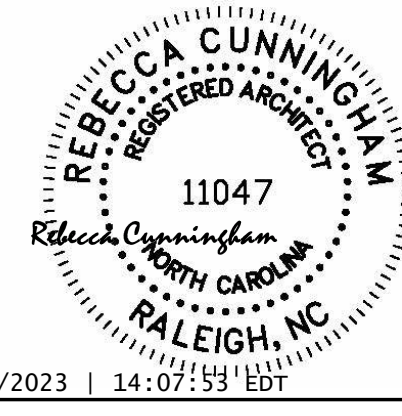




NORTH CAROLINA DEPARTMENT OF ADULT CORRECTION

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CADD DWG NO: G-001
JOB ORDER NO: 4368
PLOT DATE: 09/19/23

SAMPSON CORRECTIONAL INSTITUTION
421 NW BLVD, CLINTON, NC 28328

FOODSERVICE BUILDING REROOF

SCO ID # 23-26409-01A

COVER SHEET

G-001

FOODSERVICE BUILDING REROOF

SAMPSON CORRECTIONAL INSTITUTION
421 NW BLVD, CLINTON, NC 28328
ISSUED FOR CONSTRUCTION 9/15/2023

JOB ORDER # 4368
SCO ID # 23-26409-01A

<p>SYMBOL LEGEND</p>	<p>ARCHITECT / ENGINEERS OF RECORD</p> <p>ARCHITECT Rebecca Cunningham 919 324 1265 Rebecca.Cunningham@dac.nc.gov</p> <p>CIVIL N/A CIVIL NAME CIVIL PHONE CIVIL EMAIL</p> <p>STRUCTURAL N/A STRUCTURAL NAME STRUCTURAL PHONE STRUCTURAL EMAIL</p> <p>MECHANICAL N/A MECHANICAL NAME MECHANICAL PHONE MECHANICAL EMAIL</p> <p>PLUMBING N/A PLUMBING NAME PLUMBING PHONE PLUMBING EMAIL</p> <p>FIRE PROTECTION N/A FIRE PROTECT NAME FIRE PROTECT PHONE FIRE PROTECT EMAIL</p> <p>ELECTRICAL N/A ELECTRICAL NAME ELECTRICAL PHONE ELECTRICAL EMAIL</p> <p>FIRE ALARM N/A FIRE ALARM NAME FIRE ALARM PHONE FIRE ALARM EMAIL</p> <p>ELECTRONICS N/A ELECTRONICS NAME ELECTRONICS PHONE ELECTRONICS EMAIL</p>	<p>DRAWING INDEX</p> <p>GENERAL G-001 COVER SHEET G-003 APPENDIX B</p> <p>ARCHITECTURAL AS101 ARCHITECTURAL SITE PLAN A-140 ROOF PLAN A-201 EXTERIOR ELEVATIONS A-501 ENLARGED DETAILS - EXTERIOR</p>	
<p>1</p>	<p>2</p> <p>VICINITY MAP</p>	<p>3</p> <p>LOCATION MAP</p>	<p>4</p> <p>KEY PLAN</p>

2018 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL ROOF PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: SAMPSON CC FOODSERVICE BUILDING ROOF REPLACEMENT
Address: 421 NW BLVD CLINTON NC Zip Code 28328
Owner/Authorized Agent: Rebecca Cunningham Phone # (919) 324-1265 E-Mail rebecca.cunningham@dac.nc.gov
Owned By: City/County Private State
Code Enforcement Jurisdiction: City County State

CONTACT: -
DESIGNER: -
Architectural: FIRM NCDAC NAME Rebecca Cunningham LICENSE # NC#11047 TELEPHONE # (919) 637-2501 E-MAIL rebecca.cunningham@dac.nc.gov
Civil: N/A
Electrical: N/A
Fire Alarm: N/A
Plumbing: N/A
Mechanical: N/A
Sprinkler-Standpipe: N/A
Structural: N/A

2018 NC CODE FOR: Roof Replacement Roof Recover Roof Repair
CONSTRUCTED: (date) 1990
CURRENT OCCUPANCY(S) (Ch. 3) : Assembly A-3

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
(check all that apply)
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes (Primary)

Gross Area (sq. ft.):								
STORIES	AREA A	AREA B	AREA C	AREA D	AREA E	AREA F	AREA G	TOTAL
1	6750	-	-	-	-	-	-	6750

FIRE PROTECTION REQUIREMENTS N/A

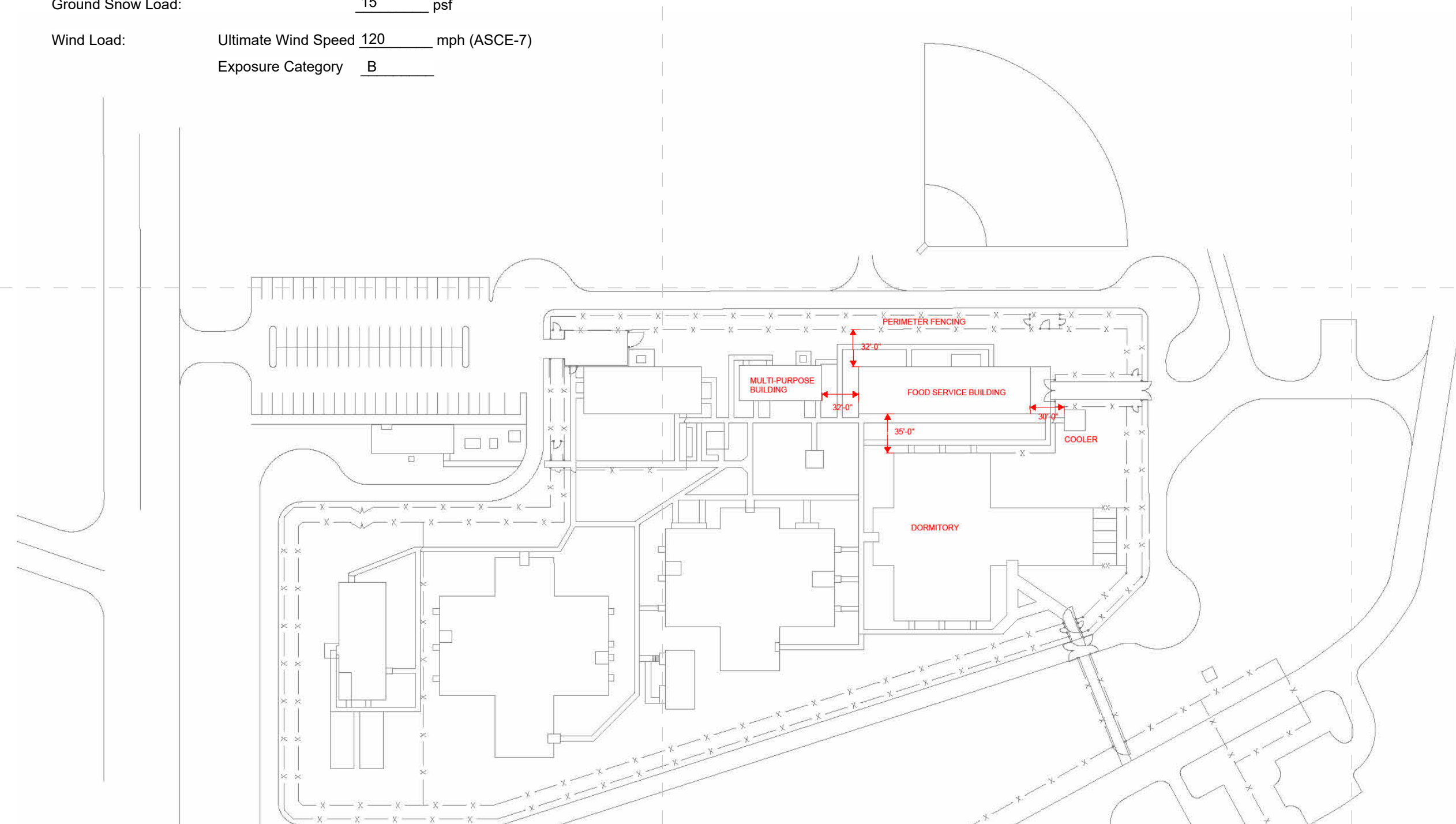
2018 NC Administrative Code and Policies Appendix B for Roof

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY
Roof Construction, including supporting beams and joists	-	-	-
Roof Ceiling Assembly	-	-	-
Column Supporting Roof	-	-	-

STRUCTURAL DESIGN

(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
Importance Factors: Snow (IS) 1.10
Seismic (IE) 1.25
Live Loads: Roof 20 psf
Ground Snow Load: 15 psf
Wind Load: Ultimate Wind Speed 120 mph (ASCE-7)
Exposure Category B



FIRE SEPERATION MAP



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421 NW BLVD, CLINTON, NC 28328

FOODSERVICE BUILDING REROOF

SCO ID # 23-26409-01A

APPENDIX B

G-003

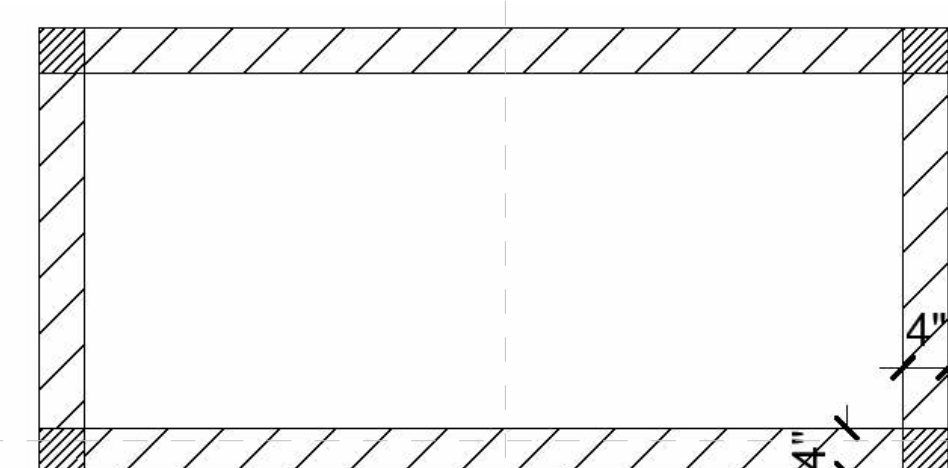
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D
C
B
A



SITE STAGGING, STORAGE AND SECURITY PLAN



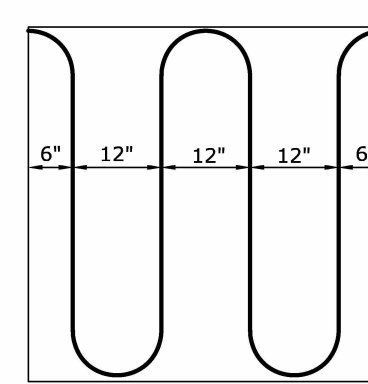
WIND UPLIFT PRESSURE ZONES

- FIELD ROOF = 34 PSF
- 4'-0" PERIMETERS = 52 PSF
- 4'-0" X 4'-0" CORNERS = 74 PSF

1 Wind Uplift Zone
AS101 N.T.S.

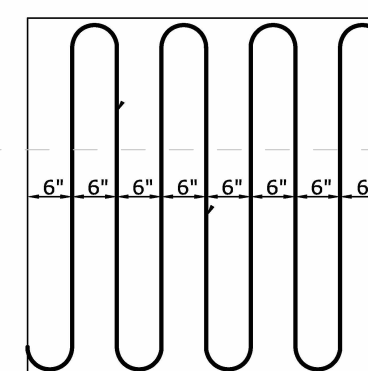
FIELD

- MAXIMUM 4'X4' BOARD SIZE
- ADHESIVE BEADS @ 12" O.C.



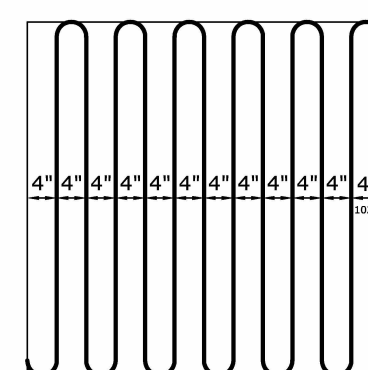
PERIMETER ENHANCEMENT

- MAXIMUM 4'X4' BOARD SIZE
- ADHESIVE BEADS @ 9" O.C.



CORNER ENHANCEMENT

- MAXIMUM 4'X4' BOARD SIZE
- ADHESIVE BEADS @ 9" O.C.



2 Insulation Adhesive Patterns
AS101 N.T.S.

SITE MATERIAL STAGING & ACCESS

THE SITE STAGING, STORAGE, AND SECURITY PLAN AND THESE REQUIREMENTS ARE PROVIDED TO COMMUNICATE GENERAL REQUIREMENTS FOR COORDINATION AND SECURITY AT THE SITE BEFORE AND DURING CONSTRUCTION ACTIVITIES AND TO IDENTIFY EXPECTED ACCESS TO THE ROOF AREAS TO BE REPLACED AS A PART OF THE PROJECT. SEE SHEET: A140 FOR ROOF PLAN.

THE MAIN STORAGE AND STAGING AREA SHOWN WILL BE AVAILABLE TO THE CONTRACTOR FOR THE DURATION OF THE ORIGINAL PROJECT CONTRACT TIME WITHIN THE LIMITS NOTED. OTHER STAGING/ACCESS AREAS WILL BE AVAILABLE FOR DAILY USE WHEN WORK IS OCCURRING ON THE ASSOCIATED ROOF AREA. THE CONTRACTOR MUST REMOVE MATERIAL AND EQUIPMENT FROM STAGING/ACCESS AREAS WITHIN FACILITY FENCING AT THE END OF EACH WORK PERIOD. THE CONTRACTOR MAY REQUEST ADDITIONAL/TEMPORARY STAGING OR ACCESS AREAS NOT SPECIFICALLY MARKED ON THE DRAWING FOR WORK AROUND THE PERIMETER OF THE BUILDING (PERIMETER METAL, GUTTERS, AND DOWNSPOUTS. ADDITIONAL AREAS MUST BE COORDINATED WITH AND APPROVED BY THE OWNER.

UNDERGROUND UTILITIES BENEATH AND AROUND THE STAGING, STORAGE, OR ACCESS AREAS MUST BE LOCATED BY THE CONTRACTOR THROUGH THE USE OF LOCAL UTILITY COMPANIES OR LOCATING SERVICES TO ALLOW FOR AVOIDANCE OR PROTECTION AND PREVENT DAMAGE. NO INTERRUPTION OF UTILITIES MAY OCCUR WITHOUT ADVANCE APPROVAL AND SCHEDULING BY THE OWNER. UTILITIES, SITE LIGHTING, FIRE PROTECTION SYSTEM COMPONENTS (HYDRANTS, PIV, ETC.), HVAC EQUIPMENT, STORM DRAINAGE LINES AND CATCH BASINS, ETC. MAY EXIST WITHIN OR NEARBY PROPOSED STORAGE AND STAGING AREAS OR ALONG INTENDED CONSTRUCTION TRAFFIC WHERE REQUESTED BY OWNER. MAINTAIN ACCESS PATH/SPACE TO ALLOW FOR ACCESS BY OWNER TO SITE EQUIPMENT OR UTILITIES.

THE CONTRACTOR'S PERSONNEL MUST ALL FOLLOW THE REQUIREMENTS OF NC DEPARTMENT OF ADULT CORRECTION REGARDING SITE SECURITY DURING BIDDING, BEFORE CONSTRUCTION, AND DURING CONSTRUCTION ACTIVITIES. REFER TO SECTION 01 11 00 OF THE PROJECT MANUAL FOR FULL REQUIREMENTS AND COPIES OF REFERENCED FORMS.

DURING BIDDING: CONTRACTOR PERSONNEL THAT WILL BE ATTENDING THE PRE-BID MEETING ACTIVITIES MUST PRESENT A PHOTO ID AND FOLLOW ALL NC DAC AND FACILITY REQUIREMENTS FOR ENTRY INTO THE PRISON FACILITY AND ONTO THE ROOF. NO WEAPONS OR CELL PHONES ARE ALLOWED WITHIN THE FACILITY OR ON THE ROOFS. SEE SECTION 01 11 00 OF THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.

BEFORE STARTING CONSTRUCTION: THE CONTRACTOR MUST DESIGNATE AN ASSIGNED CONTRACTOR REPRESENTATIVE WHO WILL ENSURE THAT ALL CONTRACTOR PERSONNEL ARE MADE AWARE OF SECURITY REQUIREMENTS AND HAVE COMPLETED REQUIRED SECURITY CHECKS AND TRAINING.

THE CONTRACTOR MUST PROVIDE A COMPLETE LIST OF PERSONNEL THAT WILL BE PRESENT ON SITE DURING CONSTRUCTION ACTIVITIES (INCLUDING PROJECT MANAGERS AND SAFETY OFFICERS). ALL PERSONS ENTERING THE NCDAC FACILITY WILL BE REQUIRED TO PRESENT PHOTO IDENTIFICATION EVERY TIME THEY ENTER THE FACILITY.

ANY WORKERS ENTERING A NCDAC PROPERTY MUST PROVIDE AN EXECUTED CONTRACTOR NCDAC CRIMINAL HISTORY RECORD CHECK FORM HR 004. SEE SECTION 01 11 00 OF THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.

ALL PERSONS ENTERING A NCDAC PROPERTY MUST SIGN THE ASSOCIATED "SIGNATURE FORM".

ALL PERSONS ENTERING A NCDAC PROPERTY MUST UNDERGO REQUIRED PREA (PRISON RAPE ELIMINATION ACT) TRAINING. TRAINING WILL BE COORDINATED WITH AND PROVIDED BY THE OWNER AND IS ANTICIPATED TO TAKE NO MORE THAN 1/2 DAY.

DURING CONSTRUCTION: ALL CONTRACTOR PERSONNEL MUST FOLLOW REQUIREMENTS FOR DAILY SIGN-IN, INTERACTION WITH OCCUPANTS, VEHICLE AND EQUIPMENT KEY CONTROL, ETC. AS PROVIDED IN SECTION 01 11 00 OF THE PROJECT MANUAL.

KEY PLAN NOTES

- GATE AND ACCESS POINT. ALL EQUIPMENT AND MATERIALS MUST BE MOVED BACK TO MAIN STORAGE AREA AT END OF EACH WORK DAY.
- MAIN MATERIAL AND EQUIPMENT STORAGE.
- ACCESS ROAD TO SITE.



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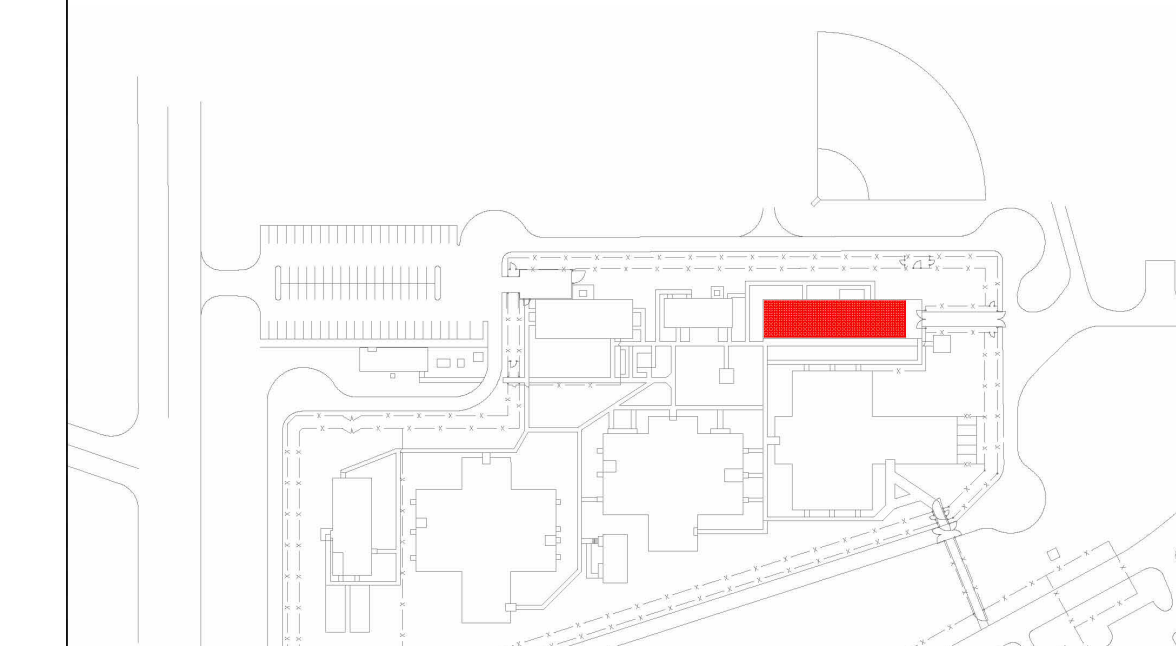
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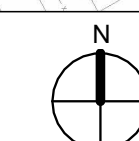
FOODSERVICE BUILDING REROOF

SCO ID # 23-26409-01A

ARCHITECTURAL SITE PLAN



KEY PLAN



AS101

1

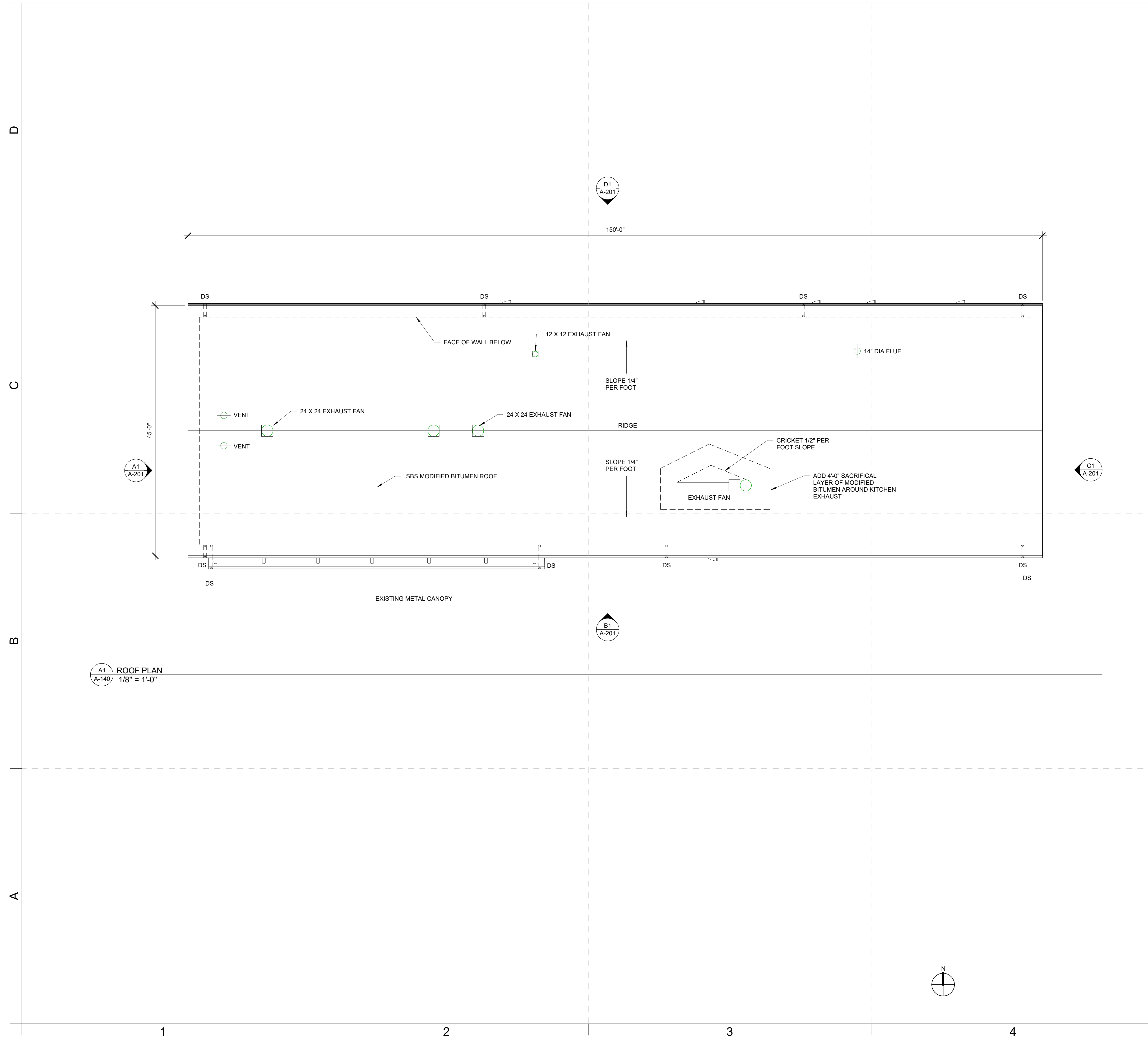
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3

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5

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A1 ROOF PLAN
A-140
1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

- THIS DRAWING ACCOMPANIES A PROJECT MANUAL BY NCDAC DATED 7.10.2023.
- THIS DRAWING IS PROVIDED TO COMMUNICATE EXISTING CONDITIONS, DESIGN INTENT, AND GENERAL REFERENCE. CONTRACTOR SHALL FIELD VERIFY DIMENSIONS, DRAWING SCALES, ROOF CONSTRUCTION, AND ALL OTHER CONDITIONS THAT WILL EFFECT THE ROOF REPLACEMENT AND STAGING AND STORAGE. SOME FEATURES MAY NOT BE SHOWN TO EXACT SCALE FOR PURPOSE OF CLARITY.
- INSTALL NEW WOOD BLOCKING AROUND THE PERIMETER OF THE ROOF TO PROVIDE A LEVEL PERIMETER EDGE. FOR BLOCKING INDICATED TO REMAIN, INSTALL SUPPLEMENTAL SECUREMENT TO THE DECK PRIOR TO INSTALLING NEW BLOCKING ABOVE. INSTALL NEW WOOD BLOCKING TO RAISE CURBED PENETRATIONS TO ACCOMMODATE THICKNESS OF THE NEW ROOF SYSTEM.
- EXTEND ROUND PENETRATIONS AND ALL ASSOCIATED SERVICES FOR CURBED EQUIPMENT (ELECTRICAL/DUCTWORK, ETC.) AS NEEDED.
- INSTALL A 2" THICK POLYISOCYANURATE INSULATION, ADHERED OVER DECK, ON ALL ROOF AREAS. PROVIDE TAPERED POLYISOCYANURATE INSULATION, MIN 1.5" THICK WITH A 1/4" PER FOOT SLOPE ON ALL AREAS TO ACHIEVE A MIN 1/4" PER FOOT SLOPE TO PERIMETER GUTTERS. NEW INSULATION SHOULD RESULT IN A MINIMUM OF 3.5" THICKNESS AT THE EAVE (BASE PLUS TOP LAYER OF TAPER). PROVIDE 1/2" PER FOOT TAPERED INSULATION AT CRICKET AND UPSIDE OF CURBED PENETRATIONS.
- INSTALL A 1/2" THICK COVERBOARD, ADHERED OVER ALL INSULATION IN ALL AREAS. INSTALL A TORCH-APPLIED, TWO-PLY MODIFIED BITUMEN ROOF MEMBRANE SYSTEM ON ALL ROOF AREAS. NEW SYSTEM MUST INCLUDE ALL ASSOCIATED MEMBRANE AND LIQUID-APPLIED FLASHINGS, FASTENERS, SEALANTS, AND OTHER ACCESSORIES AS SHOWN ON THE DETAILS, INCLUDED IN THE PROJECT SPECIFICATIONS, AND REQUIRED BY THE MANUFACTURER PROVIDING A WARRANTY FOR THE SYSTEM.
- INSTALL NEW PERIMETER METAL CLEATS, FASCIA, TRIM, COUNTERFLASHINGS, GUTTERS, DOWNSPOUTS, BRACKETS, STRAPS, AND OTHER MISCELLANEOUS TRIM AS SHOWN IN THE DESIGN DETAILS.
- PROTECT EXISTING BUILDING INTERIORS, SITE FEATURES, AND STORAGE AND STAGING AREAS FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES. IF DAMAGE OCCURS, THE CONTRACTOR WILL BE RESPONSIBLE IN REPAIRING AREAS TO RETURN THEM TO THEIR PRIOR CONDITION. ANY DAMAGES SUSPECTED TO BE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT CONTRACTORS COST.
- REFER TO SITE PLAN FOR ADDITIONAL INFORMATION REGARDING STAGING, STORAGE AND SITE SECURITY, AS WELL AS OTHER SITE REQUIREMENTS.



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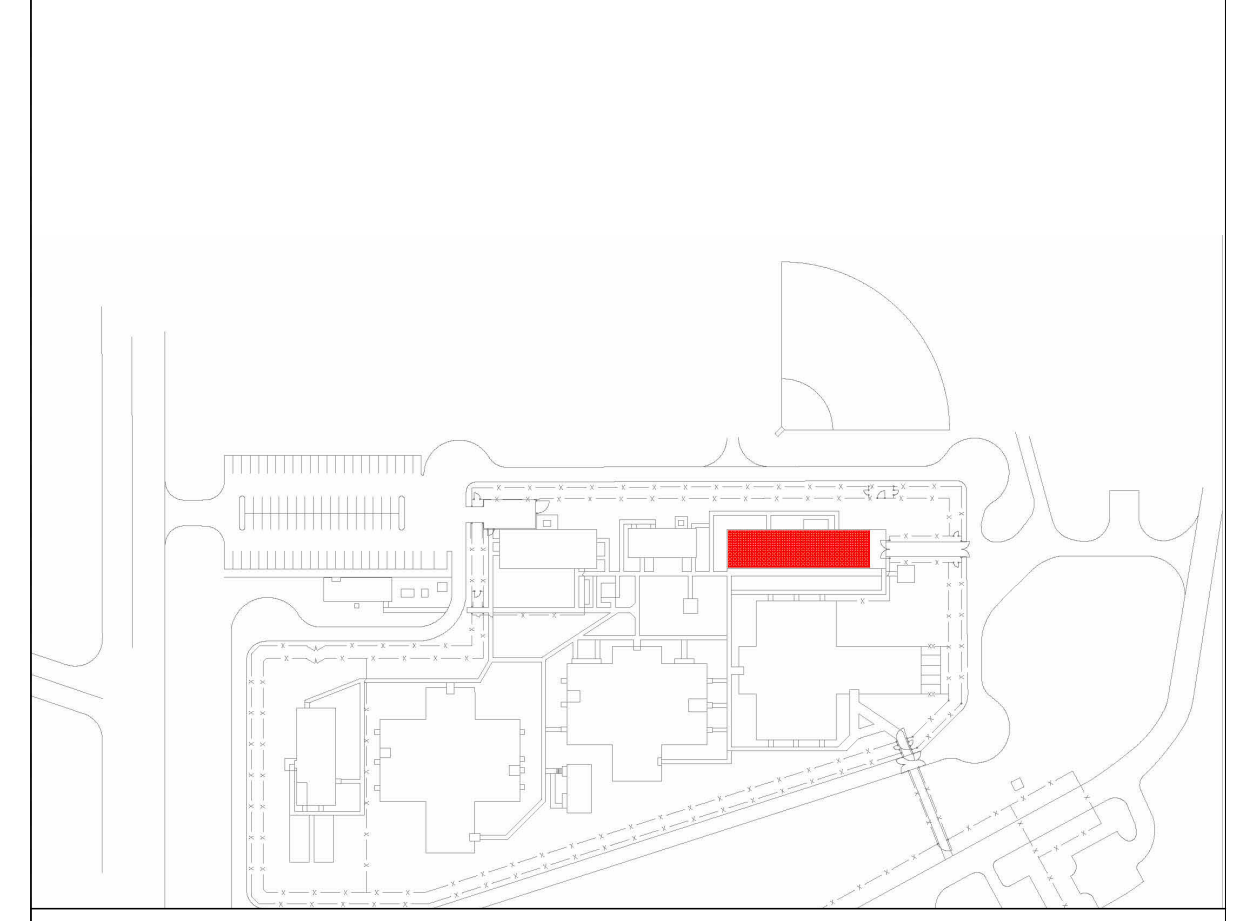
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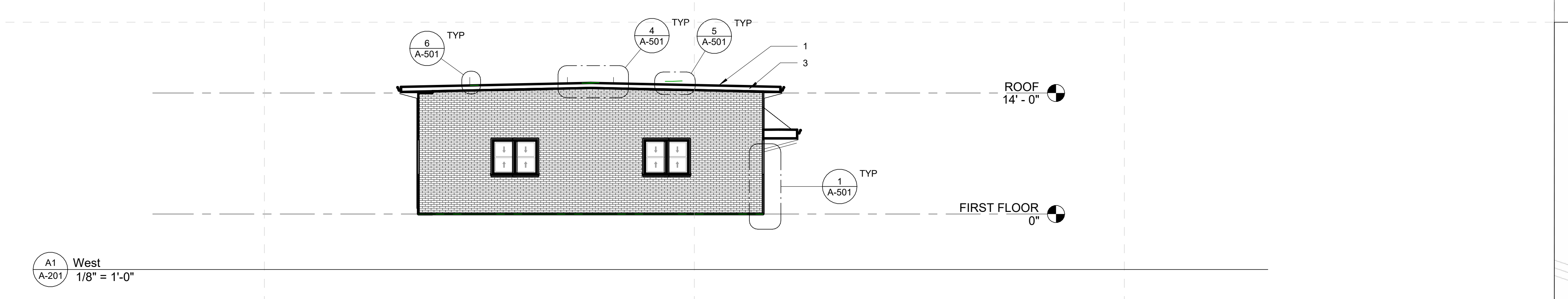
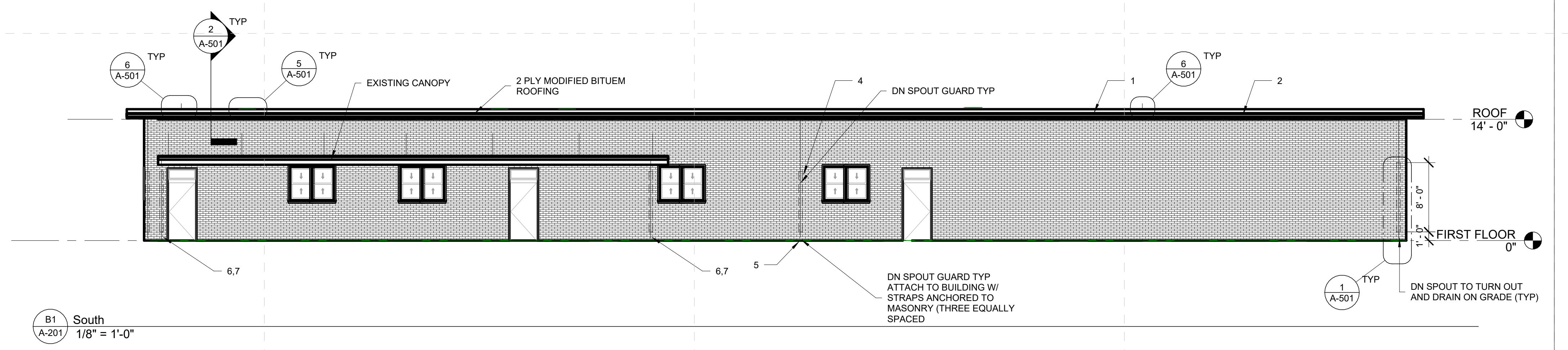
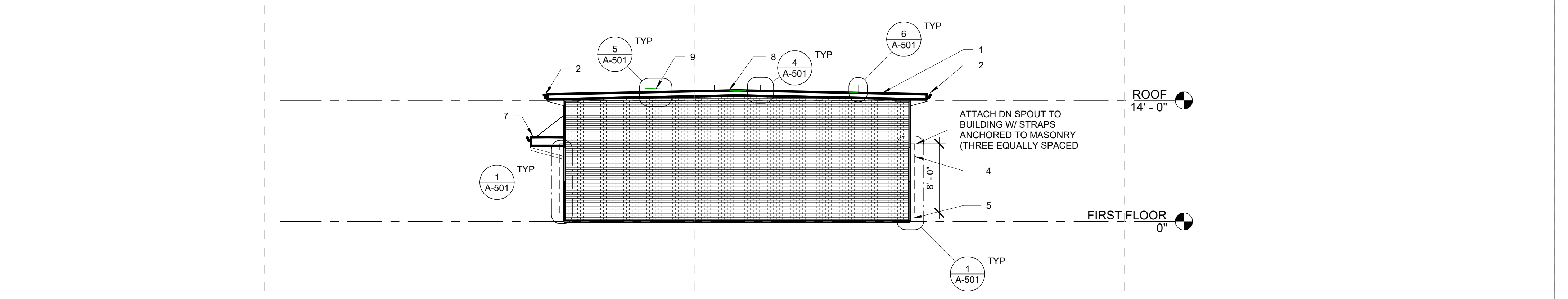
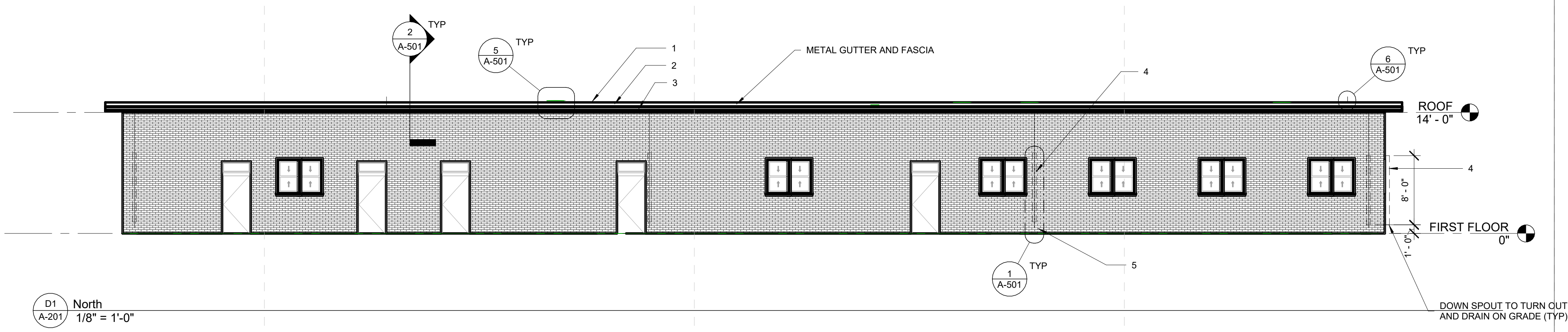
FOODSERVICE BUILDING REROOF

SCO ID # 23-26409-01A

ROOF PLAN



KEY PLAN



- ### KEY NOTES
1. SBS MODIFIED BITUMEN ROOF. SEE ROOF PLAN.
 2. METAL GUTTER.
 3. METAL FASCIA.
 4. METAL DOWNSPOUT GUARD ATTACH TO BUILDING WITH STRAPS ANCHORED TO MASONRY (THREE EQUALLY SPACED).
 5. DOWNSPOUTS TO TURN OUT AND DRAIN ON GRADE.
 6. ADD DOWNSPOUT COVERS TO EXISTING CANOPY DOWNSPOUTS.
 7. EXISTING CANOPY DOWNSPOUTS TO REMAIN.
 8. EXISTING ROOF VENTS.
 9. EXISTING ROOF EXHAUST.



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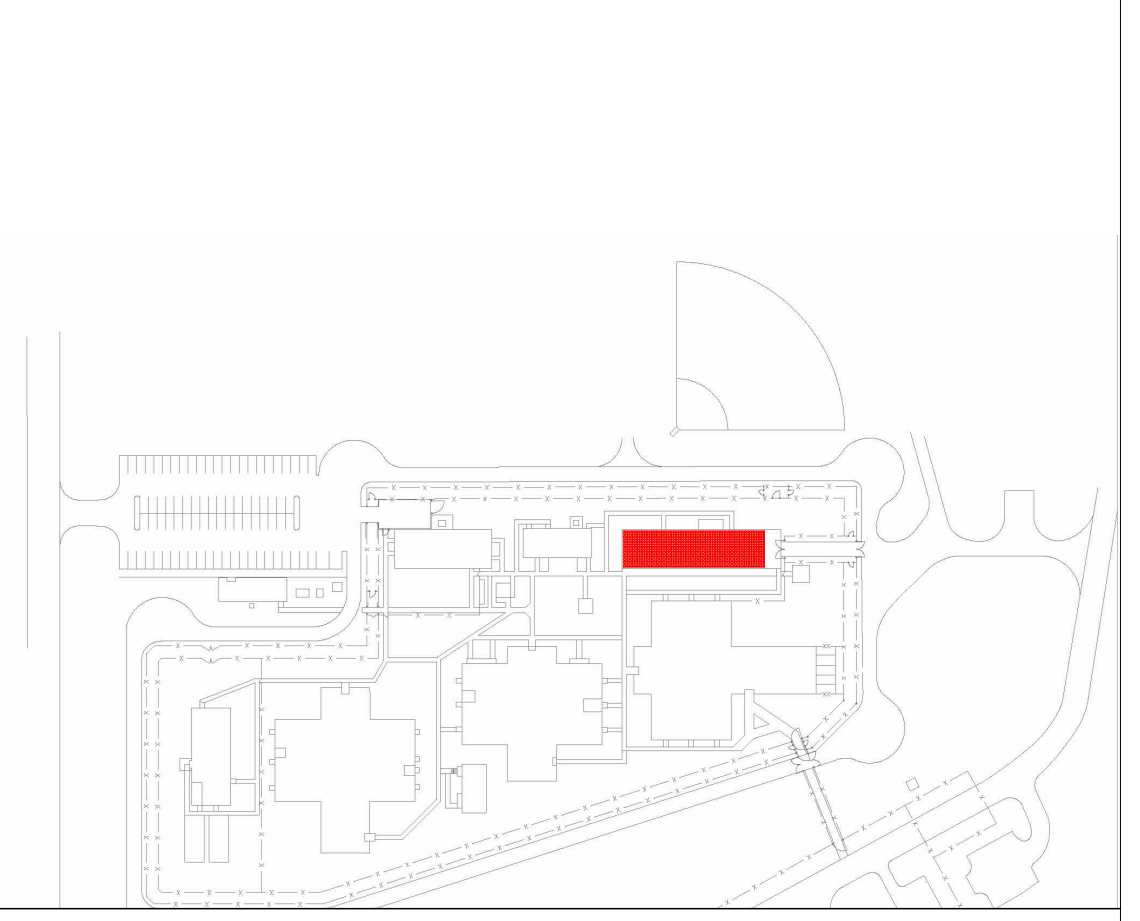
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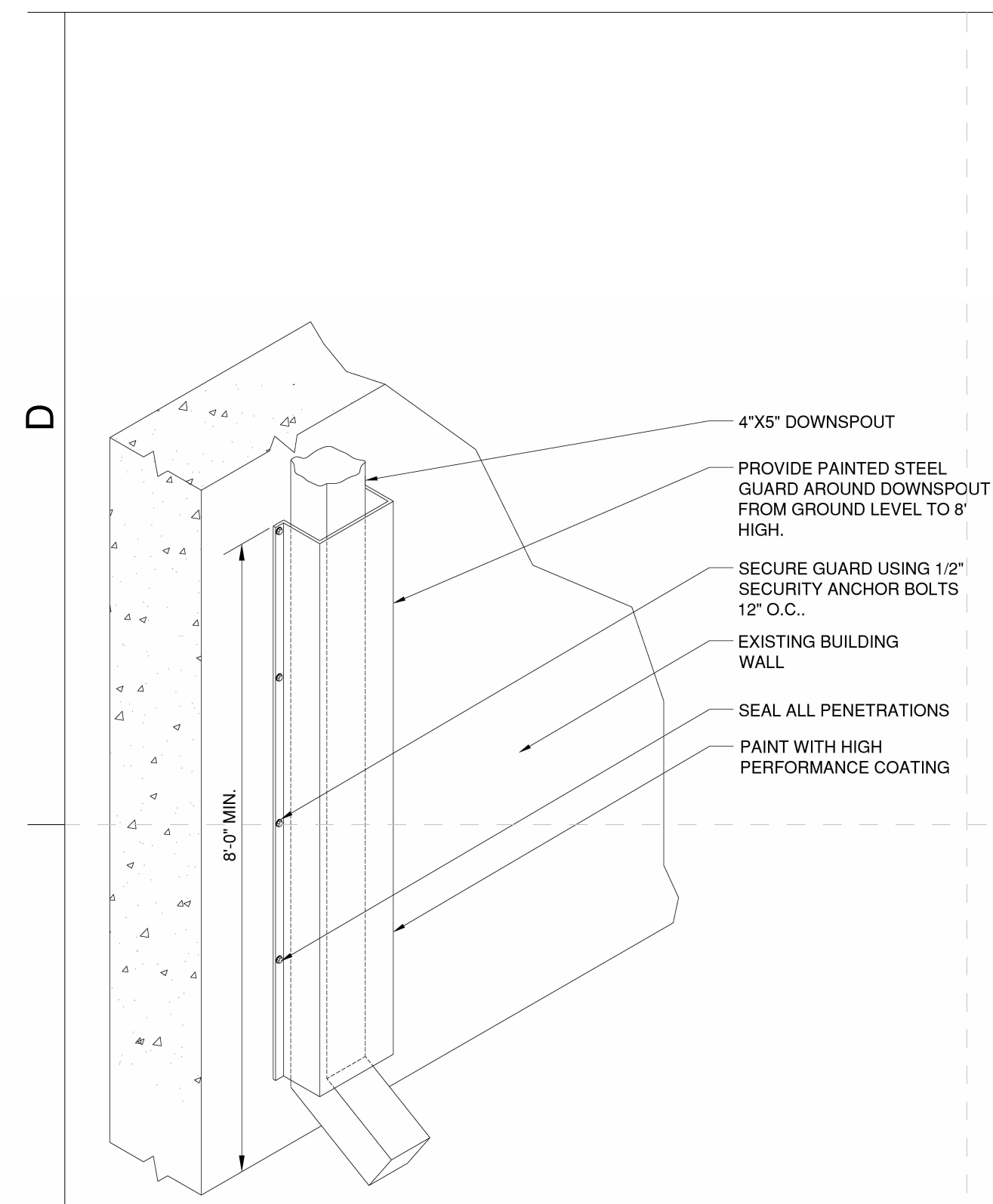
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FOODSERVICE BUILDING REROOF

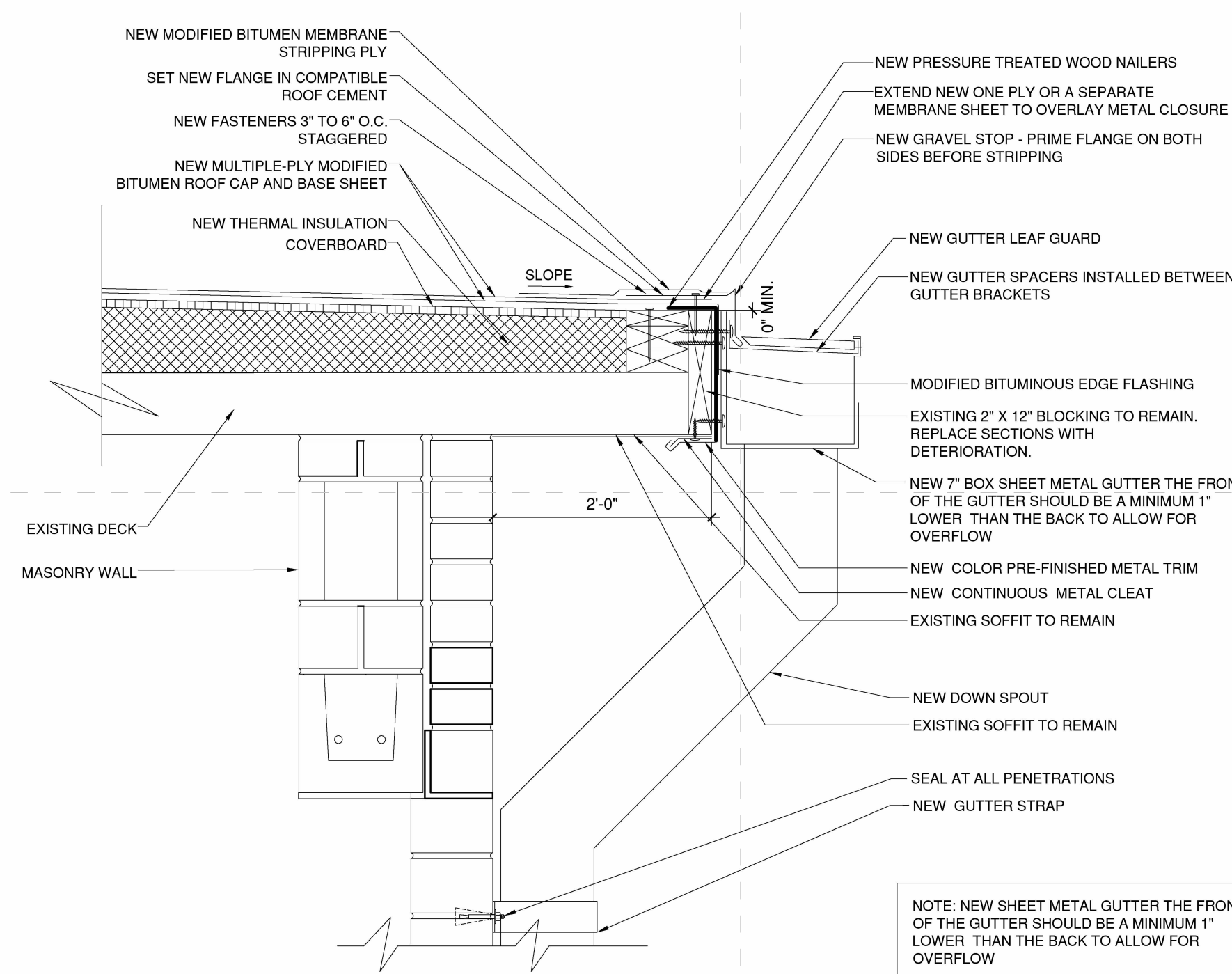
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 EXTERIOR ELEVATIONS



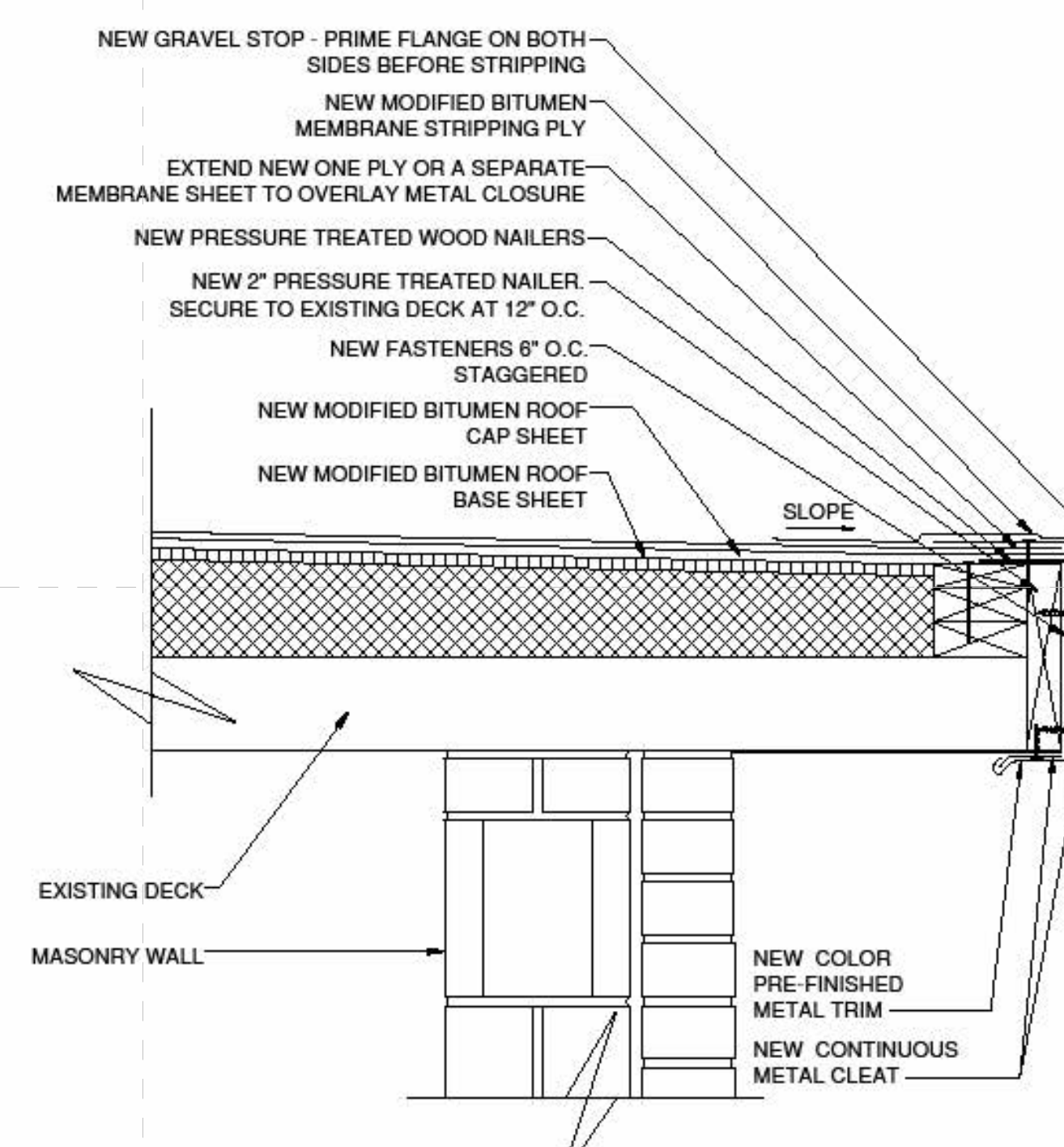
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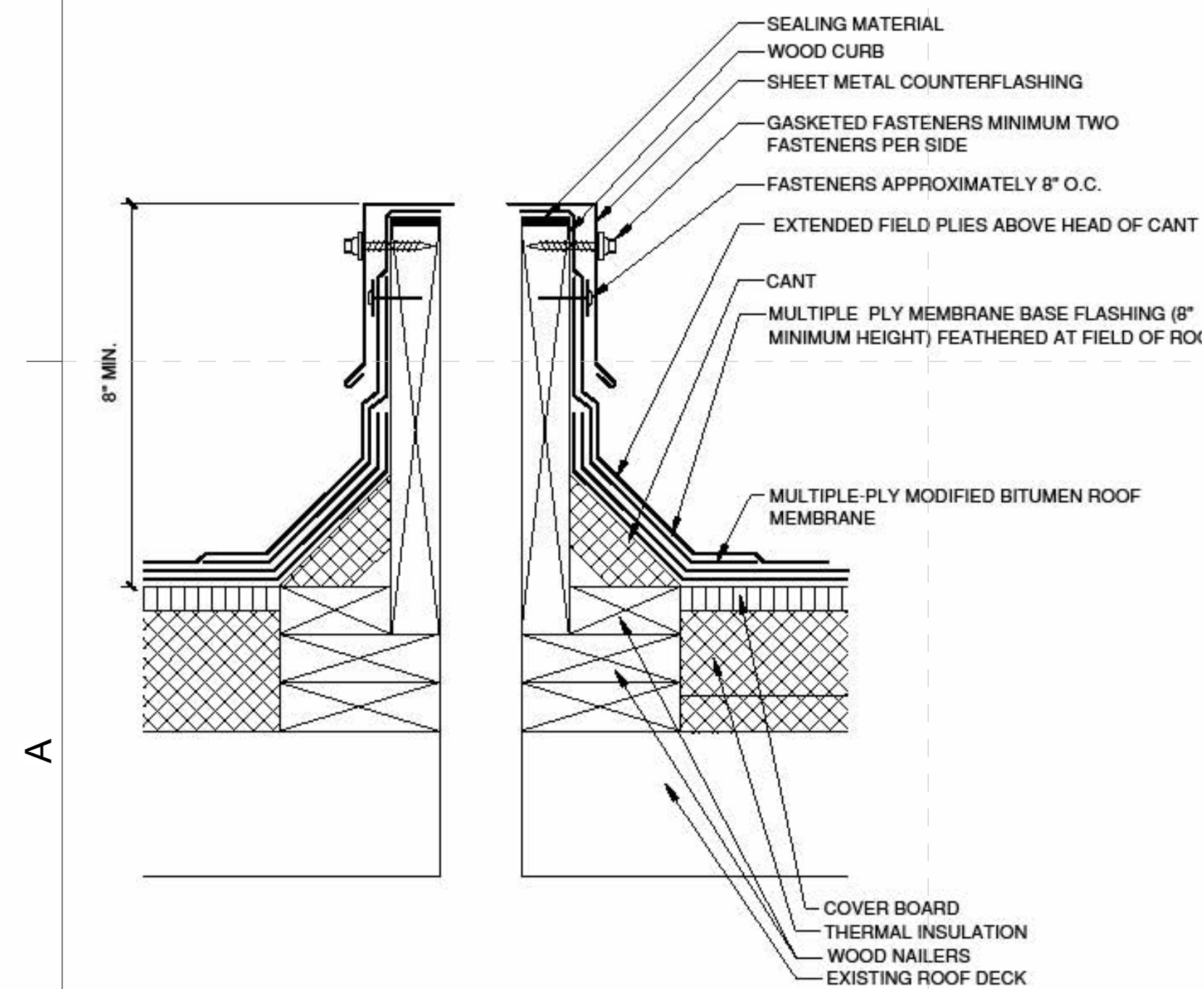
1 GUTTER GAURD DETAIL
A-501 N.T.S.



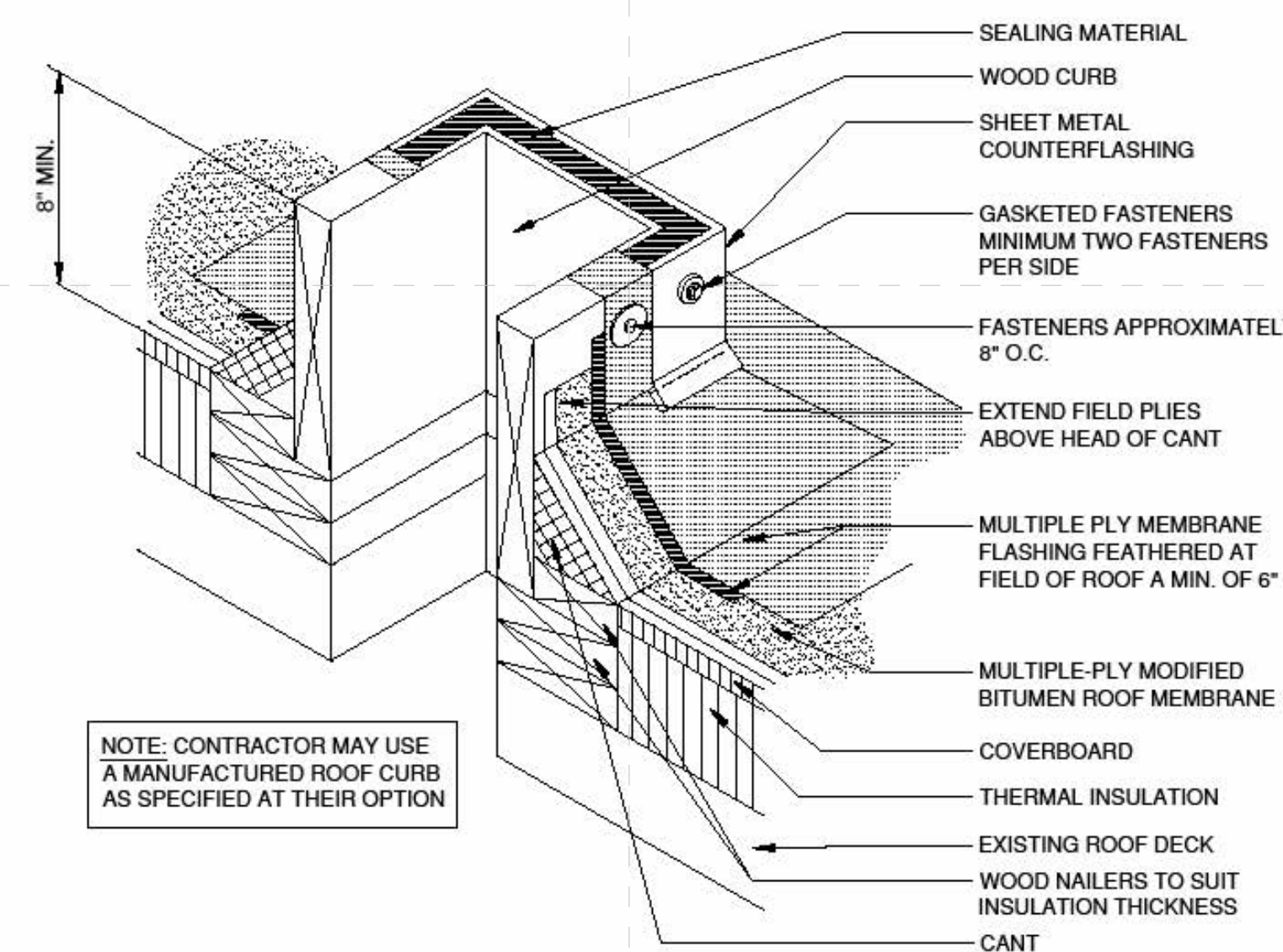
2 ROOF GUTTER AND FLASHING DETAIL
A-501 N.T.S.



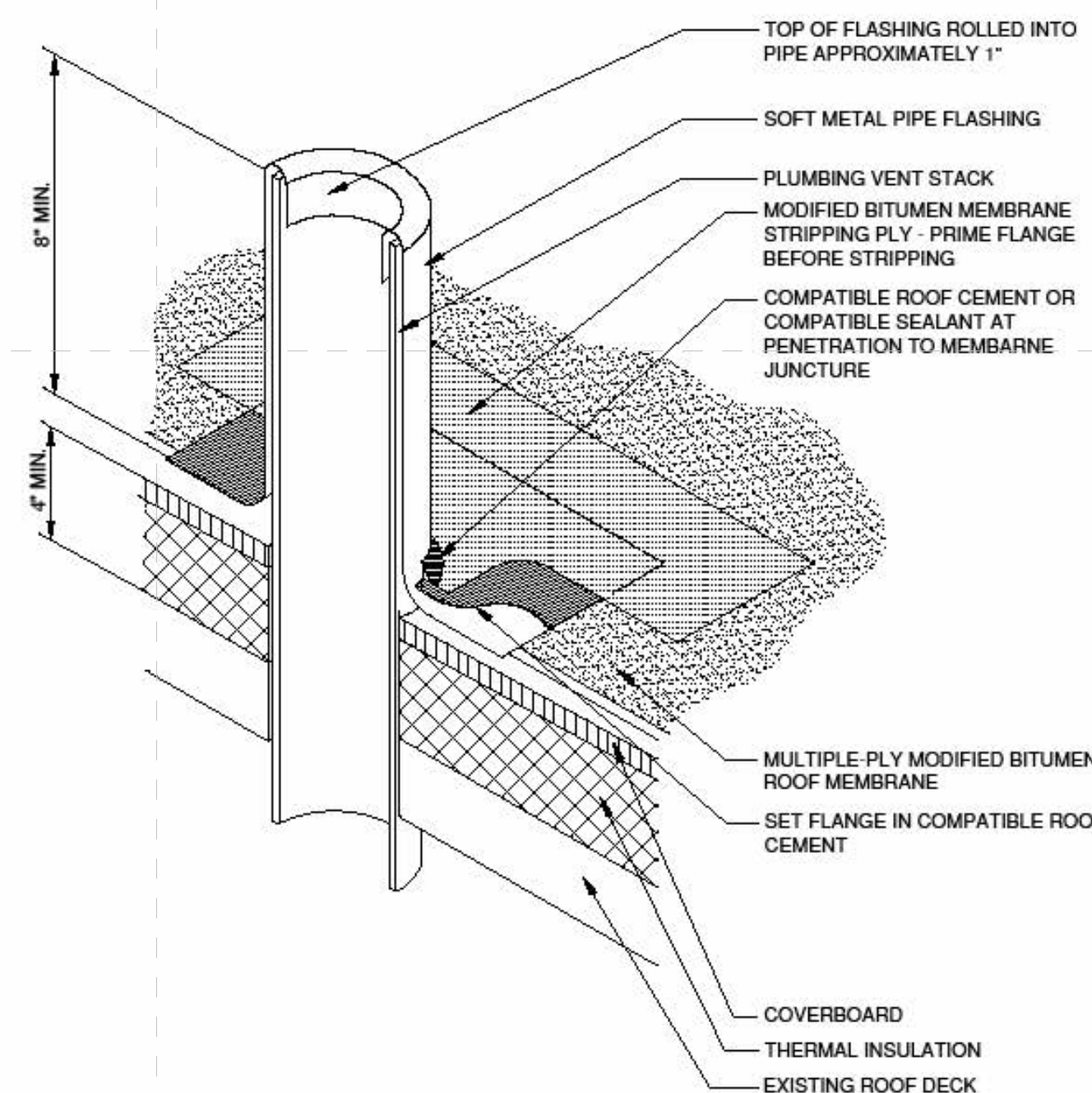
3 ROOF EAWE DETAIL-
A-501 N.T.S.



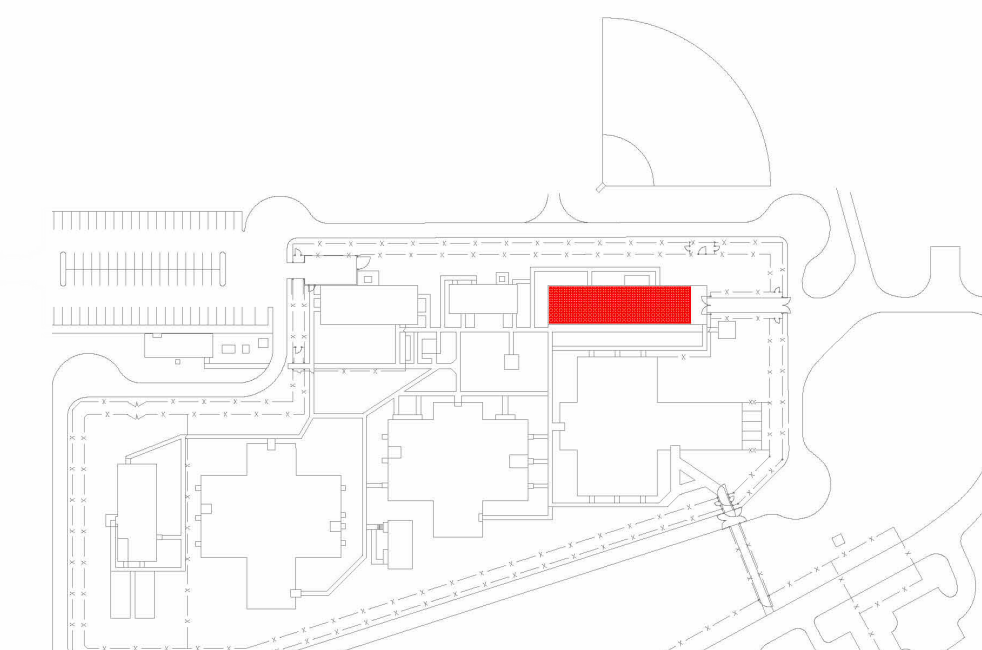
4 ROOF CURB DETAIL 1
A-501 N.T.S.



5 ROOF CURB DETAIL 2
A-501 N.T.S.



6 PLUMBING VENT
A-501 N.T.S.



KEY PLAN