



McNair Hall Exterior Facade Repairs Project

NC A&T State University
McNair Hall
1601 East Market Street
Greensboro, NC 27401
SCO NO: 2326582-01A

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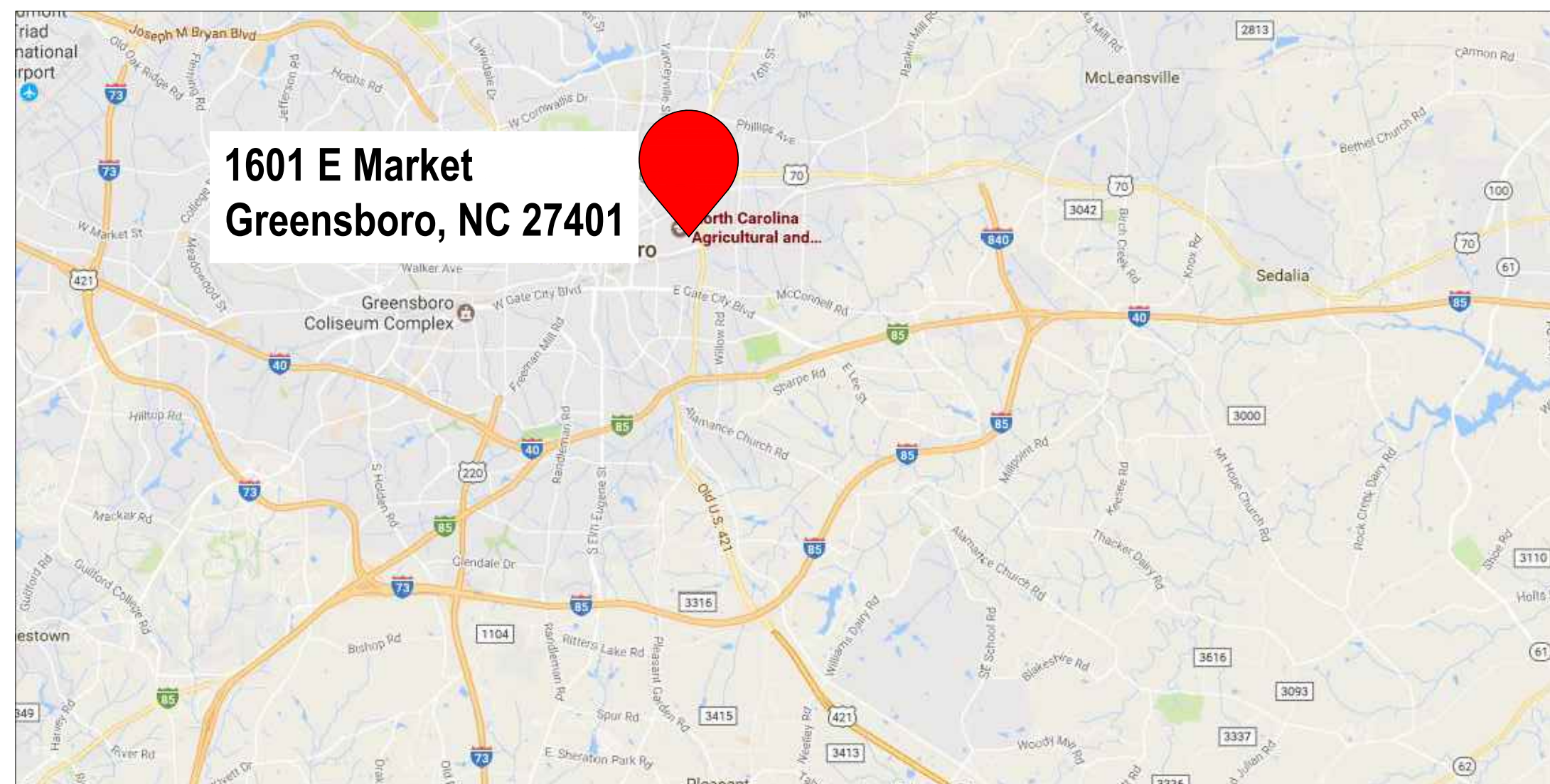
Terracon NC License No.: F-0869

ENGINEER STATE LICENSE SEAL

PROJECT NAME AND ADDRESS:

NC A&T State University
McNair Hall
Exterior Facade Repairs Project
SCO NO: 23-26582-01A
McNair Hall
1601 East Market Street
Greensboro, NC 27401

Project Location



VICINITY MAP



LOCATION MAP

SCOPE OF WORK

PHASE I - NORTH AND NORTHWEST ELEVATIONS - STARTING IN DECEMBER - 45 CALENDAR DAYS:

- a. REMOVE AND REPLACE ALL PERIMETER SEALANT AT WINDOW PERIMETER JOINTS.
- b. REMOVE EXISTING GLAZING/GASKETS AT WINDOWS. INSTALL NEW WET GLAZING AT WINDOWS. WET GLAZING IS TO BE INSTALLED IN A MANNER THAT IS CLEAN AND UNIFORM.
- c. REMOVE EXISTING BRICK MASONRY AND THROUGH-WALL FLASHING AS INDICATED ON DRAWINGS AND REPLACE WITH A NEW THROUGH-WALL FLASHING SYSTEM AS DETAILED. THROUGH-WALL FLASHING ABOVE WINDOWS IS TO EXTEND BEYOND JAMBS A MINIMUM OF 8 INCHES.
- d. CLEAN ALL ELEVATIONS WITH A MASONRY CLEANER ONCE ALL MASONRY AND SEALANT REMEDIAL REPAIRS ARE COMPLETED AND CURED.

PHASE II - SOUTH AND SOUTHWEST ELEVATIONS - BEGIN IN EARLY SPRING 2024 - 60 CALENDAR DAYS:

- a. REMOVE AND REPLACE ALL PERIMETER SEALANT AT WINDOW PERIMETER JOINTS.
- b. REMOVE EXISTING GLAZING/GASKETS AT WINDOWS. INSTALL NEW WET GLAZING AT WINDOWS. WET GLAZING IS TO BE INSTALLED IN A MANNER THAT IS CLEAN AND UNIFORM.
- c. REMOVE EXISTING BRICK MASONRY AND THROUGH-WALL FLASHING AS INDICATED ON DRAWINGS AND REPLACE WITH A NEW THROUGH-WALL FLASHING SYSTEM AS DETAILED. THROUGH-WALL FLASHING ABOVE WINDOWS IS TO EXTEND BEYOND JAMBS A MINIMUM OF 8 INCHES.
- d. AT RIBBON WINDOWS, REMOVE THE EXISTING BRICK MASONRY, CONCRETE INFILL, THROUGH-WALL FLASHING AND EXISTING WATERPROOFING AND REPLACE WITH NEW COLD APPLIED WATERPROOFING, CONCRETE INFILL, THROUGH-WALL FLASHING AND NEW BRICK MASONRY.
- e. CLEAN ALL ELEVATIONS WITH A MASONRY CLEANER ONCE ALL MASONRY AND SEALANT REMEDIAL REPAIRS ARE COMPLETED AND CURED.
- f. INSTALL MASONRY PENETRATING SEALER AT AREAS INDICATED ON DRAWINGS.

CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS.

CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL ROOFS AND AREAS WHERE WORK WILL BE CONDUCTED. IF ROOF AREAS ARE DAMAGED, CONTACTOR IS REQUIRED TO FIX ROOF MEMBRANE TO A WARRANTABLE STANDARD.

CLIENT

Mr. Shaban K. Kaji, PE, M ASCE
Project Manager

North Carolina Agricultural and
Technical University

Office of the University Engineer
DeHuguley (Facility) Building
1601 East Market Street
Greensboro, North Carolina 27411

ENGINEERING CONSULTANT

TERRACON CONSULTANTS, INC.
7327-G West Friendly Ave.
Greensboro, North Carolina

Mr. Stewart S. Swing, E.I., RWC, RRC
Senior Project Manager | Facilities
e:Stewart.Swing@terracon.com
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Symbols

- X — ELEVATION/DETAIL/SECTION LABEL
- XXX — SHEET SHOWN ON
- SHADING IDENTIFIES EXISTING CONDITIONS AND NOT IN SCOPE OF WORK

Abbreviations

- MAX. MAXIMUM
- MIN. MINIMUM
- N.I.C. NOT IN CONTRACT
- O.C. ON CENTER
- TYP. TYPICAL
- SIM. SIMILAR

ISSUE DATE:

11.16.2023

ISSUE FOR:

BID DOCUMENTS
NOT FOR CONSTRUCTION

ADDENDUM:

No.: DATE: DESCRIPTION:
11/16/23

PROJECT TEAM:

DESIGNED BY:

SSS

DRAWN BY:

LJG

APR REVIEWER:

LTH

TERRACON'S PROJECT NUMBER:

FY226138

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

G-101



**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)**

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)

Exempt Building: No Yes (Provide code or statutory reference): _____

Climate Zone: 3A 4A 5A

Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive
(If "Other" specify source here) _____

THERMAL ENVELOPE (Prescriptive method only)

Roof/ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing) _____
U-Value of assembly: _____
Solar heat gain coefficient: _____
projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

2018 NC Administrative Code and Policies

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)**

**MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT**

Thermal Zone
winter dry bulb: _____
summer dry bulb: _____

Interior design conditions
winter dry bulb: _____
summer dry bulb: _____
relative humidity: _____

Building heating load: _____

Building cooling load: _____

Mechanical Spacing Conditioning System
Unitary description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler Size category: If oversized, state reason: _____
Chiller Size category: If oversized, state reason: _____

List equipment efficiencies: _____

2018 NC Administrative Code and Policies

N/A

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)**

ELECTRICAL SUMMARY

Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive

Lighting schedule (each fixture type)
lamp type required in fixture _____
number of lamps in fixture _____
ballast type used in the fixture _____
number of ballasts in fixture _____
total wattage per fixture _____
total interior wattage specified vs. allowed (whole building or space by space) _____
total exterior wattage specified vs. allowed _____

**Additional Efficiency Package Options
(When using the 2018 NCEEC; not required for ASHRAE 90.1)**
 C406.2 More Efficient HVAC Equipment Performance
 C406.3 Reduced Lighting Power Density
 C406.4 Enhanced Digital Lighting Controls
 C406.5 On-Site Renewable Energy
 C406.6 Dedicated Outdoor Air System
 C406.7 Reduced Energy Use in Service Water Heating

****NOTE:
APPENDIX B IS BASED ON CORE AND SHELL DRAWINGS AS
EXISTING CONDITIONS.**

2018 NC Administrative Code and Policies

N/A

N/A

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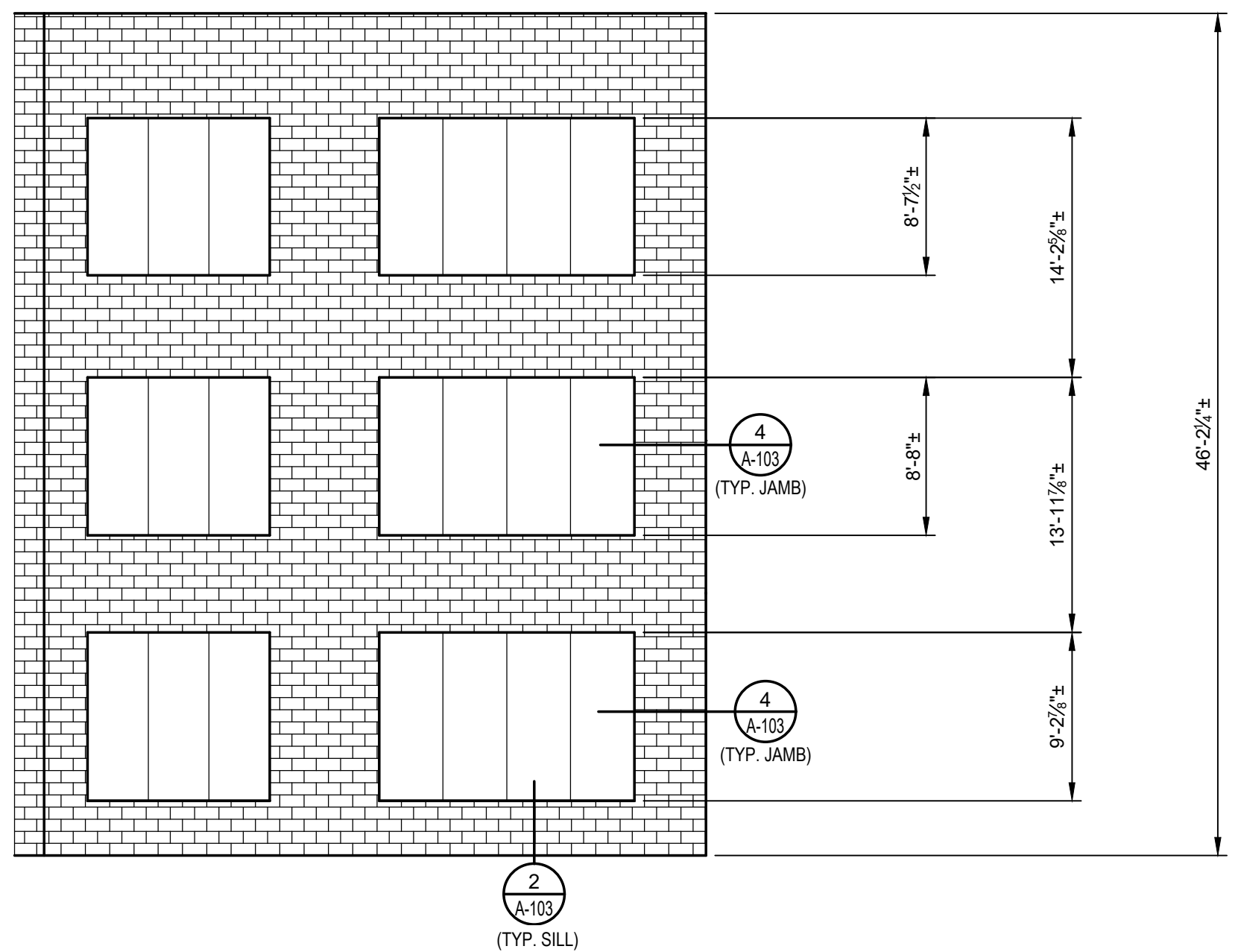
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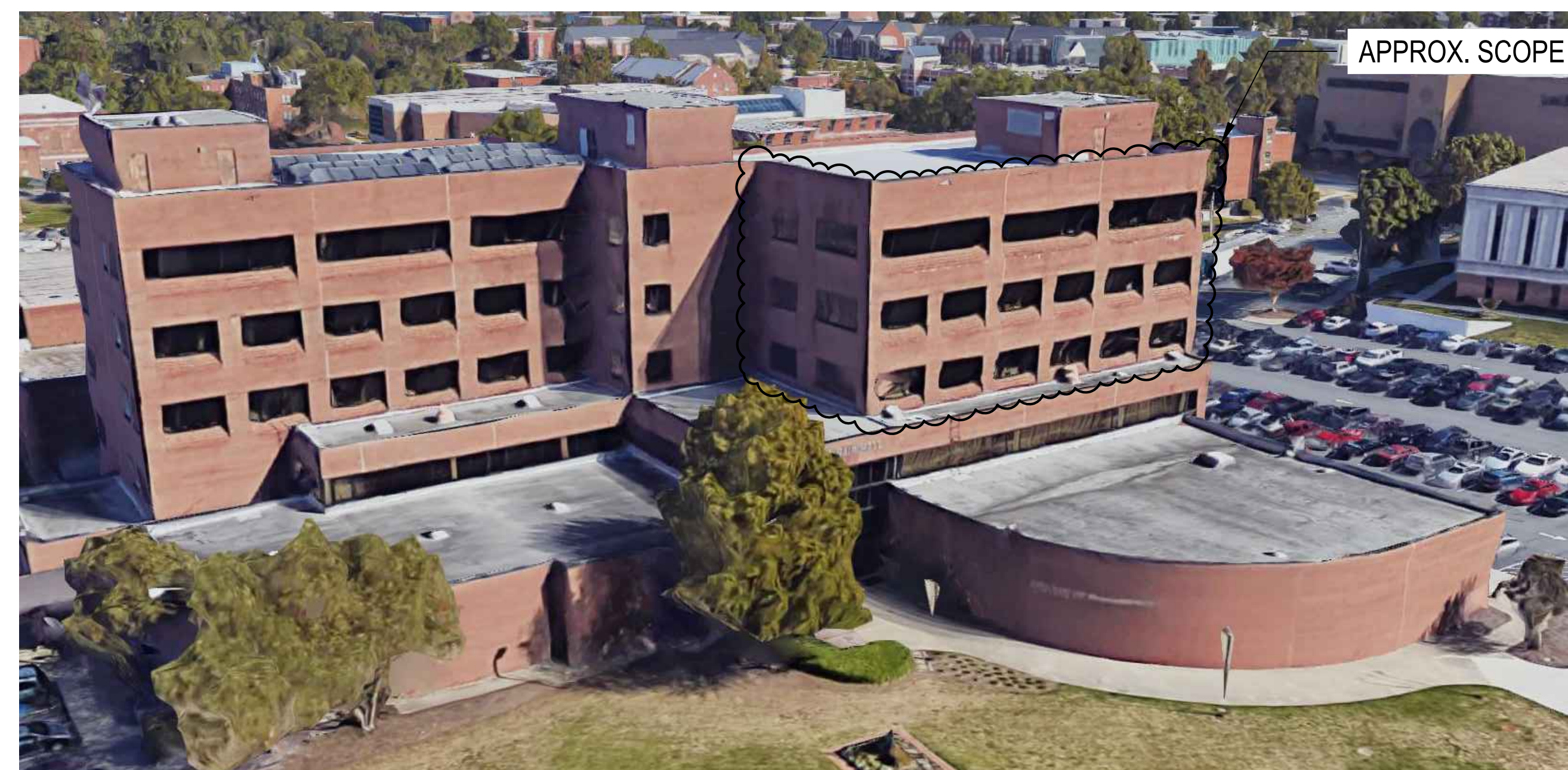
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FY226138

SHEET TITLE:
APPENDIX B

SHEET NUMBER:
G-103

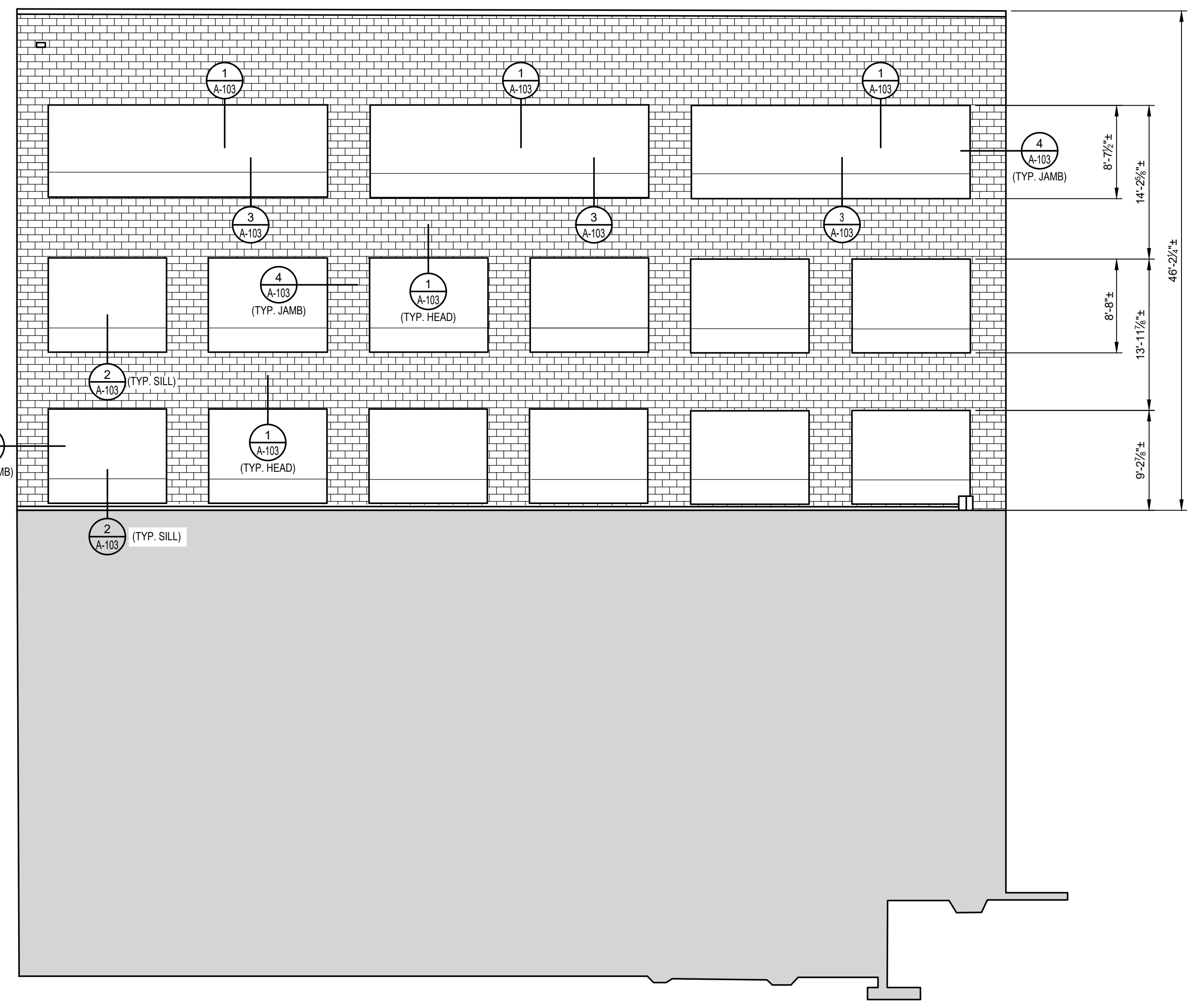


1 SOUTHWEST ELEVATION
Scale: 1/8" = 1'-0"



APPROX. SCOPE OF WORK

2 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



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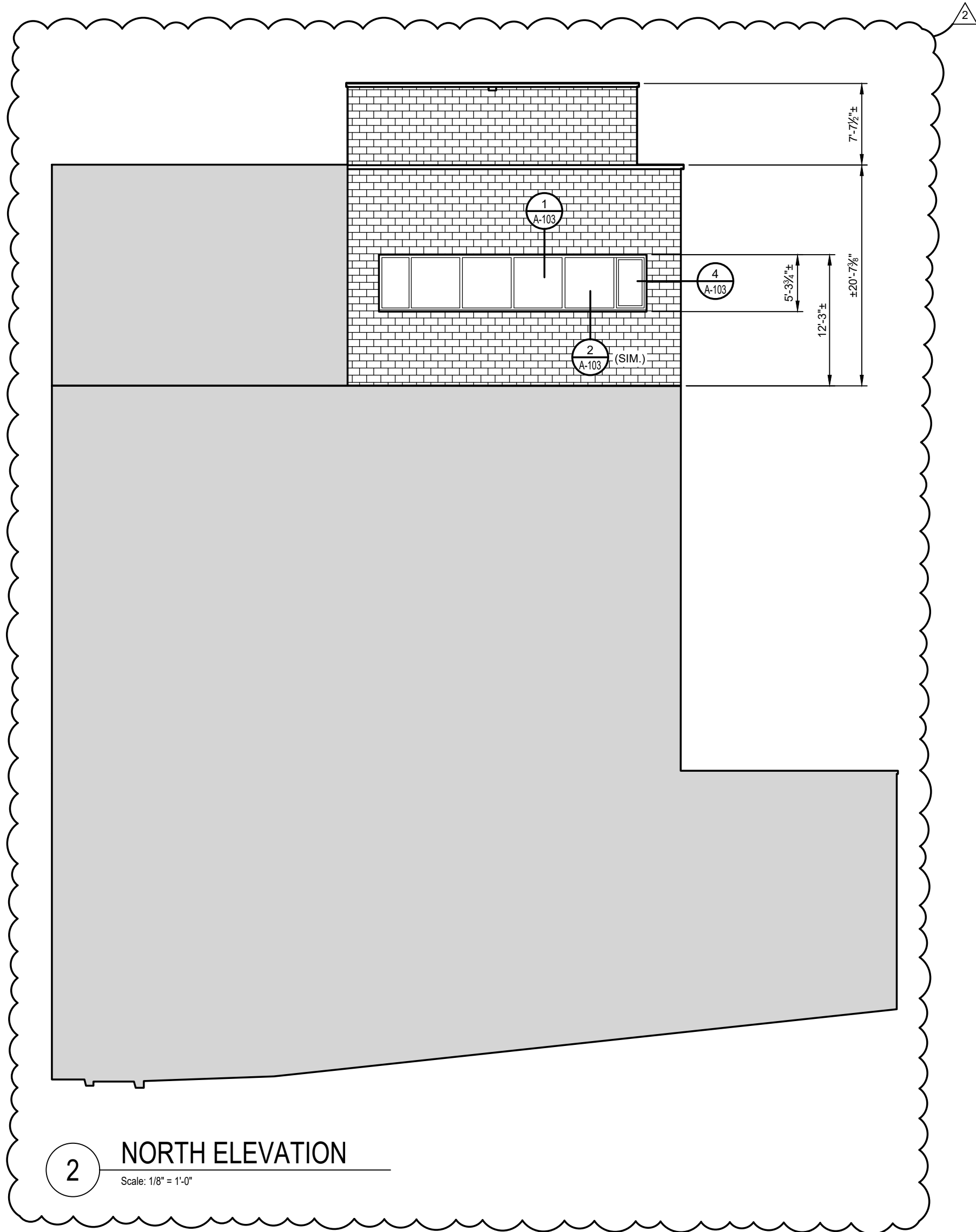
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BUILDING ELEVATIONS

SHEET NUMBER:
A-101

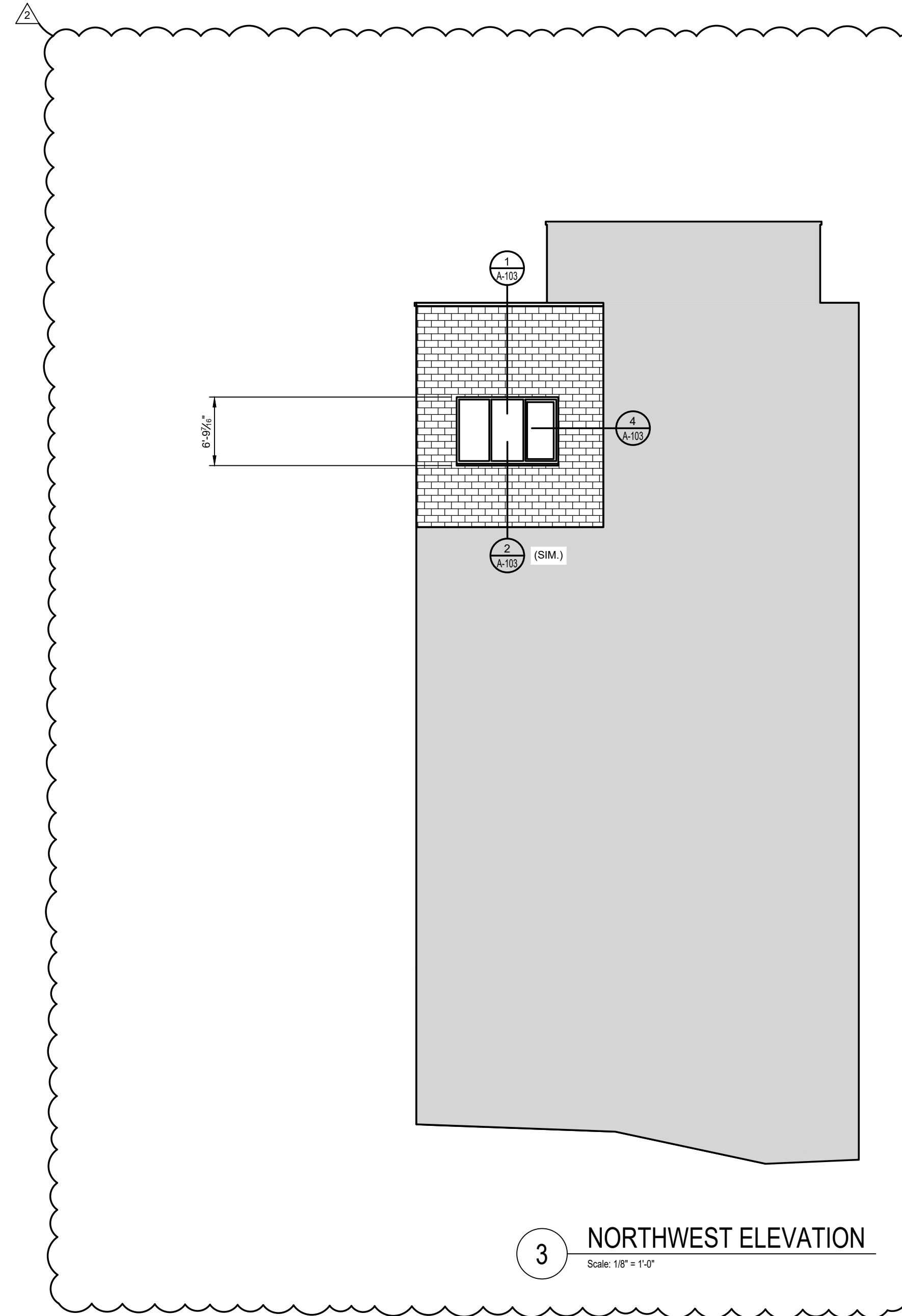


APPROX. SCOPE OF WORK

1 NORTH/EAST ELEVATION
NO SCALE



2 NORTH ELEVATION
Scale: 1/8" = 1'-0"



3 NORTHWEST ELEVATION
Scale: 1/8" = 1'-0"



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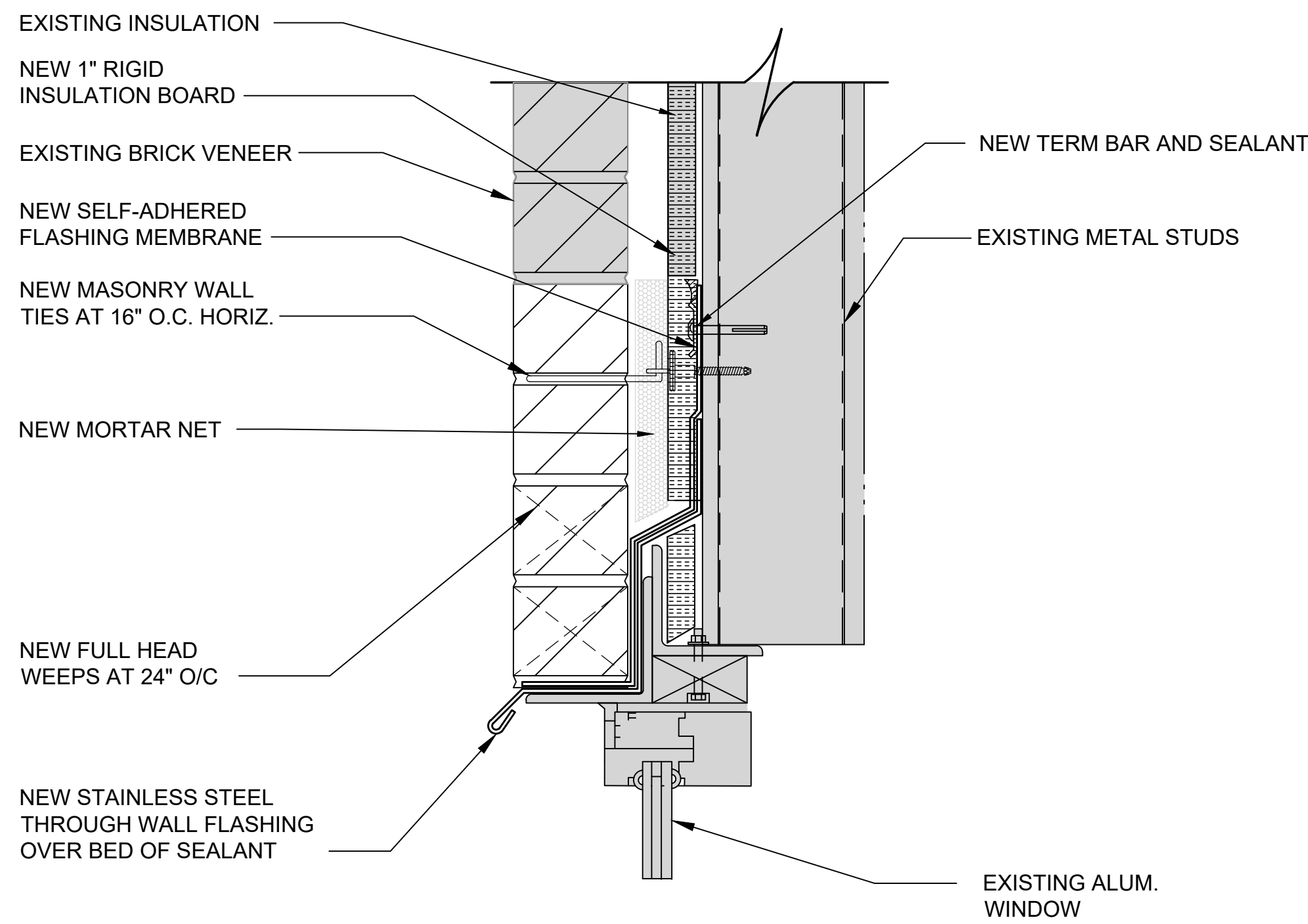
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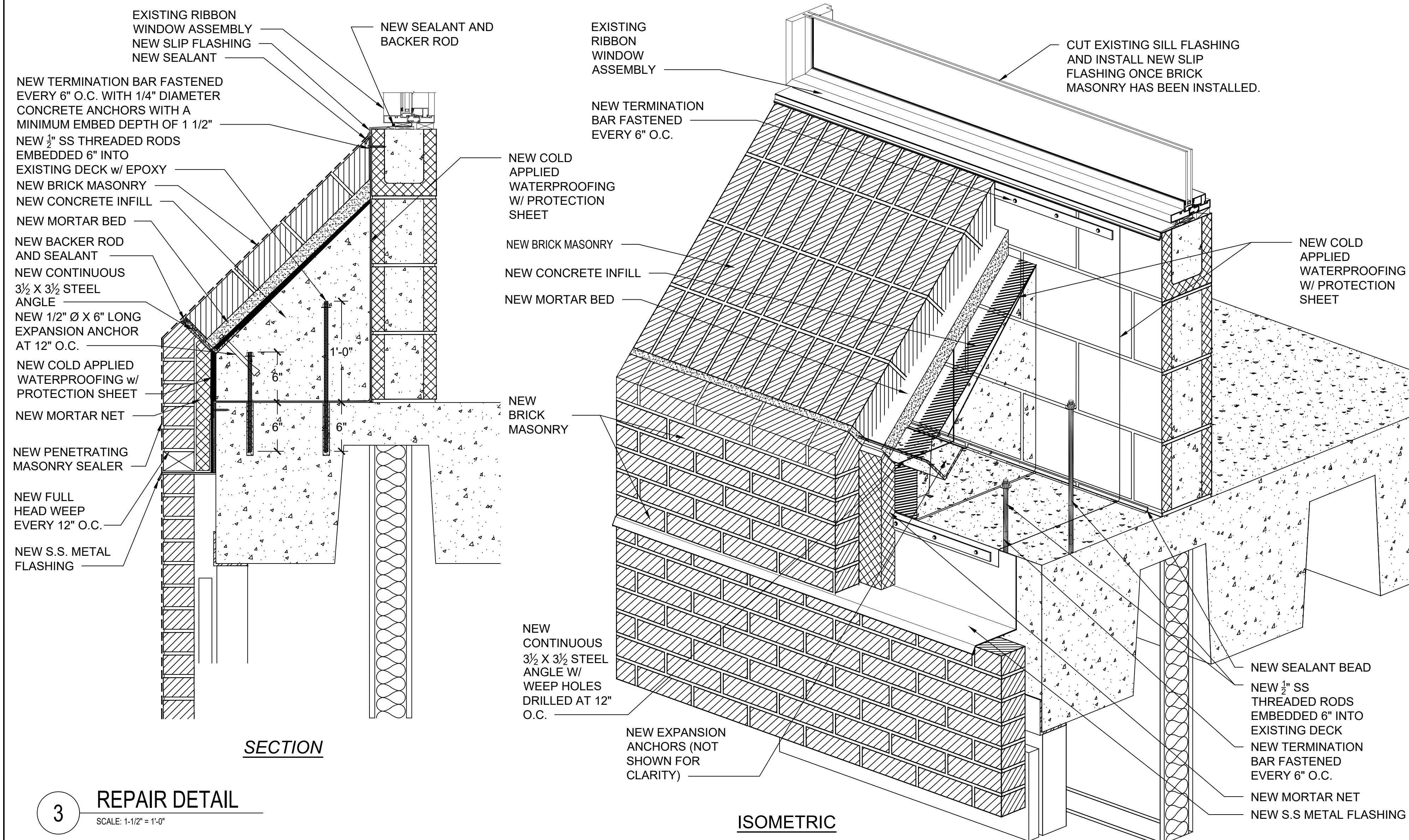
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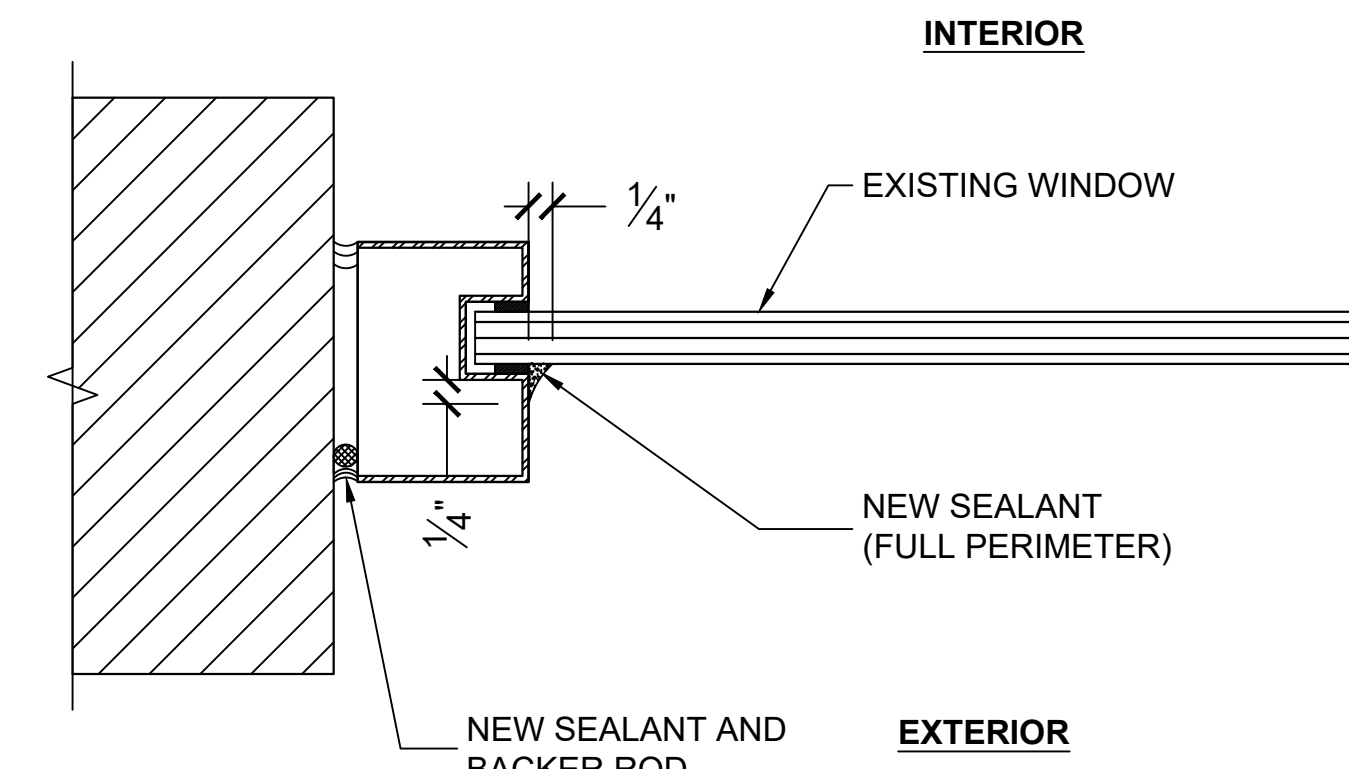
1 WINDOW HEAD DETAIL
Scale: NTS



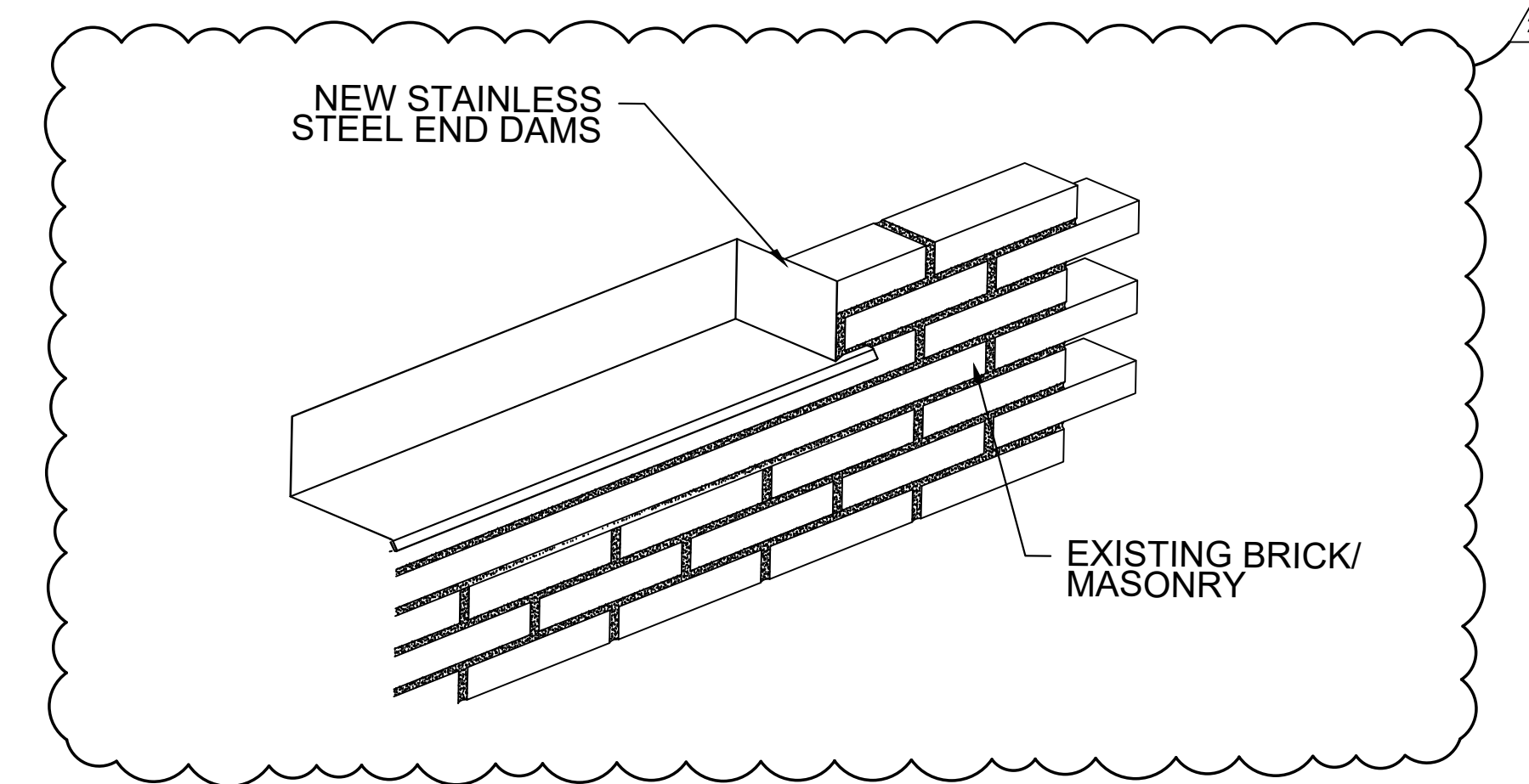
2 WINDOW SEALANT DETAIL
Scale: NTS



3 REPAIR DETAIL
Scale: 1-1/2" = 1'-0"



4 NEW SEALANT (FULL PERIMETER) AT WINDOW (TYP.)
Scale: 1-1/2" = 1'-0"



5 TYPICAL END DAM TERMINATION
Scale: 1-1/2" = 1'-0"

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DETAILS

SHEET NUMBER:

A-103