

# McNair Hall Exterior Facade Repairs Project

NC A&T State University McNair Hall 1601 East Market Street Greensboro, NC 27401 SCO NO: 2326582-01A

### **Index of Drawings**

**BUILDING ELEVATIONS** A-102 BUILDING ELEVATIONS A-103 DETAILS



Terracon NC License No.: F-0869

**ENGINEER STATE LICENSE SEAL** 

PROJECT NAME AND ADDRESS

ISSUE DATE:

11.16.2023

**BID DOCUMENTS** NOT FOR CONSTRUCTION

<u>/</u>2\ 11/16/23

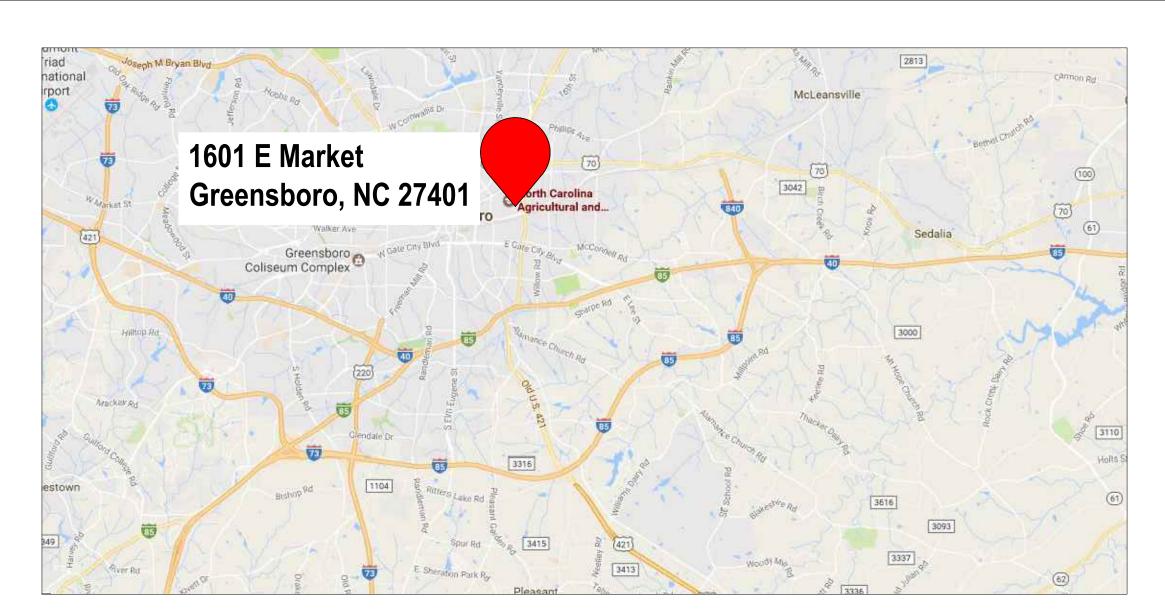
PROJECT TEAM:

TERRACON'S PROJECT NUMBER: FY226138

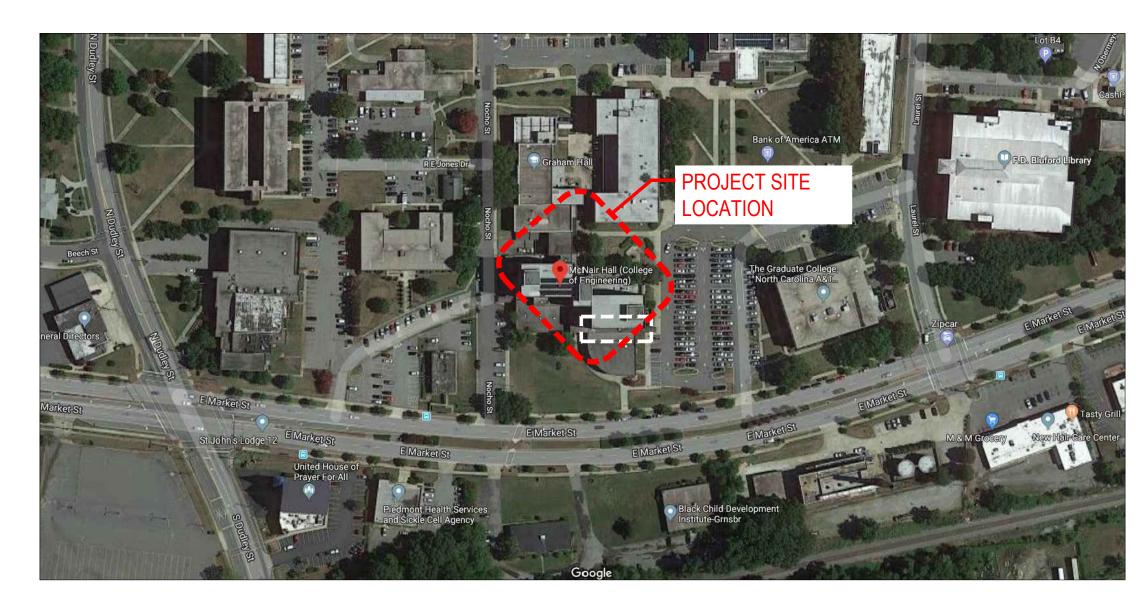
SHEET TITLE:

**COVER SHEET** 

#### **Project Location**



**VICINITY MAP** 



**LOCATION MAP** 

#### **SCOPE OF WORK**

f. INSTALL MASONRY PENETRATING SEALER AT AREAS INDICATED ON DRAWINGS.

CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS.

#### **Symbols**

## XXX

**ELEVATION/DETAIL/SECTION LABEL SHEET SHOWN ON** 

**EXISTING CONDITIONS AND NOT IN SCOPE OF WORK** 

### **Abbreviations**

**NOT IN CONTRACT ON CENTER TYPICAL SIMILAR** 

#### **ENGINEERING CONSULTANT**

TERRACON CONSULTANTS, INC. 7327-G West Friendly Ave. Greensboro, North Carolina

Mr. Shaban K. Kaji, PE, M ASCE

North Carolina Agricultural and

Office of the University Engineer

Greensboro, North Carolina 27411

DeHuguley (Facility) Building

1601 East Market Street

CLIENT

Project Manager

**Technical University** 

Mr. Stewart S. Swing, E.I., RWC, RRC Senior Project Manager I Facilities e:Stewart.Swing@terracon.com p: 704.594.8905

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The content of the	2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES) (Reproduce the following data on the building plans sheet 1 or 2)	Gross Building Area Table  FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL  3rd Floor 0	STORY DESCRIPTION AND (A) (B) (C) (D)  NO. USE BLDG AREA PER TABLE 506.2 <sup>4</sup> AREA FOR FRONTAGE ALLOWABLE AREA PER STORY (ACTUAL) AREA INCREASE <sup>1,5</sup> STORY OR UNLIMITED <sup>2,3</sup>
Married   Marr	Address: 1601 E Market Street, Greensboro, NC  Owner/Authorized Agent: Shaban Kaji Phone # (336 ) 285 - 4505  Owned By: City/County Private  Zip Code 27401  E-Mail Kaji@ncat.edu  State	Mezzanine  1st Floor  Basement  TOTAL  O  ALLOWABLE AREA  Primary Occupancy Classification(s):	M N/A N/A N/A - N/A  2 OFFICE
The part of the	DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL Architectural Civil Terracon Christine Quigley, PE 20723 (704 594-8933 Christine, Quigley@terracon.com Electrical Fire Alarm Plumbing Mechanical Sprinkler-Standpipe Structural Retaining Walls >5' High Other  ("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)	Business  Educational   Factory   F-1 Moderate   F-2 Low   Hazardous   H-1 Detonate   H-2 Deflagrate   H-3 Combust   H-4 Health   H-5 HPM   Institutional   I-1 Condition   1   2     2     1-2 Condition   1   2   3   4   5     1-4   Mercantile   Residential   R-1   R-2   R-3   R-4   Storage   S-1 Moderate   S-2 Low   High-piled   Repair Garage   Open   Enclosed   Repair Garage	2 Unlimited area applicable under conditions of Section 507.  3 Maximum Building Area = total number of stories in the building x D (maximum3 stories) (506.2).  4 The maximum area of open parking garages must comply with Table 406.5.4.  5 Frontage increase is based on the unsprinklered area value in Table 506.2.  ALLOWABLE HEIGHT  ALLOWABLE SHOWN ON PLANS CODE REFERENCE 1  Building Height in Feet (Table 504.3) 2  Building Height in Stories (Table 504.4) 3  1 Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
The part of the pa	1st Time Interior Completion   Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements   Phased Construction - Shell/Core- Contact the local inspection jurisdiction for possible additional procedures and requirements    2018 NC EXISTING BUILDING CODE: EXISTING:   Prescriptive   Repair   Chapter 14   Alteration:   Level I   Level II   Level III   Historic Property   Change of Use    CONSTRUCTED: (date)   1987   CURRENT OCCUPANCY(S) (Ch. 3):   RENOVATED: (date)   PROPOSED OCCUPANCY(S) (Ch. 3):   PROPOSED OCCUPANCY(S) (Ch. 3):    RISK CATEGORY (Table 1604.5):   Current:   I   II   III   IV   Proposed:   I   III   III   IV    BASIC BUILDING DATA   Construction Type:   I-A   II-A   III-A   IV   V-A	Accessory Occupancy Classification(s):  Incidental Uses (Table 509):  Special Uses (Chapter 4 – List Code Sections):  Special Provisions: (Chapter 5 – List Code Sections):  Mixed Occupancy:  No Yes Separation:  Hr. Exception:  Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.  Actual Area of Occupancy A Allowable Area of Occupancy B Allowable Area of Occupancy B	<sup>3</sup> The maximum height of open parking garages must comply with Table 406.5.4.
Contract times   Cont	Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D  Standpipes: No Yes Class I II III Wet Dry  Fire District: No Yes Flood Hazard Area: No Yes  Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)	2018 NC Administrative Code and Policies	2018 NC Administrative Code and Policies
State   Time A form:   Comment of the comment of th	BUILDING ELEMENT  FIRE SEPARATION DISTANCE (FEET)  STRUCTURAL Frame, including columns, girders, trusses  Bearing Walls Exterior North East  FIRE SEPARATION DISTANCE (FEET)  REQ'D PROVIDED (W/* REQ'D PROVIDED (W/* REDUCTION)  AND SHEET # FOR RATED PENETRATION ASSEMBLY  OHR  INCREMENT  AND SHEET # FOR RATED PENETRATION FOR RATED PENETRATION INCREMENT	FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES  PROTECTION (TABLE 705.8)  LIFE SAFETY SYSTEM REQUIREMENTS  Emergency Lighting:  DEGREE OF OPENINGS (Photo Property Lines (P	Unit Classification Units Required Provided Required Provided N/A
Exit sign focations (1013)	Interior 1HR	Smoke Detection Systems: No Yes Partial Carbon Monoxide Detection: No Yes  LIFE SAFETY PLAN REQUIREMENTS  Life Safety Plan Sheet #:  Fire and/or smoke rated wall locations (Chapter 7)  Assumed and real property line locations (if not on the site plan)  Exterior wall opening area with respect to distance to assumed property lines (705.8)  Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)	LOT OR PARKING AREA
* Indicate section number permitting reduction  The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)  Note any code exceptions or table notes that may have been utilized regarding the items above	Columns Supporting Floors  Roof Construction, including supporting beams and joists  Roof Ceiling Assembly  Columns Supporting Roof  OHR  Columns Supporting Roof  OHR  Shaft Enclosures - Exit  2HR  Shaft Enclosures - Other  Corridor Separation  Occupancy/Fire Barrier Separation  Party/Fire Wall Separation  Smoke Barrier Separation  Smoke Partition  Tenant/Dwelling Unit/ Sleeping Unit Separation  OHR  O HR  O HR  O HR  O HR  O HR	Exit sign locations (1013)  Exit access travel distances (1017)  Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))  Dead end lengths (1020.4)  Clear exit widths for each exit door  Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)  Actual occupant load for each exit door  A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation  Location of doors with panic hardware (1010.1.10)  Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)  Location of doors with electromagnetic egress locks (1010.1.9.9)  Location of doors equipped with hold-open devices  Location of emergency escape windows (1030)	USE WATER CLOSETS URINALS LAVATORIES SHOWERS DRINKING FOUNTAINS  MALE FEMALE UNISEX MALE FEMALE UNISEX /TUBS REGULAR ACCESSIBLE  SPACE EXIST'G NEW REQ'D SPECIAL APPROVALS
2018 NC Administrative Code and Policies 2018 NC Administrative Code and Policies 2018 NC Administrative Code and Policies	Incidental Use Separation * Indicate section number permitting reduction	☐ The square footage of each fire area (202) ☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)	2018 NC Administrative Code and Policies

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ENGINEER STATE LICENSE SEAL

PROJECT NAME AND ADDRESS:

airs Project 82-01A

NC A&T State University
McNair Hall
or Facade Repairs F
O NO: 23-26582-0

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ADDENDUM:

No.: DATE: DESCRIPTION:

PROJECT TEAM:

DESIGNED BY:

SSS

DRAWN BY:

LJG

APR REVIEWER:

LTH

TERRACON'S PROJECT NUMBER:

SHEET TITLE:

APPENDIX B

IEET NUMBER:

G-102

ENER	ENERGY SUMMARY GY REQUIREMENTS:		BUILDI
The fo also be If perf	llowing data shall be considered minimum and any special attribute required to meet the energy code shall provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. ormance method, state the annual energy cost for the standard reference design vs annual energy cost for the ed design.		DESIGN LOAI
Existi	ag building envelope complies with code: No Yes (The remainder of this section is not applicable)		Import Live Lo
Exem	Climate Zone: 3A 4A 5A		Elve Ev
	Method of Compliance: Energy Code Performance Prescriptive  ASHRAE 90.1 Performance Prescriptive  (If "Other" specify source here)		Groun Wind I
THER	MAL ENVELOPE (Prescriptive method only)		SEISMIC DES
	Roof/ceiling Assembly (each assembly)  Description of assembly:  U-Value of total assembly:  R-Value of insulation:  Skylights in each assembly:		Provide the following Risk Construction Site Construction
	U-Value of skylight:total square footage of skylights in each assembly:	N/A	
	Exterior Walls (each assembly)  Description of assembly: U-Value of total assembly: R-Value of insulation:		Analy: Archit
N/A	Openings (windows or doors with glazing)  U-Value of assembly:  Solar heat gain coefficient:  projection factor:		LATERAL DE SOIL BEARIN
	Door R-Values:  Walls below grade (each assembly)		Field T Presum Pile siz
	Description of assembly: U-Value of total assembly: R-Value of insulation:		
	Floors over unconditioned space (each assembly)  Description of assembly:  U-Value of total assembly:  B. Value of insulation:		
	R-Value of insulation:  Floors slab on grade		
	Description of assembly: U-Value of total assembly: R-Value of insulation: Horizontal/vertical requirement:		
	slab heated:  C Administrative Code and Policies		2018 NC Admin
В	2018 APPENDIX B UILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS		
	UILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  ELECTRICAL DESIGN  (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)		
N/A	UILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)  ELECTRICAL SUMMARY		
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N/A	UILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)  ELECTRICAL SUMMARY  TRICAL SYSTEM AND EQUIPMENT  Method of Compliance: Energy Code Performance Prescriptive ASHRAE 90.1 Performance Prescriptive  Lighting schedule (each fixture type)  lamp type required in fixture number of lamps in fixture ballast type used in the fixture number of ballasts in fixture		
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N/A	TRICAL SYSTEM AND EQUIPMENT  Method of Compliance: Energy Code Performance Prescriptive ASHRAE 90.1 Performance Prescriptive Lighting schedule (each fixture type) lamp type required in fixture number of lamps in fixture ballast type used in the fixture number of ballasts in fixture total wattage per fixture total wattage specified vs. allowed (whole building or space by space) total exterior wattage specified vs. allowed  Additional Efficiency Package Options (When using the 2018 NCECC; not required for ASHRAE 90.1)  C406.2 More Efficient HVAC Equipment Performance C406.3 Reduced Lighting Power Density C406.4 Enhanced Digital Lighting Controls C406.5 On-Site Renewable Energy C406.6 Dedicated Outdoor Air System		
N/A	TRICAL SYSTEM AND EQUIPMENT  Method of Compliance: Energy Code		
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N/A ELEC	CILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)  ELECTRICAL SUMMARY  TRICAL SYSTEM AND EQUIPMENT  Method of Compliance: Energy Code		

2018 APPENDIX B 2018 APPENDIX B NG CODE SUMMARY FOR ALL COMMERCIAL PROJECTS BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE) MECHANICAL DESIGN (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE) MECHANICAL SUMMARY Ance Factors: Snow (I<sub>S</sub>) \_\_\_\_\_\_ Seismic (I<sub>E</sub>) MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT Thermal Zone winter dry bulb: summer dry bulb:\_\_\_\_\_ Snow Load: \_\_\_\_\_ psf Interior design conditions winter dry bulb: Ultimate Wind Speed \_\_\_\_\_ mph (ASCE-7) summer dry bulb:\_\_\_\_ Exposure Category relative humidity: GN CATEGORY: A B C D Building heating load: Building cooling load: **Mechanical Spacing Conditioning System** Unitary
description of unit:
heating efficiency:
cooling efficiency: size category of unit: Size category. If oversized, state reason.: Size category. If oversized, state reason.: SIGN CONTROL: Earthquake Wind List equipment efficiencies: G CAPACITIES: est (provide copy of test report) \_\_\_\_\_ psf
ptive Bearing capacity \_\_\_\_\_ 2000 \_\_\_ psf
e, type, and capacity \_\_\_\_\_ trative Code and Policies 2018 NC Administrative Code and Policies



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Hall epairs Project 6582-01A

McNair Hall

Sco No: 23-26582-0

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No.: DATE: DESCRIPTION:

PROJECT TEAM:

SSS DRAWN BY: LJG

LJG

APR REVIEWER:

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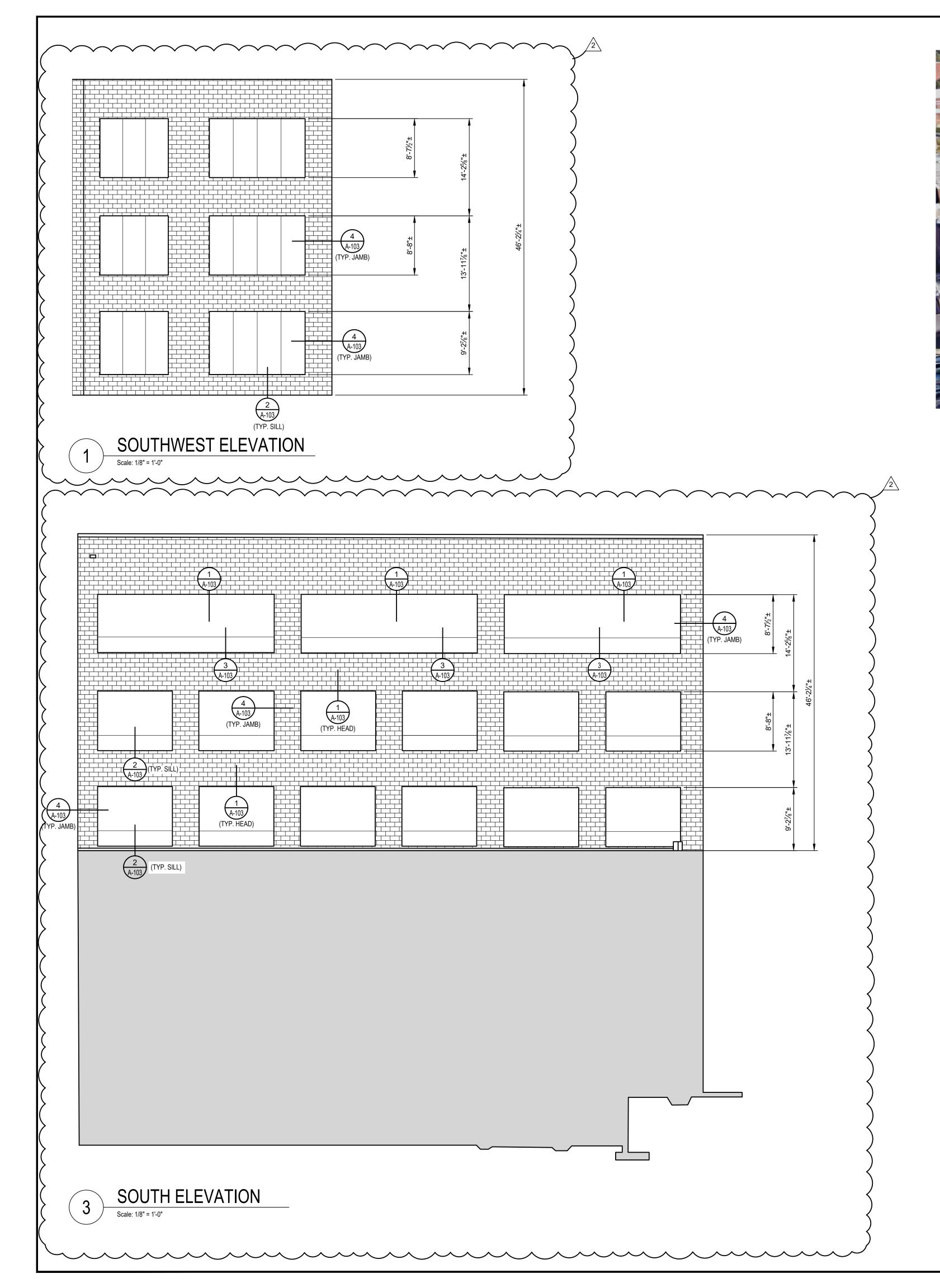
TERRACON'S PROJECT NUMBER: FY226138

SHEET TITLE:

APPENDIX B

IEET NUMBER:

G-103





2 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

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ede Repairs Project 3: 23-26582-01A

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No.: DATE: DESCRIPTION:

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PROJECT TEAM:
DESIGNED BY:
SSS

DRAWN BY:
LJG

APR REVIEWER:
I TH

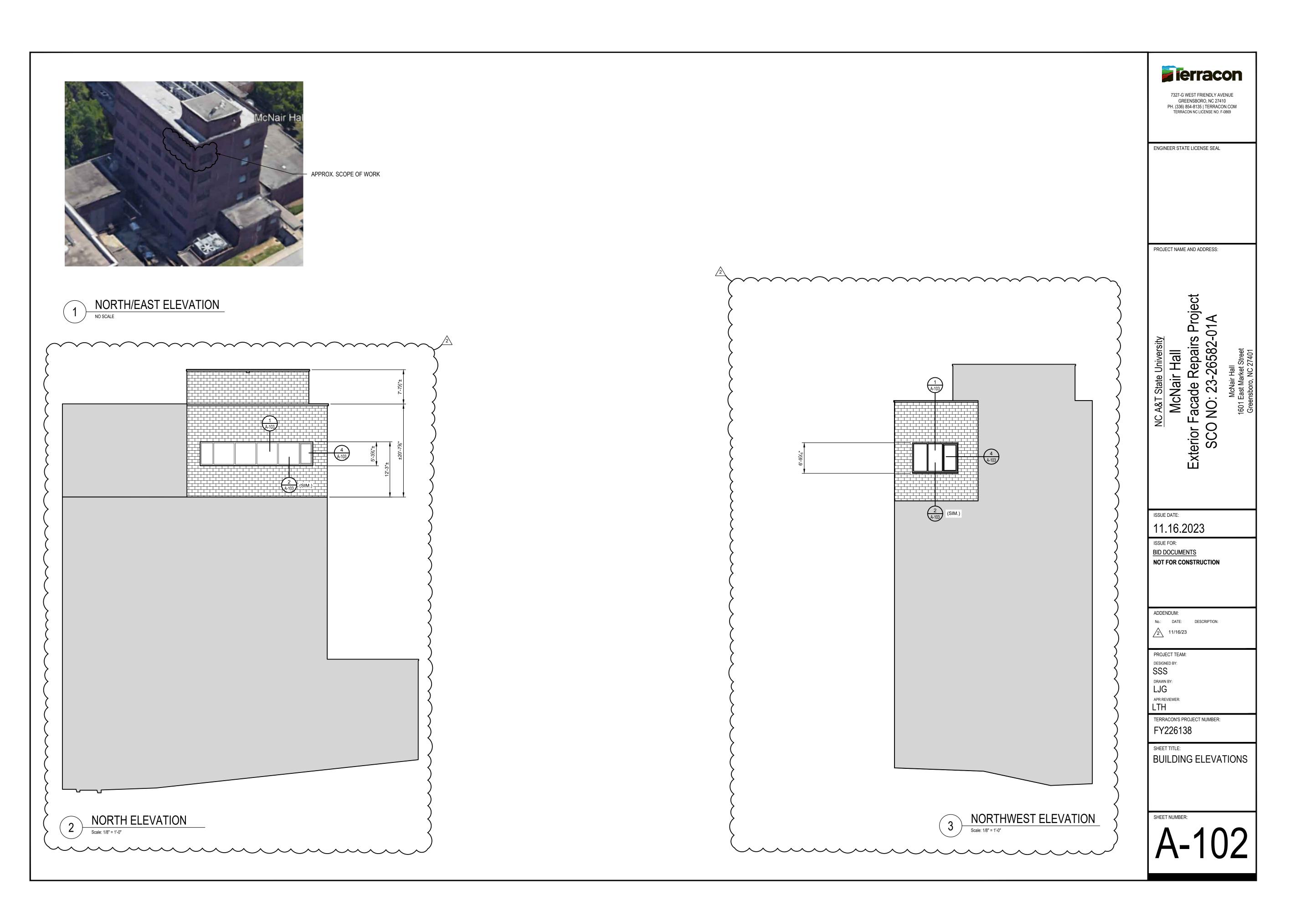
TERRACON'S PROJECT NUMBER: FY226138

SHEET TITLE:

BUILDING ELEVATIONS

IEET NUMBER:

A-101



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