTLETS AND JUNCTION BOXES SHALL BE REVIEWED AND COORDINATED WITH THE ARCHITECT, PRIOR TO INSTALLATION FOR USE WITH THE ACTUAL EQUIPMENT, CASEWORK, AND MILLWORK TO BE FURNISHED.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY DISCONNECTS, SWITCHES, AND RECEPTACLES UNDER THE ELECTRICAL BID AND SHALL INCLUDE ALL NECESSARY CIRCUITS TO AND FINAL CONNECTIONS TO THE EQUIPMENT PROVIDED BY ALL SUPPLIERS. SEE DETAILS FOR CONNECTION TO EQUIPMENT PROVIDED BY MECHANICAL AND PLUMBING CONTRACTORS.
- PENETRATION:
 - WHERE ELECTRICAL EQUIPMENT PENETRATES RATED WALLS AND CEILINGS, EXTERIOR WALLS, THEY SHALL BE PROPERLY SEALED PER APPROVED UL METHODS.
 - WHERE ELECTRICAL EQUIPMENT PENETRATES EXTERIOR WALLS, THEY SHALL BE PROPERLY SEALED WITH METHODS APPROVED BY THE ENGINEER, SUBMIT DETAIL OF PROPOSED SEALING METHODS.
- ALL PERMITS AND INSPECTION FEES SHALL BE SECURED AND PAID BY THE ELECTRICAL CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE COMPLETE UPDATED TYPEDWRITTEN PANEL SCHEDULES FOR ALL PANELBOARDS.
- AS BUILT DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY THE CEILING TYPES WITH THE GENERAL CONTRACTOR PRIOR TO THE PURCHASE OF ANY LIGHT FIXTURES SO THAT THE PROPER TRIM WILL BE PROVIDED FOR ALL FIXTURES. ANY DIFFERENCES WILL BE THE RESPONSIBILITY OF THIS CONTRACTOR.
- ALL WIRE SIZES INDICATED ON THE PANEL SCHEDULES ARE BASED ON 75 DEGREE COPPER THIN/THIN WIRE. ALL WIRE TERMINALS AND EQUIPMENT SHALL BE LISTED AND APPROVED FOR 75°C. ONLY THIN/2 WIRE SHALL BE INSTALLED IN WET AND EXTERIOR LOCATIONS.
- MINIMUM CONDUIT SIZE SHALL BE 1/2" AND MINIMUM WIRE SIZE SHALL BE #12 AWG.
- ARMORED CABLE (TYPE AC) AND METAL-CLAD CABLE (TYPE MC) ARE ACCEPTABLE WIRING METHODS SUBJECT TO THE FOLLOWING RESTRICTIONS:
 - SEE NEC 320 AND 330 FOR RESTRICTIONS.
 - PENETRATIONS OF RATED WALLS SHALL BE IN ACCORDANCE WITH APPROVED UL PENETRATION METHODS.
 - CABLE SHALL NOT BE USED FOR HOME RUN TO PANEL BOARD.
 - CABLE SHALL ONLY BE INSTALLED IN CONCEALED SPACE AND FURRED AREAS. MAX. LENGTH OF EACH SECTION IN ACCESSIBLE CONCEALED CEILING SPACES SHALL NOT EXCEED 10 FT.
 - WHERE REQUIRED BY NEC 517.3, CABLE SHALL BE LISTED FOR THE USE.
- THE MAXIMUM NUMBER OF HOMERUNS IN A CONDUIT SHALL NOT EXCEED THREE (3). FEEDING CIRCUITS WITH SHARED NEUTRAL SHALL BE SWITCHED TOGETHER.
- WHERE OUTLETS ARE SHOWN BACK TO BACK ON RATED WALLS, STAGGER OUTLETS SO THAT THEY ARE SEPARATED BY A MINIMUM OF 24".
- ALL DISCONNECTS SHALL HAVE SEPARATE NEUTRAL AND GROUND BARS.
- FOR ALL RECEPTACLES LOCATED ABOVE COUNTER TOP, MOUNTING HEIGHT SHALL COMPLY WITH ANSI A171, SECTION 308. E.C. SHALL FIELD VERIFY CASEWORK DETAIL WITH ARCHITECT PRIOR TO ROUGH-IN.
- THE ELECTRICAL CONTRACTOR SHALL FIELD COORDINATE THE INSTALLATION OF THE NEW UNDERGROUND ELECTRICAL SERVICE WITH THE LOCAL UTILITY. THE OWNER SHALL PAY ALL CHARGES FOR THE INSTALLATION OF THE NEW UNDERGROUND UTILITY SERVICE.
- THE ELECTRICAL CONTRACTOR SHALL FIELD COORDINATE THE LOCATION OF COMMUNICATION SERVICE CONDUIT STUB OUTS WITH THE LOCAL COMMUNICATION SERVICE COMPANY PRIOR TO INSTALLING ANY CONDUITS.
- E.C. SHALL LOCATE EXISTING UNDER GROUND UTILITY PRIOR TO EXCAVATING.

2018 NORTH CAROLINA ENERGY CODE

ELECTRICAL SYSTEM AND EQUIPMENT METHOD OF COMPLIANCE: PRESCRIPTIVE

LAMP TYPE REQUIRED:	LIGHTING SCHEDULE ¹			
	FLUORESCENT T8/T5	LED	CFL	INCAN
NUMBER OF LAMPS:	N/A	SEE	N/A	N/A
BALLAST TYPE USED:	N/A	FIXTURE	N/A	N/A
NUMBER OF BALLASTS:	N/A	SCHEDULE	N/A	N/A
TOTAL WATTAGE PER FIXTURE:	N/A		N/A	N/A

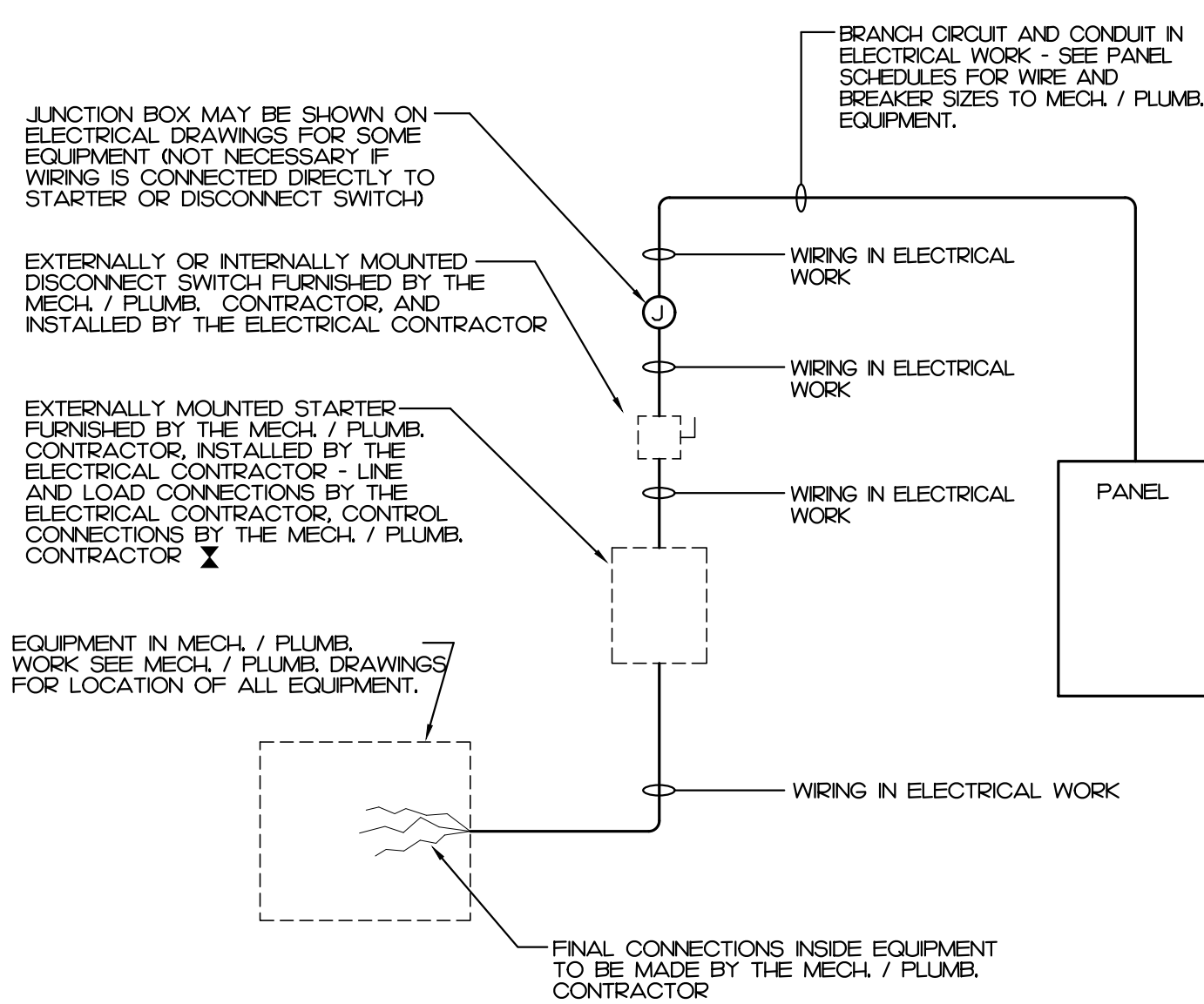
	SPECIFIED	ALLOWED BY CODE
INTERIOR WATTAGE		
RETAIL		8739
TOTAL	5650	7866 **
EXTERIOR WATTAGE	ZONE 3	
ALLOWANCE	260	750

NOTES:

- ** PER SECTION C406.3, THE WHOLE AREA ALLOWED BY CODE IS REQUIRED TO BE 10% LOWER THAN THOSE CALCULATED PER SECTION C405.4.2.
 - VALUE CALCULATED PER SECTION C405.4.2: 8739 WATTS
 - VALUE PER SECTION C406.3: 7866 WATTS
- ALL EXTERIOR LIGHTS:
 - CONTROLLED BY PHOTOCELL THAT WILL NOT INTENDED TO BE ON FOR 24 HOUR OPERATION.

DESIGNER STATEMENT: TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE ELECTRICAL SYSTEM AND EQUIPMENT REQUIREMENTS OF THE NORTH CAROLINA STATE BUILDING CODE, 2018 - ENERGY.

SIGNED: *Matthew C. Reedy*
 NAME: MATTHEW C. REEDY, P.E.
 TITLE: ENGINEER



NOTES:

1. A COMBINATION STARTER MAY BE USED IN LIEU OF A SEPARATE DISCONNECT SWITCH AND STARTER.
2. E.C. SHALL FURNISH ALL REQUIRED FUSES.

WIRING TO MECHANICAL AND PLUMBING EQUIPMENT

NOT TO SCALE

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	CATALOG	ELECTRICAL DATA	NOTES
A	2x2 LED FLAT PANEL FIXTURE SURFACE MOUNTED 3000 LUMEN	LITHONIA ¹ OPANEL-2X2-ALO-SWW7-M4	3000 LUMEN LED, 4000K 0-10V ELECTRONIC DIMMING DRIVER 31 WATTS - 35 VA, 120-277V	PROVIDE WITH SURFACE MOUNTING KIT
B	DECORATIVE PENDANT	SELECTED BY ARCHITECT, PROVIDE \$500 ALLOWANCE	30 WATT MAXIMUM - 120-277V	
C	ROUND LED HIGH BAY LIGHT 14000 LUMEN	E-CONOLIGHT ¹ C-H-B-RD-14L-40K-LU-*	14000 LUMEN LED, 4000K 0-10V ELECTRONIC DIMMING DRIVER 100 WATTS - 11 VA, 120-277V	
C/E	ROUND LED HIGH BAY LIGHT 14000 LUMEN WITH BATTERY BACKUP	E-CONOLIGHT ¹ C-H-B-RD-14L-40K-LU-+EB	14000 LUMEN LED, 4000K 0-10V ELECTRONIC DIMMING DRIVER 100 WATTS - 11 VA, 120-277V	
D	WALL WASH TRACK LIGHT FIXTURE 1000 LUMEN	JUNO ¹ HEAD-1605L-40K-80CRI-PDIM-11 TRACK- TRAC-MASTER- T-11	1000 LUMEN LED, 4000K 0-10V ELECTRONIC DIMMING DRIVER 10 WATTS - 11 VA, 120-277V	
F1	ROUND LED HIGH BAY LIGHT 2000 LUMEN	E-CONOLIGHT ¹ C-H-B-RD-20L-40K-LU-*	2000 LUMEN LED, 4000K 0-10V ELECTRONIC DIMMING DRIVER 50 WATTS - 167 VA, 120-277V	
F2	ROUND LED HIGH BAY LIGHT 2000 LUMEN WITH MOTION SENSOR	E-CONOLIGHT ¹ C-H-B-RD-20L-40K-LU-+ WITH MOTION SENSOR C-H-B-B-AC-MS-LU	2000 LUMEN LED, 4000K 0-10V ELECTRONIC DIMMING DRIVER 50 WATTS - 167 VA, 120-277V	
G	LED STRIP LIGHT SURFACE MOUNTED 10000 LUMEN	METALLUX ¹ 8"-LED-LD6-10-W-UNV-L840-CD	10000 LUMEN LED, 4000K 0-10V ELECTRONIC DIMMING DRIVER 63 WATTS - 70 VA, 120-277V	
H	DECORATIVE EXTERIOR SCONCE	SELECTED BY ARCHITECT, PROVIDE \$500 ALLOWANCE	30 WATT MAXIMUM, 120V	
J	EXTERIOR WALL PACK 3000 LUMEN	LITHONIA ¹ WDEZLED-P3-30K-80CRI-11MVOLT-SRM	3000 LUMEN LED, 3000K ELECTRONIC DRIVER 18 WATTS, 20 VA, 120-277V	
EGX	EMERGENCY WITH EXIT LIGHT 1 SIDE RED LETTER	LITHONIA ¹ LHQM-SD	5 WATTS - 5 VA, 120/277V	
EX	EXIT LIGHT 1 SIDE RED LETTER	LITHONIA ¹ EDG-1R-SD	3 WATTS - 4 VA, 120/277V	
EH	EXTERIOR EMERGENCY LIGHT LISTED FOR WET LOCATION	LITHONIA ¹ AFF-OEL-11-FCT	11 WATTS - 12 VA, 120/277V	
EG	EMERGENCY LIGHT	LITHONIA ¹ ELM2L-SDRT	2 WATTS - 2 VA, 120/277V	

NOTES:

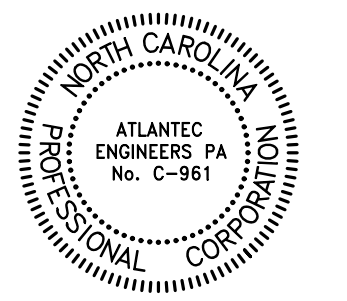
1. SEE ARCHITECTURAL PLAN FOR MOUNTING LOCATION AND HEIGHT. FIELD COORDINATE MOUNTING HEIGHT WITH ARCHITECT IF NOT SHOWN ON ARCHITECTURAL PLAN.
2. E.C. SHALL SUBMIT CATALOG TO ARCHITECT FOR APPROVAL PRIOR PURCHASE AND FINISH COLOR AND TRIM SELECT TO BE CHANGED PER ARCHITECT.
3. E.C. SHALL FIELD VERIFY LED COLOR WITH ARCHITECT PRIOR TO ORDERING.

cahoon + kasten ARCHITECTS

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ATLANTEC ENGINEERS, PA

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 RALEIGH, NC 27612
 (919) 571-1111 22223



Project: ABC Buxton
 Project No: 22041
 Location: 47290 Hwy 12 Buxton, NC
 Title: Electrical Plan
 Date: March 10th, 2023
 Scale: As indicated

SYMBOL LEGEND GENERAL NOTES DETAILS FIXTURE SCHEDULE

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (1) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (2) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

Revisions:

No.	Description	Date

Designed: SWM
 Drawn: SWM
 Reviewed: MCB
 Cad File:

E301