

APEX MAIN EMS STATION

6950 APEX BARBECUE ROAD, APEX, NORTH CAROLINA 27502 | WAKE COUNTY REQUEST FOR BIDS NUMBER: RFB-23-080

ADDENDUM NO. 1

DATE: OCTOBER 17, 2023

BID DATE, TIME, AND LOCATION HAVE NOT BEEN CHANGED.

NOTE: 00300 - BID PROPOSAL FORM - SINGLE PRIME GENERAL CONSTRUCTION HAS BEEN REVISED. UPDATED VERSION THAT SHOULD BE USED WHEN SUBMITTING BIDS IS INCLUDED IN THIS ADDENDUM. UPDATED FORM INCLUDES A **RED 10/17/23 REVISION DATE WITHIN THE DOCUMENT FOOTER TO DISTINGUISH THEM FROM THE PREVIOUSLY PROVIDED (NOW VOID) VERSION.**

GENERAL:

This addendum forms a part of the Contract Documents of the above referenced project and modifies the original Contract Documents as described below. Acknowledge receipt of this Addendum in the space provided on the Form of Proposal Signature Page.

This addendum has been distributed to: all Pre-Bid Conference Attendees, all Contractors that requested Bid Documents from Williard Stewart Architects, and to all Plan Rooms / Plan Services listed in the Notice to Bidders.

This addendum has also been uploaded to the same online file-sharing site used by Williard Stewart Architects to distribute digital PDFs of the Bid Documents for this project:

<https://www.dropbox.com/scl/fo/fsflzahq95okigqw1pcmp/h?rlkey=oxre74go8d5q6qpgim3nd40ej&dl=0>

PROJECT MANUAL:

SECTION 00075 – TABLE OF CONTENTS (VOLUME 1 AND VOLUME 2)

1. Division 0 – Bidding and Contract Documents, Specification Section 00300 – Bid Proposal Form – Single Prime General Construction: **UPDATE** the page count to read as “1-7”.

SECTION 00300 – BID PROPOSAL FORM – SINGLE PRIME GENERAL CONSTRUCTION

1. **REPLACE** the Bid Proposal Form – Single Prime General Construction with the attached, **REVISED** Bid Proposal Form – Single Prime General Construction (**with footer dated 10/17/23**). Updated Bid Proposal Form adds the Asphalt Paving Subcontractor Name, License Number, and Pricing to the Subcontractor Listing; corrects the Exit Light Unit Price number in the Unit Price Description; and updates the List of Project Alternates. Do **NOT** use original Bid Proposal Form when submitting bids – be sure to use the revised form included in this addendum, dated 10/17/23.

SECTION 00800 – SUPPLEMENTARY GENERAL CONDITIONS

1. Article 1 – Definitions, Paragraph 1.13, Contract Duration: **DELETE** the Paragraph 1.13 Supplemental General Conditions modification shown and **REPLACE** it with the following:

“Paragraph 1.13: At the end of existing paragraph, add the following:

The Contract Time for Submittals and Shop Drawings is **sixty (60) consecutive calendar days**, beginning on the Date of Commencement as specified in the written Notice-to-Proceed for Submittals and Shop Drawings.”

The Contract Time for Construction is **three hundred (300) consecutive calendar days**, beginning on the Date of Commencement as specified in the written Notice-to-Proceed for Construction.

The Total Project Contract Time is **three hundred and sixty (360) consecutive calendar days.**”

2. Article 1 – Definitions, Paragraph 1.18, List of Drawings: **REVISE** the date of Drawing Sheet G101 – Cover Sheet to be “10/11/23”.
3. Article 1 – Definitions, Paragraph 1.18, List of Drawings: **REVISE** the date of Drawing Sheet G102 – Code Summary to be “09/26/23”.
4. Article 1 – Definitions, Paragraph 1.18, List of Drawings: **REVISE** the date of Drawing Sheet G103 – Code Summary to be “10/11/23”.
5. Article 1 – Definitions, Paragraph 1.18, List of Drawings: **ADD** Sheet S002 – Statement of Special Inspections to the list of Structural Drawings, dated 10/11/23.
6. Article 1 – Definitions, Paragraph 1.18, List of Drawings: **REVISE** the date of Sheet S101 – Structural Foundation Plan to be “10/12/23”.
7. Article 7 – Contractor, Paragraph 7.2: **CLARIFICATION**: The requirements outlined in Article 7 require the Contractor to have a full time Project Manager and Resident Superintendent on the Project (as Defined by General Conditions Article 1 – Paragraph 1.29) at all times. This is not intended to require the Contractor’s Project Manager to be present at the project site at all times. The Contractor’s Project Manager is required to fulfill all duties and responsibilities outlined within the Project Manual.

SECTION 011000 – SUMMARY OF WORK

1. Part 1, Paragraph 1.8, Subparagraph A: **DELETE** the first sentence of Subparagraph A that begins with “Owner will furnish...” and **REPLACE** it with the following sentence, “Owner will furnish the television displays and associated display mounts.” General Contractor is responsible for providing all residential and commercial appliances. Refer to Specification Section 113100 – Residential and Commercial Appliances.
2. Part 1, Paragraph 1.8, Subparagraph B: **ADD** Item 3 “Television Displays and Associated Display Mounts” to the list of Owner-Furnished Products.

SECTION 012300 – ALTERNATES

1. Part 3, Paragraph 3.1 – Schedule of Alternates: **DELETE** the entire 3.1 – Schedule of Alternates and **REPLACE** it with the following **REVISED** Schedule of Alternates (NOTE: Previous alternate for Norman Size Brick has been deleted. Owner Preferred Alternate for Door Hardware and Owner Preferred Alternate for Solar Photovoltaic Equipment have both been re-numbered):

“3.1 **SCHEDULE OF ALTERNATES**

- A. **Alternate G-1**: Provide Owner Preferred Alternate for Door Hardware as Scheduled.
- B. **Alternate E-1**: Provide the Entire Photovoltaic (PV) System including the PV Solar Panels, Power Optimizers, Combiners, Wiring Connectors, PV Inverters “INV-PV1 & INV-PV2”, Panel ‘PV’, RTU Communications, Cabling and Conduit, Testing, Training, Operations & Maintenance Manuals and Closeout Documents, etc. (All System Equipment Upstream of PV Service Disconnect). The Base Bid Project Scope (If Alternate E-1 is Not Accepted) is to Provide the Infrastructure for a PV-Ready Building Which Shall Include the PV Service Disconnect and Its Primary Wiring Connected to the Exterior Mounted NEMA 3R Wiring Trough Shown on Drawing E501. Refer to Alternate E-1A for Owner Preferred Alternate Associated with Alternate E-1.
- C. **Alternate E-1A**: Provide Owner Preferred Alternate for All Solar Photovoltaic Equipment and Start-Up Services, Including, But Not Limited to: Solar Photovoltaic Panels, Power Optimizers, Combiners, and Inverters with SolarEdge Technologies, Inc. Being the Owner’s Preferred Manufacturer.
- D. **Alternate E-2**: Provide the Entire Electric Vehicle (EV) Charging System including the EV Chargers, Cable and Conduit, EV Panelboard ‘EV’, Testing, Training, Operations & Maintenance Manuals and Closeout Documents, etc. (All System Equipment Upstream to the EV Service Meter Base). The Base Bid Project Scope (If Alternate E-2 is Not Accepted) is to Provide the Infrastructure for an EV-Ready Building and Site Which Shall Include the EV Service Meter Base and Its Primary Wiring as well as the EV Underground Empty 1” Conduit Branch Circuits (Stubbed Out and Capped at Both Ends) (with Pull Strings) from the EV Panelboard Location to the EVSE Charging Location.
- E. **Alternate E-2A**: Provide Owner Preferred Alternate for All Electric Vehicle (EV) Charging Equipment and Startup Services with ChargePoint, Inc. Being the Owner’s Preferred Manufacturer.”

SECTION 105113 – METAL LOCKERS

1. Part 2, Paragraph 2.2, Subparagraph A: **ADD** the following manufacturer/product to the list of Products, “Lockers MFG (Lockers Manufacturing); All-Welded Metal Lockers”.

SECTION 107500 – FLAGPOLES

1. Part 2, Paragraph 2.2, Subparagraph A, Item 2: **REVISE** Flagpole Exposed Height to be “30’ (thirty-feet)”.

SECTION 10800 – COMMERCIAL TOILET ACCESSORIES

1. Part 2, Paragraph 2.02, Subparagraph D, Item 2: **ADD** “Installed by General Contractor” after “Owner-Provided.”

SECTION 263213 – PACKAGED ENGINE GENERATORS

1. Part 2, Paragraph 2.1, Subparagraph A: **ADD** “Generac Industrial Power” to the list of Available Manufacturers.

SECTION 263600 – TRANSFER SWITCHES

1. Part 2, Paragraph 2.1, Subparagraph A, Item 1: **ADD** “Generac Industrial Power” to the list of Contactor Transfer Switch Manufacturers.

DRAWINGS:

SHEET G101 – COVER SHEET

1. **REPLACE** Sheet G101 – Cover Sheet with the attached, updated G101 – Cover Sheet (Revision 2, Dated 10/11/23). Drawing Sheet S002 – Statement of Special Inspections added to the Drawing Index. Owner contact information updated.

SHEET G102 – CODE SUMMARY

1. **REPLACE** Sheet G102 – Code Summary with the attached, updated G102 – Code Summary (Revision 2, Dated 09/26/23). Allowable Building Square Footage Table updated.

SHEET G103 – CODE SUMMARY

1. **REPLACE** Sheet G103 – Code Summary with the attached, updated G103 – Code Summary (Revision 2, Dated 10/11/23). Detail A9/G103 – Life Safety Plan | Egress and Detail F9/G103 – Life Safety Plan | Rated Walls base plans updated.

SHEET C1.0 – EXISTING CONDITIONS PLAN

1. Legend: **ADD** the following abbreviation to the Legend, “UFO -Underground Fiber Optic”.

SHEET C5.1 – NOTES AND DETAILS

1. Detail 3/C5.1: **DELETE** the note that reads “Provide 2 Flag Poles 30’-0” for US Flag 25’-0” for State Flag (Refer to Sheet C2.0) and **REPLACE** it with a note that reads “Provide 2 Flag Poles: 30’-0” for US Flag and State Flag (Refer to Sheet C3.0).

SHEET A101 – FLOOR PLAN

1. Detail J1/A101 – Floor Plan – Keyed Plan Notes: **ADD** the following sentence to Keyed Plan Note K24: “Knox Box to be a dual lock, with recessed mounting kit, tamper alert, in dark bronze finish. Basis of Design Reference Knox Company KnoxVault 4400 Series, Model Number 4414.”

SHEET A501 – ENLARGED BATHROOM PLAN

1. Detail – F10/A501, Enlarged Restroom Plan General Notes: **REVISE** General Note G6 to read as follows “Soap Dispenser, Paper Towel Dispenser, and Waste Receptacle to be Provided by the Owner and **Installed by the General Contractor.**”

SHEET A603 – MILLWORK SECTIONS & DETAILS

1. Detail I6/A603 – Workstation Section and Detail I9/A603 – Media Center Section – **CLARIFICATION:** Furnishing allowance referenced in the detail notes (which point to the flat screen televisions and associated wall mount) refer to a separate Owner allowance for furniture and furnishings (outside of the allowances described in Specification Section 012100 – Allowances) that will be provided by a separate contract.

SHEET A701 – WINDOW & DOOR SCHEDULES & ELEVATIONS

1. Detail J5/A701 – Door Schedule – Door 113E: **ADD** the Kerfed Frame “KF” designation to the Remarks Column for Door 113E.

SHEET A801 – FINISH AND FURNISHING PLAN

1. Detail J1/A801: **ADJUST** the position of the three (3) Keyed Finish Notes “K9” to be contact with the doors to Medical Storage 114, PPE 115, and Decon 116.
2. Detail J1/A801: **ADD** Keyed Finish Note “K9” to Door 113E (Door from Dining 111 to Vehicle Bays 113).
3. Detail J1/A801: **ADD** a boxed text note to the Finish & Furnishing Plan that reads “Note: Refer to Drawing A101, Keyed Plan Note 47 for Vehicle Bay Striping.”
4. Detail J1/A801: **ADD** a boxed text note to the Finish & Furnishing Plan that reads “Note: Refer to Drawing A101, Keyed Plan Note 48 for Translucent Film Scope.”
5. Detail H11/A801 – Finish Legend, Floor Finish Legend – Vinyl Composition Tile (VCT) Description: **DELETE** subtitle that reads “Bid Alternate: Ground & Polished Concrete”.

SHEET S002 – STATEMENT OF SPECIAL INSPECTIONS

1. **ADD** attached Sheet S002 – Statement of Special Inspections (Dated 10/11/23). Note: The Statement of Special Inspections content shown on this sheet matches / is the same as the content included in Specification Section 014100 – Statement of Special Inspections.

SHEET S101 – STRUCTURAL FOUNDATION PLAN

1. **REPLACE** Sheet S101 – Structural Foundation Plan with the attached, updated S101 – Structural Foundation Plan (Revision 2, Dated 10/12/23). Equipment pad detail references updated. Equipment and Trash/Recycling Area screen wall dimensions updated to coordinate with architectural plans.

SHEET P102 – PLUMBING WATER NEW WORK PLAN

1. Detail 1 – First Floor New Work Plan: **REVISE** gas service provider reference from “PSNC Energy” to “Dominion Energy”.

SHEET E002 – ELECTRICAL SITE PLAN

1. Detail 1/E002: **ADD** one (1) 4” RGS sleeve 24” below grade, running plan east-west across the concrete driveway apron connected to Apex Barbecue Road for site utility lighting. Line representing conduit should match line type shown in the concrete parking lot that runs plan north-south with Keynote 7. This added sleeve is to cross the driveway apron just south of the two-parking space turnout area on the west of the driveway, extending east towards the site light pole shown on the east side of this driveway apron.
2. Keynotes, Keynote 1: **ADD** the following sentence to Keynote 1, “Refer to Detail 1/E501 for descriptions of Photovoltaic (PV) System Base Bid, Alternate E-1, and Alternate E-1A.”
3. Keynotes, Keynote 10: **ADD** the following sentence to Keynote 10, “Refer to Detail 1/E501 for descriptions of Electric Vehicle (EV) Charging System Base Bid, Alternate E-2, and Alternate E-2A.”
4. Keynotes: **ADD** Keynote 11 as follows, “11 Provide (1) 4” C RGS Sleeve (with Pull String) 24” Below Grade Under Driveway Apron for Site Utility Wiring.”

SHEET E501 – ELECTRICAL POWER RISER

1. Detail 1/E501 – Electrical Power Riser: **ADD** the following notes regarding the Solar Photovoltaic (PV) System to Detail 1/E501:

“Solar Photovoltaic (PV) System Notes:

Base Bid: The Base Bid Project Scope (If Alternate E-1 is Not Accepted) is to Provide the Infrastructure for a PV-Ready Building Which Shall Include the PV Service Disconnect and Its Primary Wiring Connected to the Exterior Mounted NEMA 3R Wiring Trough Shown on Electric Power Riser Detail 1/E501.

Alternate E-1: Provide the Entire Photovoltaic (PV) System including the PV Solar Panels, Power Optimizers, Combiners, Wiring Connectors, PV Inverters “INV-PV1 & INV-PV2”, Panel ‘PV’, RTU Communications, Cabling and Conduit, Testing, Training, Operations & Maintenance Manuals and Closeout Documents, etc. (All System Equipment Upstream of PV Service Disconnect). Refer to Alternate E-1A for Owner Preferred Alternate Associated with Alternate E-1.

Alternate E-1A: Provide Owner Preferred Alternate for All Solar Photovoltaic Equipment and Start-Up Services, Including, But Not Limited to: Solar Photovoltaic Panels, Power Optimizers, Combiners, and Inverters with SolarEdge Technologies, Inc. Being the Owner’s Preferred Manufacturer.”

2. Detail 1/E501 – Electrical Power Riser: ADD the following notes regarding the Electric Vehicle (EV) Charging System to Detail 1/E501:

“Electric Vehicle (EV) Charging System Notes:

Base Bid: The Base Bid Project Scope (If Alternate E-2 is Not Accepted) is to Provide the Infrastructure for an EV-Ready Building and Site Which Shall Include the EV Service Meter Base and Its Primary Wiring as well as the EV Underground Empty 1” Conduit Branch Circuits (Stubbed Out and Capped at Both Ends) (with Pull Strings) from the EV Panelboard Location to the EVSE Charging Location.

Alternate E-2: Provide the Entire Electric Vehicle (EV) Charging System including the EV Chargers, Cable and Conduit, EV Panelboard ‘EV’, Testing, Training, Operations & Maintenance Manuals and Closeout Documents, etc. (All System Equipment Upstream to the EV Service Meter Base).

Alternate E-2A: Provide Owner Preferred Alternate for All Electric Vehicle (EV) Charging Equipment and Startup Services with ChargePoint, Inc. Being the Owner’s Preferred Manufacturer.”

SHEET F101 – FIRE PROTECTION PIPING NEW WORK PLAN, SHEET F102 – FIRE PROTECTION CEILING NEW WORK PLAN, SHEET P101 – PLUMBING WASTE NEW WORK PLAN, SHEET P102 – PLUMBING WATER NEW WORK PLAN, SHEET M101 – MECHANICAL NEW WORK PLAN, SHEET E101 – ELECTRICAL LIGHTING NEW WORK PLAN, AND SHEET E102 – ELECTRICAL POWER NEW WORK PLAN

1. Floor Plan – Supervisor Office 103: **CLARIFICATION** – The plan north and plan west walls that form Supervisor Office 103 are 1 Hour Rated Walls and should include the same dashed line as shown around Multipurpose Room 106 and as shown on the Wall Rating Legend on these drawing sheets. Refer to Drawing Sheet G103 Detail F9/G103 – Life Safety Plan | Rated Walls and Drawing Sheet A101 – Floor Plan.

ATTACHMENTS:

- Section 00300 – Bid Proposal Form | Single Prime General Construction (7 Pages, Dated 10/17/23)
- Drawing Sheet – G101 Cover Sheet (1 Sheet, Revision 2, Dated 10/11/23)
- Drawing Sheet – G102 Code Summary (1 Sheet, Revision 2, Dated 09/26/23)
- Drawing Sheet – G103 Code Summary (1 Sheet, Revision 2, Dated 10/11/23)
- Drawing Sheet – S002 Statement of Special Inspections (1 Sheet, Dated 10/11/23)
- Drawing Sheet – S101 Structural Foundation Plan (1 Sheet, Revision 2, Dated 10/12/23)

END ADDENDUM NO. 1

Submitted by: **Paul Stewart, AIA**
Williard Stewart Architects, PA
122 Cox Avenue | Raleigh, North Carolina, 27605
paul@wscarchitects.com
(919) 740-5521 | (919) 834-2149 (Fax)

CC: General Contractor Distribution List
Attendees of October 5, 2023 General Contractor Non-Mandatory Pre-Bid Meeting
Plan Room / Plan Services (Carolinas AGC, Dodge Data & Analytics, HCAC, CMD Group, Construct Connect, NCIMED)
Contractors and Subcontractors that Requested Project Documents from WSA (Various)
Wake County Facilities Design & Construction
Design Team (Timmons Group, Dewberry)
File

WAKE COUNTY
APEX MAIN EMS STATION

Project No. RFB# 23-080

BID PROPOSAL FORM

(USE THIS FORM ONLY. Bids submitted on anything other than the form(s) provided may be considered non-responsive and subject to rejection)

SINGLE PRIME GENERAL CONSTRUCTION WORK
FORMAL CONTRACT

BIDDERS NAME

_____ License Number: _____

BASE BID PROPOSAL

The undersigned, as Bidder, hereby declares that the only person or persons interested in this Proposal as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this Proposal or in the Contract to be entered into; that this Proposal is made without connection with any other person, company or parties making a Bid or Proposal; and that it is in all respects fair and in good faith without collusion or fraud.

The Bidder further declares that he has examined the site of the work and informed himself fully in regard to all conditions pertaining to the place where the work is to be done; that he has examined the specifications for the work and the Contract Documents relative thereto, including addenda, if any, and has read all special provisions furnished prior to the opening of bids; that he has satisfied himself relative to the work to be performed.

The Bidder proposes and agrees if this Proposal is accepted to contract with the County of Wake with a definite understanding that no money will be allowed for extra work except as set forth in the General Conditions and Contract Documents, for the sum of:

Base Bid _____ Dollars (\$ _____).

SUBCONTRACTOR LISTING

PLUMBING CONTRACTOR

Name: _____ License Number: _____

\$ _____

HVAC CONTRACTOR

Name: _____ License Number: _____

\$ _____

ELECTRICAL CONTRACTOR

Name: _____ License Number: _____

\$ _____

FIRE PROTECTION CONTRACTOR

Name: _____ License Number: _____

\$ _____

SITE UTILITY CONTRACTOR

Name: _____ License Number: _____

\$ _____

ASPHALT PAVING CONTRACTOR

Name: _____ License Number: _____

\$ _____

ALTERNATES

Should any of the alternates as described in the specifications be accepted, the amount written below shall be the amount to "add to" or "deduct from" the Base Bid. If to be "deducted from" Base Bid, put minus sign (-) in parentheses at head of alternate and plus sign (+) in parentheses if to be added. Refer to Section 012300 for description of alternates.

Alternate No. G-1: Provide Owner Preferred Alternate for Door Hardware as Scheduled .

_____ Dollars (\$ _____)

Alternates Section Continues on Next Page

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Alternate No. E-1: Provide the Entire Photovoltaic (PV) System including the PV Solar Panels, Power Optimizers, Combiners, Wiring Connectors, PV Inverters “INV-PV1 & INV-PV2”, Panel ‘PV’, RTU Communications, Cabling and Conduit, Testing, Training, Operations & Maintenance Manuals and Closeout Documents, etc. (All System Equipment Upstream of PV Service Disconnect). The Base Bid Project Scope (If Alternate E-1 is Not Accepted) is to Provide the Infrastructure for a PV-Ready Building Which Shall Include the PV Service Disconnect and Its Primary Wiring Connected to the Exterior Mounted NEMA 3R Wiring Trough Shown on Drawing E501. Refer to Alternate E-1A for Owner Preferred Alternate Associated with Alternate E-1.

_____ Dollars (\$_____)

Alternate E-1A: Provide Owner Preferred Alternate for All Solar Photovoltaic Equipment and Start-Up Services, Including, But Not Limited to: Solar Photovoltaic Panels, Power Optimizers, Combiners, and Inverters with SolarEdge Technologies, Inc. Being the Owner’s Preferred Manufacturer.

_____ Dollars (\$_____)

Alternate E-2: Provide the Entire Electric Vehicle (EV) Charging System including the EV Chargers, Cable and Conduit, EV Panelboard ‘EV’, Testing, Training, Operations & Maintenance Manuals and Closeout Documents, etc. (All System Equipment Upstream to the EV Service Meter Base). The Base Bid Project Scope (If Alternate E-2 is Not Accepted) is to Provide the Infrastructure for an EV-Ready Building and Site Which Shall Include the EV Service Meter Base and Its Primary Wiring as well as the EV Underground Empty 1” Conduit Branch Circuits (Stubbed Out and Capped at Both Ends) (with Pull Strings) from the EV Panelboard Location to the EVSE Charging Location.

_____ Dollars (\$_____)

Alternate E-2A: Provide Owner Preferred Alternate for All Electric Vehicle (EV) Charging Equipment and Startup Services with ChargePoint, Inc. Being the Owner’s Preferred Manufacturer.

_____ Dollars (\$_____)

ALLOWANCES

See Specification Section 012100-Allowances for Schedule of Allowances.

No.	Description
1	Include an Allowance of \$18,000.00 for Data/Voice
2	Include an Allowance of \$26,500.00 for Security
3	Include an Allowance of \$64,000.00 for Landscaping Planting
4	Include an Allowance of \$16,000.00 for Signage
5	Include an Allowance of \$20,000.00 for Miscellaneous Utility Relocation
6	Include an Allowance of \$500.00 per Thousand Face Brick
7	Include an Allowance of \$55,000.00 for Permits, Governmental Charges, and Inspection Fees.

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UNIT PRICES

Unit prices are complete for labor, equipment, material, overhead and profit. Base bid includes the stipulated allowance quantity of each item. Unused amount will be credited to the Owner by change order at the end of the project.

Description	Unit Price	Unit Measure	Allowance Units
UP#1: Replacement of Authorized Excavation of Unsuitable Soils with Offsite Aggregate Base Course (ABC) Stone Material		Per Cubic Yard	100 CY
UP#2: Replacement of Authorized Rock Excavation in Trenches and Pits (Trench Rock) with Offsite Aggregate Base Course (ABC) Stone Material		Per Cubic Yard	20 CY
UP#3: NCDOT #57 Aggregate		Per Cubic Yard	20 CY
UP#4: Exit Light		Per Each	1
UP#5: Wall Mounted Communications Outlet with Receptacle		Per Each	2
UP#6: 20 Amp Electrical Duplex Receptacle and Circuit		Per Each	2
UP#7: 6-Port Station Data Outlet		Per Each	1
UP#8: Phone Data Drop		Per Each	1

MINORITY BUSINESS PARTICIPATION REQUIREMENTS; 143.128.2.c

Provide with the bid - Under GS 143-128.2(c) the bidder shall identify and include with the bid, Wake County Form MBE-1 Identity of Minority Business Participation, the minority businesses that it will use on the project with the total dollar value of the bids that will be performed by the minority businesses. **All bidders must submit, with the bid, Wake County Form MBE-1 Identity of Minority Business Participation Form even if there is zero MBE participation.**

Also include with the bid a list of the good faith efforts made to solicit minority participation in the bid effort, **Wake County Form MBE-2 Listing of the Good Faith Effort.**

NOTE: A contractor that performs all of the work with its own workforce may submit **Wake County Form MBE-3-Intent to Perform Contract with Own Workforce**, to that effect in lieu of **Wake County Form MBE-2-Listing of the Good Faith Effort.**

After the bid opening - The Owner will consider all bids and alternates and determine the lowest responsible, responsive bidder. Upon notification of being the apparent lowest responsible, responsive bidder, the bidder must then file within **72 hours** of the notification **Wake County Form MBE-4**. It includes that portion of the Work to be Performed by Minority Business. Also included is a description of the portion of work to be executed by minority businesses, expressed as a percentage of the total contract price, which is equal to or more than the 10% goal established. This affidavit shall give rise to the presumption that the bidder has made the required good faith effort and Wake County Form MBE-5 is not necessary,

OR

If less than the 10% goal, **Wake County Form MBE-5** documenting all good faith efforts to meet the goal shall be provided. The document must include evidence of all good faith efforts that were implemented, including any advertisements, solicitations and other specific actions demonstrating recruitment and selection of minority businesses for participation in the project.

MINORITY BUSINESS PARTICIPATION REQUIREMENTS; 143.128.2.c Continues on Next Page

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Note: Bidders must always submit with their bid the Identification of Minority Business Participation Form listing all MBE contractors, vendors, and suppliers that will be used. If there is no MBE participation, then enter none or zero on the form. **Wake County Form MBE-2** or **Wake County Form MBE-3** as applicable must also be submitted with the bid. Failure to submit a required affidavit or form with the bid or within the time required may be grounds for rejection of the bid.

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CERTIFICATION OF PROPOSER:

The Bidder further proposes and agrees hereby to commence work under his Contract on a date to be specified in a written order of Wake County and shall fully complete all work thereunder within the number of consecutive calendar days stipulated in the Supplementary General Conditions. Applicable liquidated damages shall be as stated in Supplementary General Conditions.

The undersigned acknowledges receipt of the following addenda issued during the time of bidding and includes the changes therein in this Proposal:

Addendum Number _____, Dated _____

Addendum Number _____, Dated _____

Addendum Number _____, Dated _____

Addendum Number _____, Dated _____

Addendum Number _____, Dated _____

The undersigned agrees that this Proposal will not be withdrawn for a period of sixty (60) days.

The undersigned agrees to comply with the E-Verify requirements of the General Statutes of North Carolina, all contractors, including any subcontractors employed by the contractor(s), by submitting a bid, proposal or any other response, or by providing any material, equipment, supplies, services, etc., attest and affirm that they are aware and in full compliance with Article 2 of Chapter 64, (NCGS64-26(a)) relating to the E-Verify requirements.

The undersigned agrees not to discriminate in any manner on the basis of race, natural hair or hairstyles, ethnicity, creed, color, sex, pregnancy, marital or familial status, sexual orientation, gender identity or expression, national origin or ancestry, marital or familial status, pregnancy, National Guard or veteran status, religious belief or non-belief, age, or disability with reference to the subject matter of this Contract. The Parties agree to comply with the provisions and intent of Wake County Ordinance SL 2017-4. This anti-discrimination provision shall be binding on the successors and assigns of the Parties with reference to the subject matter of this Contract.

The undersigned further agrees that in the case of failure on his part to execute the said Contract and the Bond within ten (10) consecutive calendar days after written notice being given of the award of the Contract, the check, cash or Bid Bond accompanying this Bid shall be paid into the funds of Owner's Account set aside for this Project, as liquidated damages for such failure; otherwise the check, cash or Bid Bond accompanying this Proposal shall be returned to the undersigned.

Respectfully submitted this ___ day of _____, 20__

PROPOSER SIGNATURE PAGE

(Name of Firm or Corporation making Bid)

By: _____

WITNESS:

(Proprietorship or Partnership)

Title: _____
(Owner, Partner, or Corporation President or
Vice President only)

Address: _____

License Number: _____



Affix Corporate Seal Above

ATTEST:

By: _____

Title: _____
(Corporation Secretary or Assistant Secretary only)



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WAKE COUNTY

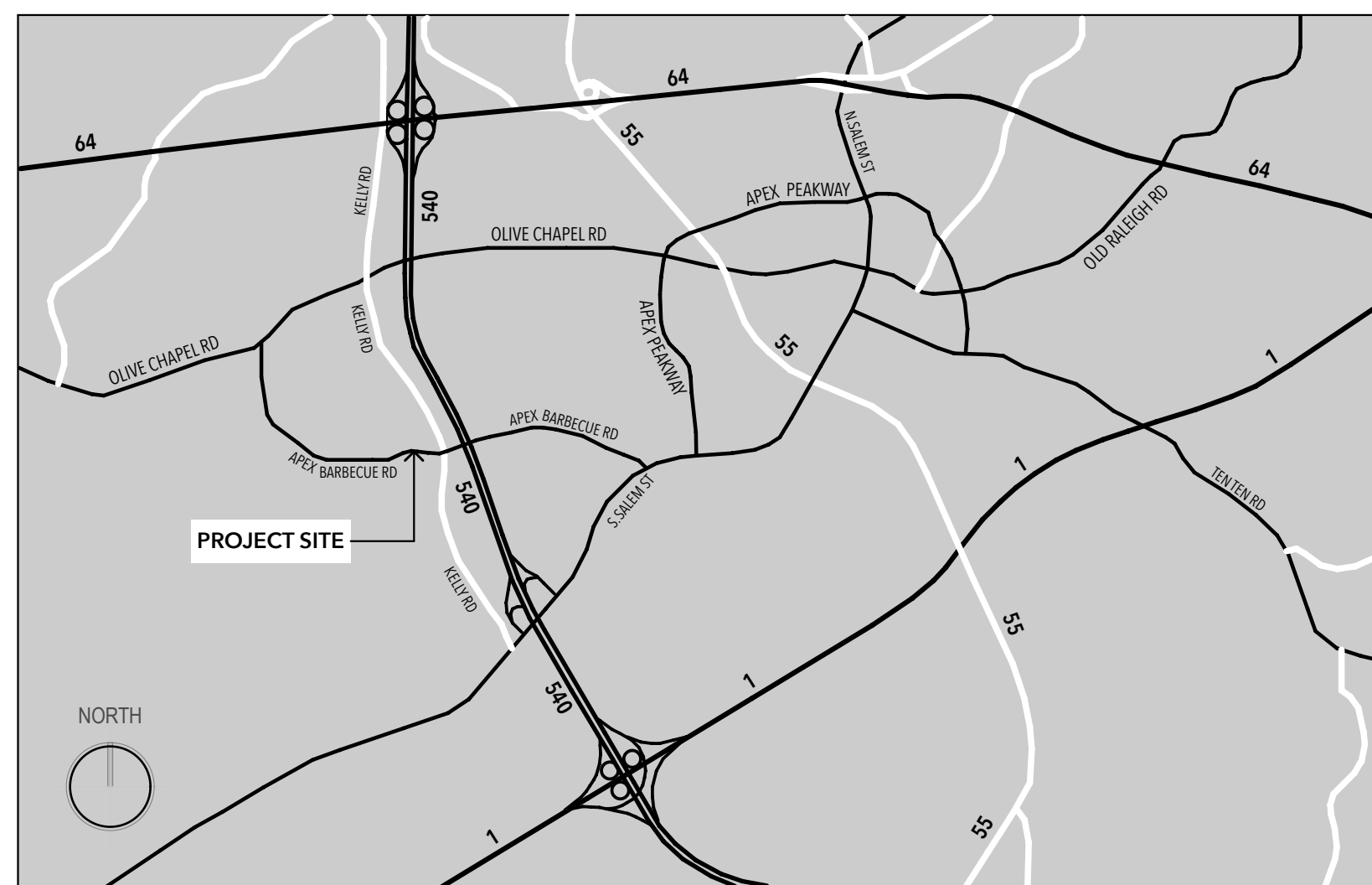
6950 APEX BARBECUE ROAD
APEX, NORTH CAROLINA 27502

CONSTRUCTION DOCUMENTS
25 SEPTEMBER 2023

OWNER:
WAKE COUNTY FACILITIES DESIGN & CONSTRUCTION
336 S. FAYETTEVILLE STREET, SUITE 1100
RALEIGH, NC, 27601
PHONE: [919] 856-6354
www.wake.gov

ARCHITECT:
WILLIARD STEWART ARCHITECTS, PA
122 COX AVENUE
RALEIGH, NC 27606
TEL: [919] 834.0620
www.williardstewartarchitects.com

CONSULTANTS:
CIVIL ENGINEER/ LANDSCAPE ARCHITECT: **TIMMONS GROUP**
5410 TRINITY ROAD, SUITE 102
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PHONE: [919] 866-4951
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STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING ENGINEER: **DEWBERRY**
2610 WYCLIFF RD, SUITE 410
RALEIGH, NORTH CAROLINA 27607-3060
PHONE: [919] 881.9939
www.dewberry.com



J1 VICINITY MAP
NOT TO SCALE



OWNER/APPLICANT: WAKE COUNTY
PO BOX 580 RALEIGH, NC 27602
337 S. SAUSBURY STREET, RALEIGH, NC 27601
PIN: 0731179775
EXISTING ZONING: RR (RURAL RESIDENTIAL)
ACREAGE / SF: 1.84 ACRES
WETLAND AREA: 0.00 ACRES
AREA IN FLOODPLAIN: 0.00 ACRES
WATERSHED: NEUSE RIVER BASIN
EXISTING IMPERVIOUS AREA: 7,405 SF (10.49%)
PROPOSED IMPERVIOUS AREA: 29,098 SF (41.23%)

SEE CIVIL DRAWING C0.0 FOR ADDITIONAL SITE DATA

F5 SITE DATA
NOT TO SCALE

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- G102 CODE SUMMARY
- G103 CODE SUMMARY
- G104 FIRE RATED DETAILS AND LEGENDS

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- C2.0 EROSION CONTROL PLAN PHASE 1
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- C3.1 UTILITY PLAN
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WAKE COUNTY
APEX MAIN EMS STATION
6950 APEX BARBECUE ROAD
APEX, NORTH CAROLINA 27502
OWNER: WAKE COUNTY FACILITIES DESIGN & CONSTRUCTION
VISA PROJECT NUMBER: 600-19-01

CONSTRUCTION DOCUMENTS

DRAWING TITLE:

COVER SHEET

SHEET: **G101**

DATE: 25 SEPTEMBER 2023

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: APEX MAIN EMS STATION
Address: 6950 APEX BARBECUE ROAD, APEX, NORTH CAROLINA
Owner / Authorized Agent: WAKE COUNTY FACILITIES DESIGN AND CONSTRUCTION

CONTACT: PAUL W. STEWART, III | WILLIARD STEWART ARCHITECTS, PA
DESIGNER FIRM NAME LICENSE TELEPHONE EMAIL
Architectural: WILLIARD STEWART ARCHITECTS, PA PAUL W. STEWART, III 11266 919-834-0620 paul@wscarchitects.com

2018 NC BUILDING CODE: New Building Addition Renovation
2018 NC EXISTING BUILDING CODE: Existing: Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III
Risk Category [Table 1604.5]: Current: I II III IV Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA13D
Standpipes: No Yes Class: I II III Wet Dry
Fire District: No Yes Flood Hazard Area: No Yes

Table with 3 columns: FLOOR, EXISTING (SQ. FT.), NEW (SQ. FT.), SUB-TOTAL. Rows include Basement, Ground Floor, Mezzanine, 2nd Floor, 3rd Floor, and TOTAL.

ALLOWABLE AREA
Primary Occupancy Classification: Assembly A-1 A-2 A-3 A-4 A-5
Business Educational
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM

ACCESSORY OCCUPANCY CLASSIFICATION(S): N/A
INCIDENTAL USES [Table 509]: N/A
SPECIAL USES [Chapter 4 - List Code Sections]: 406 [Motor Vehicle Related Occupancies]
SPECIAL PROVISIONS [Chapter 5 - List Code Sections]: N/A

Actual Area of Occupancy A / Allowable Area of Occupancy A + Actual Area of Occupancy B / Allowable Area of Occupancy B <= 1

Table with 5 columns: STORY NO., DESCRIPTION AND USE, BLDG AREA PER STORY (ACTUAL), TABLE 506.2.1 AREA, AREA FOR FRONTAGE INCREASE 1.5, ALLOWABLE AREA PER STORY OR UNLIMITED 1.5. Rows include BUSINESS [B], RESIDENTIAL [R-2], and STORAGE [S-2].

1 Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)

Table with 4 columns: ALLOWABLE HEIGHT, ALLOWABLE, SHOWN ON PLANS, CODE REFERENCE. Rows include Building Height in Feet [Table 504.3] and Building Height in Stories [Table 504.4].

1 Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4
2 The maximum height of air traffic control towers must comply with Table 412.3.1.
3 The maximum height of open parking garages must comply with Table 406.5.4.

Table with 8 columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), RATING, PROVIDED (+), REDUCED (-), DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, SHEET # FOR RATED PENETRATION, SHEET # FOR RATED JOINTS. Rows include Structural Frame, Bearing Walls, Exterior, Interior, Nonbearing Walls and Partitions, Floor Construction, Roof Construction, Shaft Enclosures, Corridor Separation, etc.

Table with 4 columns: FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES, DEGREE OF OPENINGS PROTECTION [TABLE 705.8], ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%). Row includes [ALL] >30'.

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial
Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: G103
Fire and/or smoke rated wall locations [Chapter 7]
Assumed and real property line locations (if not on the site plan)
Exterior wall opening area with respect to distance to assumed property lines [705.8]

Table with 7 columns: TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS REQUIRED, TYPE A UNITS PROVIDED, TYPE B UNITS REQUIRED, TYPE B UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED.

Table with 5 columns: LOT OR PARKING AREA, TOTAL NUMBER OF PARKING SPACES REQUIRED, PROVIDED, NUMBER OF ACCESSIBLE SPACES PROVIDED (REGULAR WITH 5' ACCESS AISLE, VAN SPACES WITH 132" ACCESS AISLE, 8' ACCESS AISLE), TOTAL # ACCESSIBLE PROVIDED.

Table with 10 columns: USE, WATERCLOSETS (MALE, FEMALE, UNISEX), URINALS (MALE, FEMALE, UNISEX), LAVATORIES, SHOWERS / TUBS, DRINKING FOUNTAINS (REGULAR, ACCESSIBLE). Rows include BUSINESS, RESIDENTIAL, STORAGE.

SPECIAL APPROVALS
SPECIAL APPROVALS: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)
TOWN OF APEX [SITE]
WAKE COUNTY [BUILDING PERMITTING]
NCDOT [STATE ROAD]

ENERGY SUMMARY
ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided.
Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)

THERMAL ENVELOPE (Prescriptive method only)
Roof / Ceiling Assembly (each assembly)
Description of assembly: Standing Seam Metal Roof Over 6" Polyisocyanurate Rigid Insulation on Metal Roof Deck
U-Value of assembly: 0.027
R-Value of insulation: 5.8 Per Inch (34.8 Total)

TYPICAL EXTERIOR WALL WITH 8" CMU AND MASONRY VENEER
Description of assembly: Masonry Veneer, Air Space, 2" Spray Foam Insulation, 8" CMU
U-Value of assembly: 0.059
R-Value of insulation: 6.5 per inch (R-13.0 Total)

TYPICAL EXTERIOR WALL WITH 8" CMU AND MASONRY VENEER & INTERIOR WALL FURRING
Description of assembly: Masonry Veneer, Air Space, 2" Spray Foam Insulation, 8" CMU, 7/8" Mil. Furring, 5/8 GWB
U-Value of assembly: 0.059
R-Value of insulation: 6.5 per inch (R-13.0 Total)

INTERIOR WALL ASSEMBLY ADJACENT TO UNCONDITIONED SPACE
INTERIOR WALL WITH 8" CMU, 2" RIGID INSULATION AND PARTIAL INTERIOR WALL
Description of assembly: Vehicle Bay Unconditioned Side (Heat Only), 8" CMU, 2" Spray Foam Insulation, Furring, 5/8 GWB
U-Value of assembly: 0.057
R-Value of insulation: 6.5 per inch (R-13.0 Total)

Walls Below Grade (each assembly)
Description of assembly: N/A
U-Value of assembly: N/A
R-Value of insulation: N/A

Floors Over Unconditioned Space (each assembly)
Description of assembly: N/A
U-Value of assembly: N/A
R-Value of insulation: N/A

Floors Slab on Grade (each assembly)
Description of assembly: 4" Concrete Slab with Vapor Barrier [Non-Vehicle Bay], 7" Concrete Slab with Vapor Barrier [Vehicle Bay]
U-Value of assembly: 10
R-Value of insulation: 10

STRUCTURAL DESIGN [SEE STRUCTURAL]
MECHANICAL DESIGN [SEE MECHANICAL]
ELECTRICAL DESIGN [SEE ELECTRICAL]

Table with 3 columns: DATE, NO., DESCRIPTION. Rows include 09/25/23 BID DOCUMENTS, 09/26/23 PERMIT SUBMITTAL REVISION.

Roof / Ceiling Assembly (each assembly)
Description of assembly: Standing Seam Metal Roof Over 6" Polyisocyanurate Rigid Insulation on Metal Roof Deck
U-Value of assembly: 0.027
R-Value of insulation: 5.8 Per Inch (34.8 Total)

TYPICAL EXTERIOR WALL WITH 8" CMU AND MASONRY VENEER
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U-Value of assembly: 0.059
R-Value of insulation: 6.5 per inch (R-13.0 Total)

Professional stamps for WILLIARD STEWART ARCHITECTS, PA and WILLIARD STEWART ARCHITECTS, including address 122 COX AVENUE, RALEIGH, NC 27605 and contact information.

WAKE COUNTY APEX MAIN EMS STATION
6950 APEX BARBECUE ROAD
APEX, NORTH CAROLINA 27502
OWNER: WAKE COUNTY FACILITIES DESIGN & CONSTRUCTION

CONSTRUCTION DOCUMENTS
DRAWING TITLE: CODE SUMMARY
SHEET: G102

UL Product IQ*

Design/Systems/Construction/Assembly Usage Checklist

- Activities being performed should be considered if all items are in the particular requirements covering the installation and use of UL Certified products, equipment, systems, devices, and materials.
- Activities being performed should be considered before installation.
- Fire resistance assemblies and products are developed by the design submittal and have been investigated by UL for compliance with applicable requirements. The published information cannot address every construction scenario encountered in the field.
- When field issues arise, it is recommended the field contact for assistance be the technical service staff provided by the product manufacturer listed for the design. Users of the resistance assemblies are advised to consult the general code references for each product category and each group of assemblies. The Guide Information includes specific concerning alternate means and alternate methods of construction.
- One product with more than UL's Mark was considered Certified.

XI-EBO - Continuity Head-of-wall Joint Systems

System No. C.J-D-0004
June 06, 2012

Joint Rating - 2 Hr
Nominal Joint Width - 1-1/2 in.
Class II Movement Capabilities - 50% Compression and Extension

1. Weld Assembly - This is the rated approved overhead steel stud assembly that is constructed in the individual UL900, 1400 or 1600 Series Wall and Partition Design in the U.S. The Reinforcing Directory and steel stud assembly includes the following construction features:

- A. Steel Stud and Ceiling Runners** - Flange and ceiling runner shall consist of galvanized steel channels used to accommodate steel studs (18). Flange height of ceiling runner shall be min 1/4 in. (6 mm) greater than max assembled joint width. Ceiling runner installed perpendicular to direction of fixed steel deck and secured to valleys with steel fasteners or welds spaced max 24 in. (610 mm) OC.
- A1. Light Gauge Framing** - (2014) - Notched Ceiling Runner - An alternate to the ceiling runner in Item 1A, notched ceiling runner to consist of galvanized steel channel with notched flanges used to accommodate steel studs (18). Notched ceiling runner installed perpendicular to direction of fixed steel deck and secured to valleys with steel fasteners or welds spaced max 24 in. (610 mm) OC.
- BRADY CONSTRUCTION INNOVATIONS INC. USA SLIPTRACK SYSTEMS** - Type S-LT
- CALIFORNIA EXPANDED METAL PRODUCTS CO.** - C-37
- CLAIRBROTHER BUILDING SYSTEMS** - Type S-LT, S-LT-H
- CONSOLIDATED FABRICATORS CORP. BUILDING PRODUCTS DIV.** - RTT200, RTT300
- METALFORMING, DIV OF WARE INDUSTRIES INC.** - Type S-LT
- METAL LIFE INC.** - The System
- OLAMAR SUPPLY INC.** - ST250, ST300
- OSCAR STEEL STEEL MANUFACTURING CO.** - Standard Track
- TELLING INDUSTRIES L.L.C.** - True Action Deflection Track

A2. Light Gauge Framing - (2014) - Vertical Deflection Ceiling Runner - When the joint width is less than or equal to 3/4 in. (19 mm), vertical deflection ceiling runner may be used as an alternate to the ceiling runner in Items 1A and 1A1. Vertical deflection ceiling runner to consist of galvanized steel channel with notched flanges, formed with curved flanges (18) provided with steel fasteners for permanent fastening of steel studs. Flanges used to accommodate steel studs (18). Vertical deflection ceiling runner installed perpendicular to direction of fixed steel deck and secured to valleys with steel fasteners or welds spaced max 24 in. (610 mm) OC.

H&B STEEL NETWORK INC. - NotchLock, VFD60, VFD60, VFD60 and VFD60

A3. Light Gauge Framing - (2014) - Notched Ceiling Runner - An alternate to the ceiling runners in Items 1A through 1A3, notched ceiling runner to consist of C-shaped galvanized steel channel with notched flanges (18) used to accommodate steel studs (18). Notched ceiling runner installed perpendicular to direction of fixed steel deck and secured to valleys with steel fasteners or welds spaced max 24 in. (610 mm) OC.

OLAMAR SUPPLY INC. - Type S-LT

2. Studs - Steel studs to be min 3-1/2 in. (89 mm) wide. Studs not 3/4 in. (19 mm) less in length than assembly height with bottom flange in and resting on floor runner and with top flange in ceiling runner without attachment. When notched ceiling runner (1A1) is used, steel studs secured to notched ceiling runner with No. 8 @ 12 in. (305 mm) long wide-flange steel screws at midheight of stud or each end of stud. When vertical deflection ceiling runner (1A2) is used, steel studs secured to notched vertical deflection ribs. Through the battings, with steel screws at midheight of each stud. Stud spacing not to exceed 24 in. (610 mm) OC.

3. Ceiling Board - (2014) - Min 5/8 in. (16 mm) thick gypsum board sheath installed on each side of wall. Wall to be constructed as specified in the individual UL900 and Partion Design in the U.S. Fire Resistance Directory, except that a min 1-1/2 in. (38 mm) gap shall be maintained between the top of the gypsum board and the bottom of the steel deck units and the top line of screws shall be installed into the studs 3-1/2 in. (89 mm) below the lower surface of the floor roof.

4. Supporting Steel System - Structural steel or other members supporting the steel deck.

5. Steel Deck - Max 3 in. (76 mm) deep by min 20 MSGS galv steel deck, fluted max 12 in. (305 mm) on center. Welded or mechanically fastened to supports (Item 2A).

6. Concrete (Not Shown, Optional) - Steel deck may be topped with reinforced concrete. Thickness of concrete may vary.

3. Joint System - Max separation between bottom of steel deck and top of wall assembly at time of installation of joint system is 1-1/2 in. (38 mm). Joint system is designed to accommodate a max 50 percent compression or extension from its installed width. The joint system consists of forming material and a fill material, as follows:

- A. Forming Material** - Non-compressed 1/2 in. (13 mm) thick rigid foam insulation cut approx 1/2 in. (13 mm) wider than the flange with a length approx equal to the overall thickness of the wall. Multiple pieces stacked on top of each other, as needed, and then compressed 50 percent in thickness and inserted into the cavity above the top of the ceiling runner. The mineral wool insulation is placed between each side of the ceiling runner. Flush with wall surfaces. Additional forming material, dependent on Item 2A, to be used in conjunction with the steel studs to be cut to fit the gap between the top of the gypsum board and bottom of the steel deck. The strip of mineral wool is compressed 50 percent and tightly packed. **ROCK WOOL MANUFACTURING CO.** - Uleka Blue®
- ROOMKOL** - SAFE
- THERMAFIBER INC.** - Type S-LT

A1. Forming Material - Plug - (Optional, Not Shown) Prefabricated mineral wool plugs, formed to the shape of the fluted floor units, 1/2 in. (13 mm) in length. Fill the flutes above the ceiling channel. The plugs shall compress 50 percent in the ceiling cavity. Flush with wall surfaces. Additional forming material, dependent on Item 2A, to be used in conjunction with the steel studs to be cut to fit the gap between the top of the gypsum board and bottom of the steel deck.

HELI CONSTRUCTION CHEMICALS, DIV OF HELIX INC. - CP 107 Spaced Plug

A2. Forming Material - Strip - (Optional, Not Shown) Non-compressed 1/2 in. (13 mm) thick rigid foam insulation cut approx 1/2 in. (13 mm) wider than the flange with a length approx equal to the overall thickness of the wall. Multiple pieces stacked on top of each other, as needed, and then compressed 50 percent in thickness and inserted into the cavity above the top of the ceiling runner. The mineral wool insulation is placed between each side of the ceiling runner. Flush with wall surfaces. Additional forming material, dependent on Item 2A, to be used in conjunction with the steel studs to be cut to fit the gap between the top of the gypsum board and bottom of the steel deck. The strip of mineral wool is compressed 50 percent and tightly packed. **ROCK WOOL MANUFACTURING CO.** - Uleka Blue®

B. Fill, Mineral Wool Insulation - Min 1 1/2 in. (38 mm) thick (or thickness 1 1/2 in. (38 mm) or less) mineral wool insulation applied on each side of the wall to completely cover mineral wool forming material and to develop a min 1/2 in. (13 mm) joint gypsum board and steel deck on both sides of wall.

HELI CONSTRUCTION CHEMICALS, DIV OF HELIX INC. - CP-107-107 Flexible Joint Form

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Labels (Labels) on 10/10/09-08

The appearance of a company's name or product in this database does not in itself assure that products are identified have been manufactured under UL's Supervision. Only those products bearing the UL Mark should be considered as UL Certified and covered by UL's Listing. Always look for the UL Mark on the product.

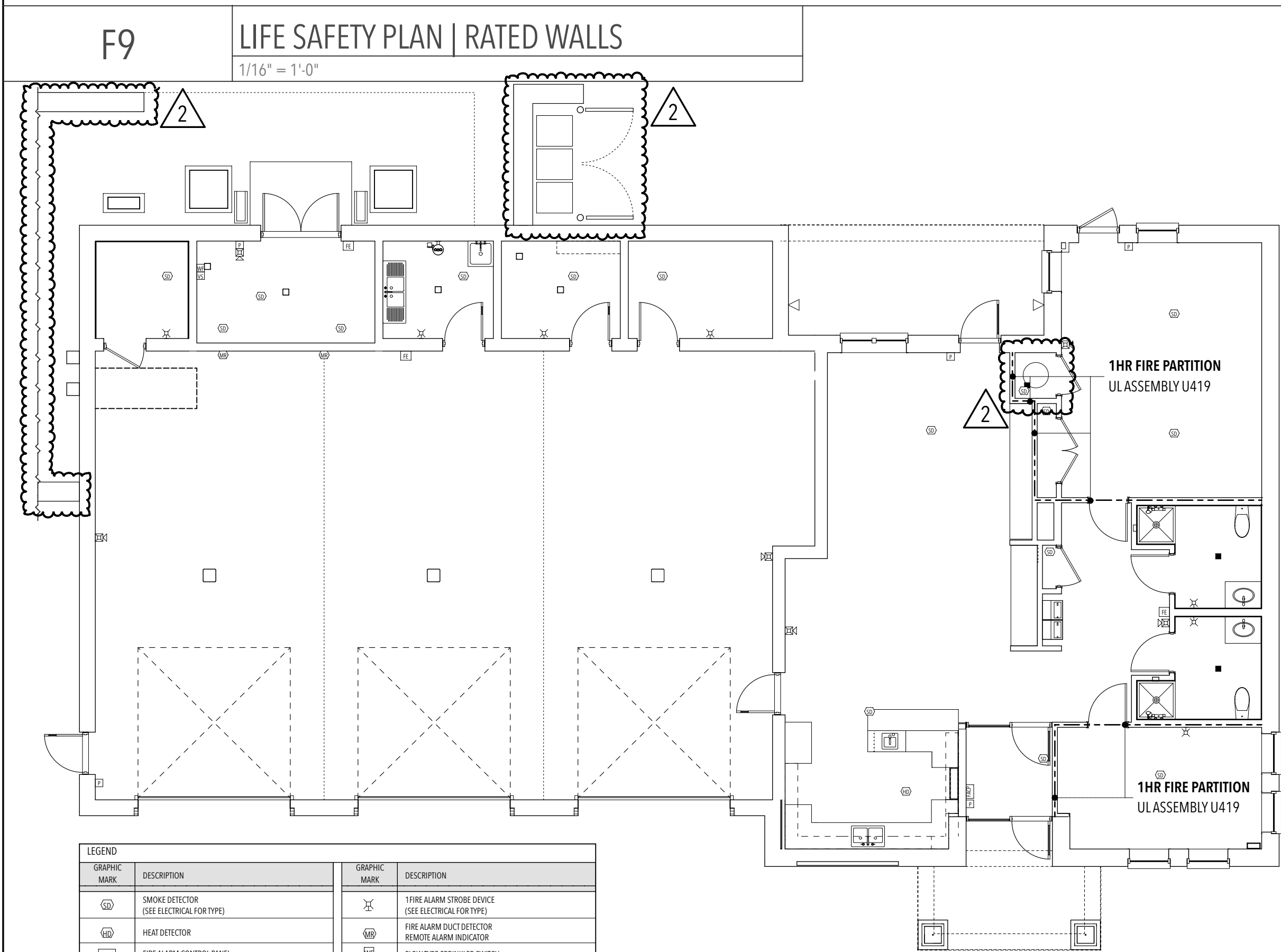
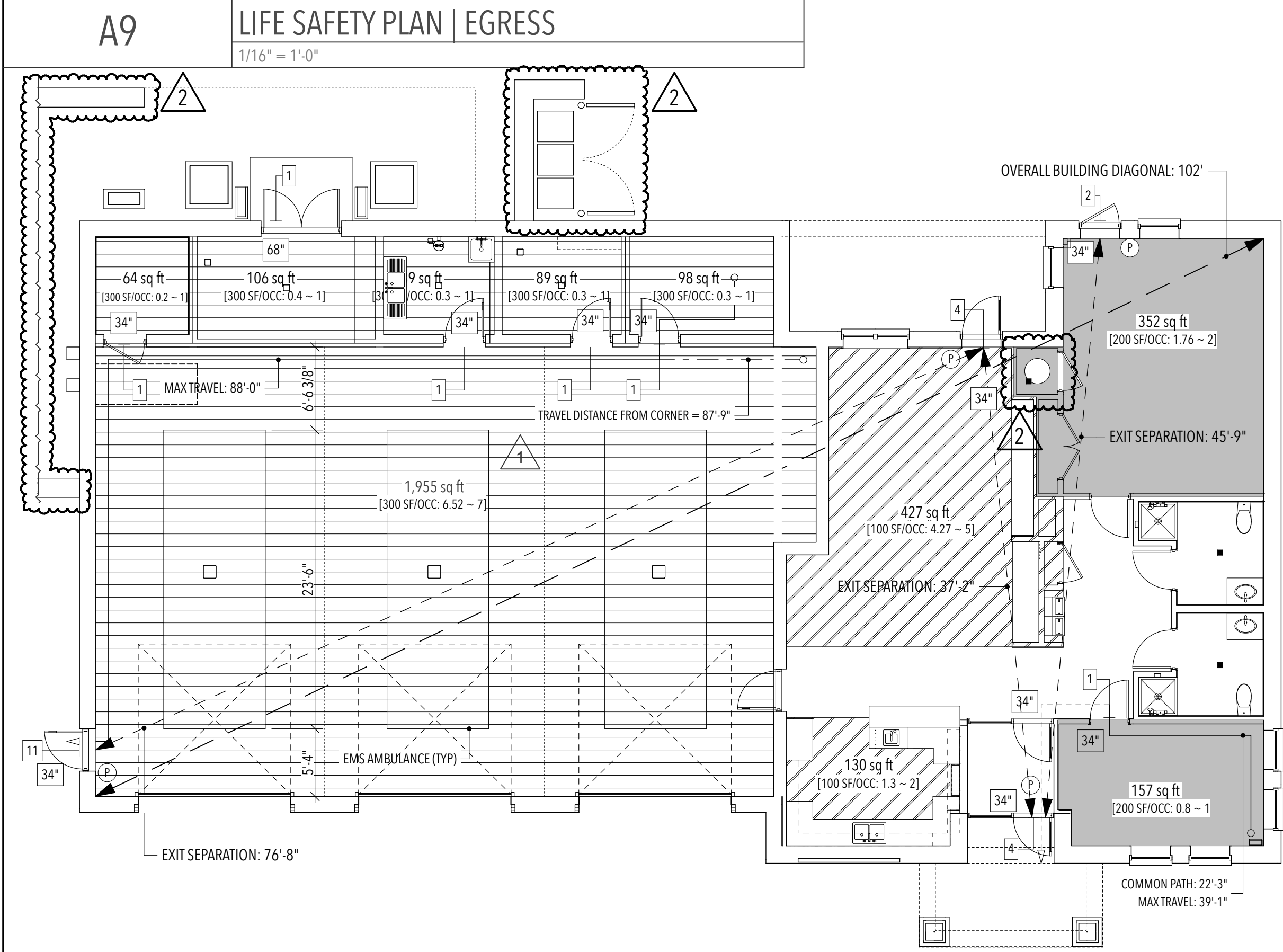
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J6 UL DETAILS
NOT TO SCALE

LIFE SAFETY LEGEND

OCCUPANCY GROUPS		TRAVEL DISTANCE	
	CIRCULATION		START
	RESIDENTIAL (R-2)		COMMON PATH
	BUSINESS (B)		EGRESS PATH
	STORAGE (S-2)		EXIT
EXITS			# OF OCCUPANTS SERVED BY OPENING
	EXIT DOOR WITH PANIC HARDWARE		CLEAR WIDTH OF OPENING



LEGEND

GRAPHIC MARK	DESCRIPTION	GRAPHIC MARK	DESCRIPTION
	SMOKE DETECTOR (SEE ELECTRICAL FOR TYPE)		TIRE ALARM STROBE DEVICE (SEE ELECTRICAL FOR TYPE)
	HEAT DETECTOR		FIRE ALARM PULL STATION
	FIRE ALARM CONTROL PANEL		FLOW TYPE SPRINKLER SWITCH
	FIRE ALARM MANUAL PULL STATION		TAMPER TYPE SPRINKLER SWITCH
	TIRE ALARM STROBE & STROBE DEVICE (SEE ELECTRICAL FOR TYPE)		SEMI-RECESSED FIRE EXTINGUISHER CABINET

NO.	DESCRIPTION	DATE
1	BID DOCUMENTS	09/25/23
2	WAKE COUNTY BUILDING PERMIT COMMENTS [CYCLE 1]	10/11/23



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williardstewartarchitects.com

WILLIARD STEWART ARCHITECTS

WAKE COUNTY
APEX MAIN EMS STATION
6950 APEX BARBECUE ROAD
APEX, NORTH CAROLINA 27502

OWNER:
WAKE COUNTY FACILITIES
DESIGN & CONSTRUCTION

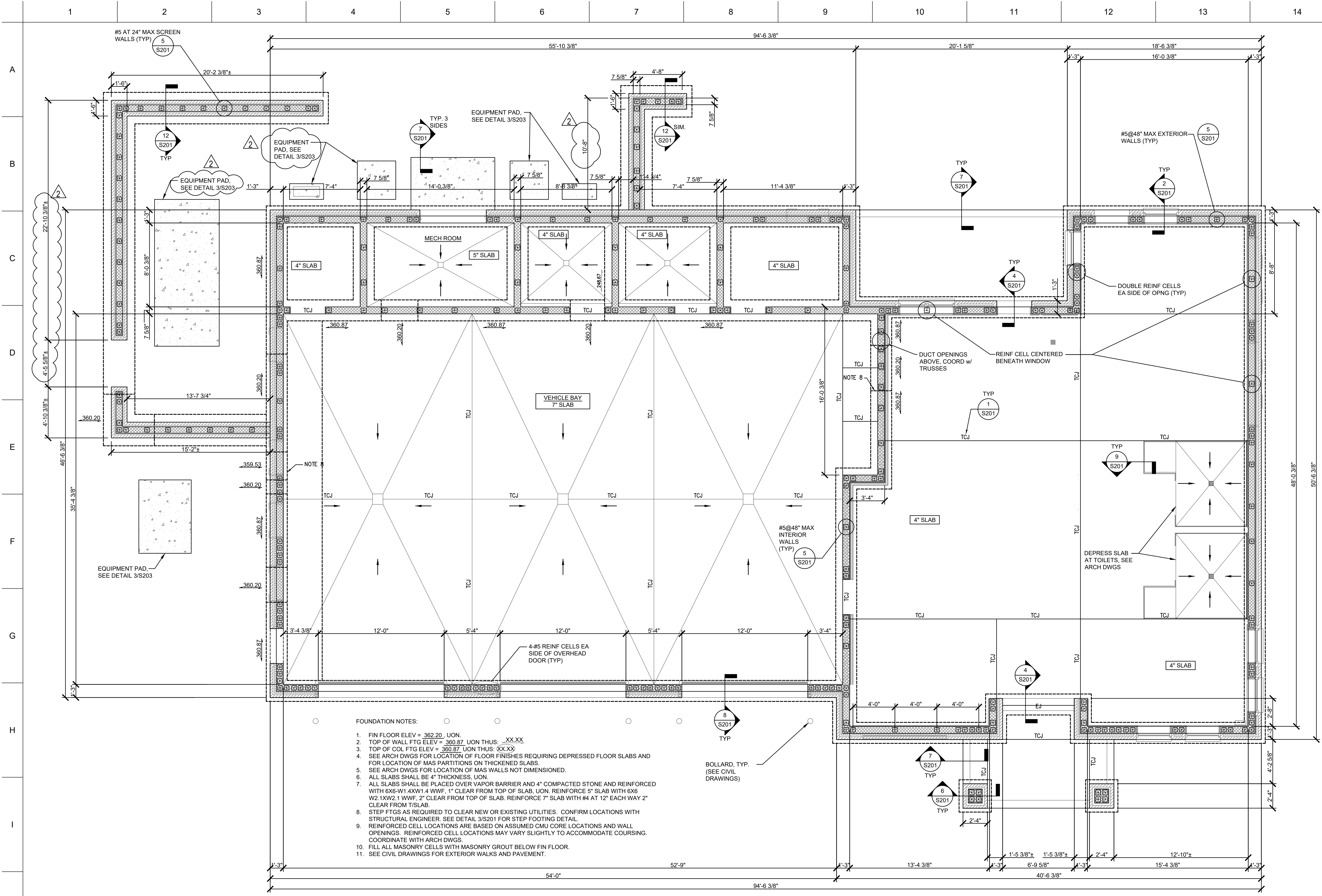
MSA PROJECT NUMBER:
600-19-01

CONSTRUCTION DOCUMENTS

DRAWING TITLE:
CODE SUMMARY

SHEET:
G103

DATE: 25 SEPTEMBER 2023



- FOUNDATION NOTES:**
1. FIN FLOOR ELEV = 362.20 UON.
 2. TOP OF WALL FTG ELEV = 360.87 UON THUS: XX.XX
 3. TOP OF COL FTG ELEV = 360.87 UON THUS: XX.XX
 4. SEE ARCH DWGS FOR LOCATION OF FLOOR FINISHES REQUIRING DEPRESSED FLOOR SLABS AND FOR LOCATION OF MAS PARTITIONS ON THICKENED SLABS.
 5. SEE ARCH DWGS FOR LOCATION OF MAS WALLS NOT DIMENSIONED.
 6. ALL SLABS SHALL BE 4" THICKNESS UON.
 7. ALL SLABS SHALL BE PLACED OVER VAPOR BARRIER AND 4" COMPACTED STONE AND REINFORCED WITH 6X6-W1.4XW1.4 WWF, 1" CLEAR FROM TOP OF SLAB. UON, REINFORCE 5" SLAB WITH 6X6 W2.1XW2.1 WWF, 2" CLEAR FROM TOP OF SLAB. REINFORCE 7" SLAB WITH #4 AT 12" EACH WAY 2" CLEAR FROM T/SLAB.
 8. STEP FTGS AS REQUIRED TO CLEAR NEW OR EXISTING UTILITIES. CONFIRM LOCATIONS WITH STRUCTURAL ENGINEER. SEE DETAIL 3/S201 FOR STEP FOOTING DETAIL.
 9. REINFORCED CELL LOCATIONS ARE BASED ON ASSUMED CMU CORE LOCATIONS AND WALL OPENINGS. REINFORCED CELL LOCATIONS MAY VARY SLIGHTLY TO ACCOMMODATE COURSING.
 10. FILL ALL MASONRY CELLS WITH MASONRY GROUT BELOW FIN FLOOR.
 11. SEE CIVIL DRAWINGS FOR EXTERIOR WALKS AND PAVEMENT.

1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 0' 2' 4' 8'

DATE	09/25/23
DESCRIPTION	Bid Documents
NO.	1
DESCRIPTION	WC Bldg Permit Comments Cycle 1
DATE	10/12/23
DESCRIPTION	WC Bldg Permit Comments Cycle 1
NO.	2
DESCRIPTION	WC Bldg Permit Comments Cycle 1
WILLIARD STEWART ARCHITECTS williardstewartarchitects.com	
OWNER:	WAKE COUNTY FACILITIES DESIGN & CONSTRUCTION
PROJECT NUMBER:	50146007
CONSTRUCTION DOCUMENTS	
DRAWING TITLE:	STRUCTURAL FOUNDATION PLAN
SHEET:	S101
DATE:	25 SEPTEMBER 2023