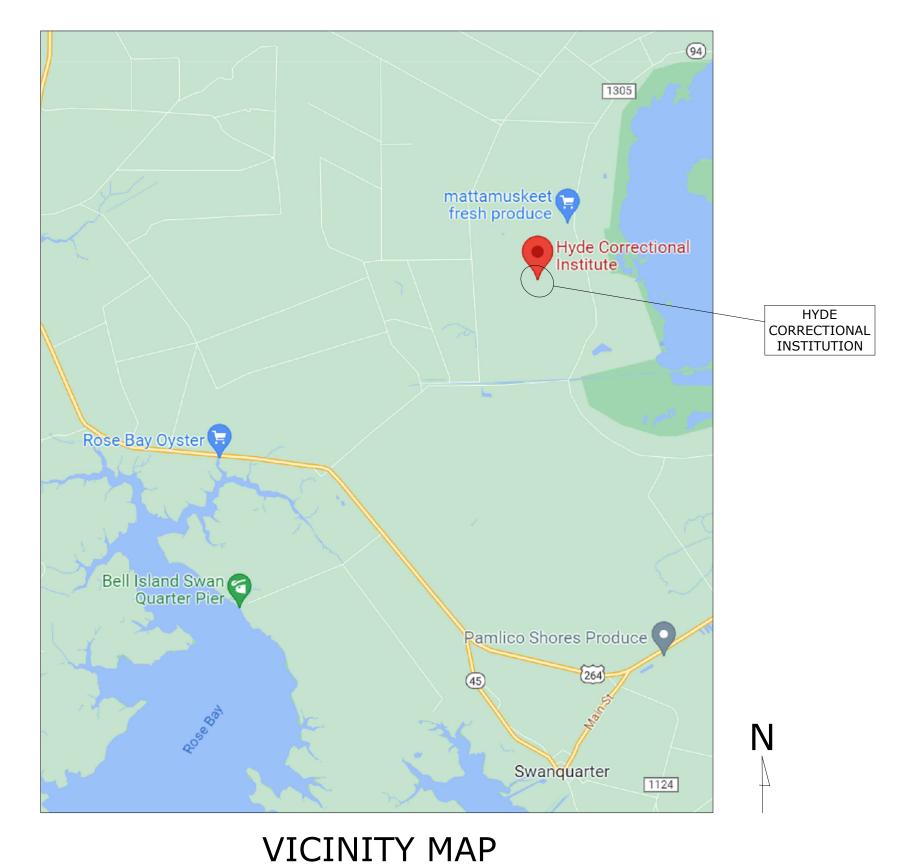
# HYDE CORRECTIONAL INSTITUTION - ROOF REPAIRS NC DEPARTMENT OF ADULT CORRECTION SWAN QUARTER, NORTH CAROLINA SCO ID#: 23-26754-01A



NOT TO SCALE

# BUILDING CODE SUMMARY - 2018 APPENDIX B

	DESIGN LOADS: STRUCTURAL DESIGN
Name of Project: HYDE CORRECTIONAL INSTITUTION FACILITY - ROOF REPAIRS	Importance Factors: Snow (I <sub>s</sub> ) <b>1.10</b>
Address: 620 PRISON ROAD, SWAN QUARTER, NC Zip Code: 27885	
Owner or Authorized Agent: NC DEPARTMENT OF ADULT CORRECTION Phone # REBECCA C Email Email	CUNNINGHAM@DAC.NC.GOV Live Loads: Roof 20
Owned By: 🗆 City/County 🗆 Private 🖾 State	
Code Enforcement Jurisdiction: 🗆 City 🗆 County 🛛 State	Ground Snow Load:
CONTACT: HANNAH FORD, PE, RRO, ATLAS ENGINEERING, INC.	Wind Load: Ultimate Wind Speed <u>142</u> mph ( Exposure Category <u>C</u>
DESIGNER  FIRM  NAME  LICENSE #  TELEPHONE #    Architectural  N/A	EMAIL    Design Pressure (psf):      Field    42      Perimeter    50      Perimeter Width    8 FT      Corner    50      Corner Dimension    8X8
Mechanical    N/A      Sprinkler-Standpipe    N/A      Structural    N/A      Retaining Walls>    5' High      N/A    N/A      REROOFING    ATLAS ENGINEERING	ENERGY SUMMAR ENERGY REQUIREMENTS: The following data shall be considered minimum and any specie code shall also be provided. Each designer shall furnish the re for the plan data sheet. If performance method, state the and design vs. annual energy cost for the proposed design.
2018 NC CODE FOR:    □ Roof Replacement    □ Roof Recover    X Roof Repair      CONSTRUCTED:    (date)    1997      CURRENT OCCUPANCY(S):    (Ch. 3)    INSTITUTIONAL GROUP I-3      BASIC BUILDING DATA      Construction Type:    □ I – A    □ III – A    □ IV    V – A      (Check all that apply)    X I – B    □ III – B    □ III – B    V – B      Sprinklers:    X No    □ Partial    Yes    □ NFPA 13    □ NFPA 13R    □ NFPA 13D      Standpipes:    □ No    X Yes    Class    □ II    □ III    □ Wet    □ Dry	Existing building envelope complies with code:    ☑ No    ☑ Yes(Provide code or statutory ONLY ROOF SYSTEM IS BEING ADDRESSED IN T Climate Zone:      © Climate Zone:    ☑ 3A    □ 4A    □ 5A      Method of Compliance:    Energy Code    Performance    ☑ Prescriptive      ASHRAE    90.1    Performance    □ Prescriptive      If "Other" specify source here
Fire District: 🗆 No 🛛 🕱 Yes (Primary)	Roor/Cening Assembly (edch assembly)
Gross Area (sq.ft.):        ADMIN      HOUSING 1 HOUSING 2 HOUSING 3 CONNECTOR VOCATIONAL GATE HOUSE	ADMIN, GATEHOUSE, HOUSING-E HOUSING-CONNECTOR: GRAVEL OVER CONCRETE DECK.
ADMIN      HIGOSING 1      HIGOSING 2      HIGOSING 3      CONNECTOR      VOCATIONAL      GATE      HIGOSIC      HIGOSING 3      CONNECTOR      VOCATIONAL      GATE      HIGOSIC      HIGOSING 3      CONNECTOR      VOCATIONAL      GATE      HIGOSIC      HIGOSING 3      CONNECTOR      VOCATIONAL      GATE      HIGOSING 4      HIGOSING 3      CONNECTOR      VOCATIONAL      GATE      HIGOSING 4      HIGOSING 3      CONNECTOR      VOCATIONAL      GATE      HIGOSING 4      HIGOSING 4      HIGOSING 4      HIGOSING 4      GATE      HIGOSING 4      HIGOSING 4 <td>SUB-TOTAL    VOCATIONAL: GRAVEL BUILT-UP      115,300    Description of assembly_POLYISOCYANURATE INSULATION      U-Value of total assembly_NOT APPLICABLE: ROOF REPAIR WILL    NOT APPLICABLE: ROOF REPAIR WILL NOT CH      115,300    R-Value of insulation_NOT APPLICABLE: ROOF REPAIR WILL NOT CH</td>	SUB-TOTAL    VOCATIONAL: GRAVEL BUILT-UP      115,300    Description of assembly_POLYISOCYANURATE INSULATION      U-Value of total assembly_NOT APPLICABLE: ROOF REPAIR WILL    NOT APPLICABLE: ROOF REPAIR WILL NOT CH      115,300    R-Value of insulation_NOT APPLICABLE: ROOF REPAIR WILL NOT CH
FIRE PROTECTION REQUIREMENTS	Skylights in each assembly U-Value of skylight_ <b>0.55</b>
BUILDING ELEMENT FIRE SEPARATION DETAIL # DESIGN # FC DISTANCE (FEET) AND SHEET # RATED ASSEME	
Roof construction, including supporting beams and joists    NOT APPLICABLE: ROOF REPAIRS WILL NOT CHANGE THE EXISTING FIRE SEPARATION DISTANCE OR RATING OF THE OVERALL ROOF ASSEMBLY OF      Roof Ceiling Assembly    ORIGINAL CONSTRUCTION. SYSTEM WILL REMAIN A UL CLASS A RATED SYST      Columns Supporting Roof    ORIGINAL CONSTRUCTION.	

PREPARED FOR:

NC DEPARTMENT OF ADULT CORRECTION CENTRAL ENGINEERING 2020 YONKERS ROAD (4216 MSC) RALEIGH, NC 27699

DRAWING INDEX

COV	COVER SHEET AND BUILDING CODE SUMMARY
1.0	SITE PLAN
2.0	OVERALL ROOF PLANS - ADMIN, VOCATIONAL, & GATEHOUSE
2.1	OVERALL ROOF PLAN - HOUSING BUILDING
3.0	ROOF DETAILS



\_\_\_ pst \_\_\_\_ psf

(ASCE 7) (RISK CAT. III)

T APPLICABLE: ROOF REPAIRS DO NOT REQUIRE DESIGN ESSURE CALCULATIONS.

RY

ial attribute required to meet the energy required portions of the project information nnual energy cost for the standard reference

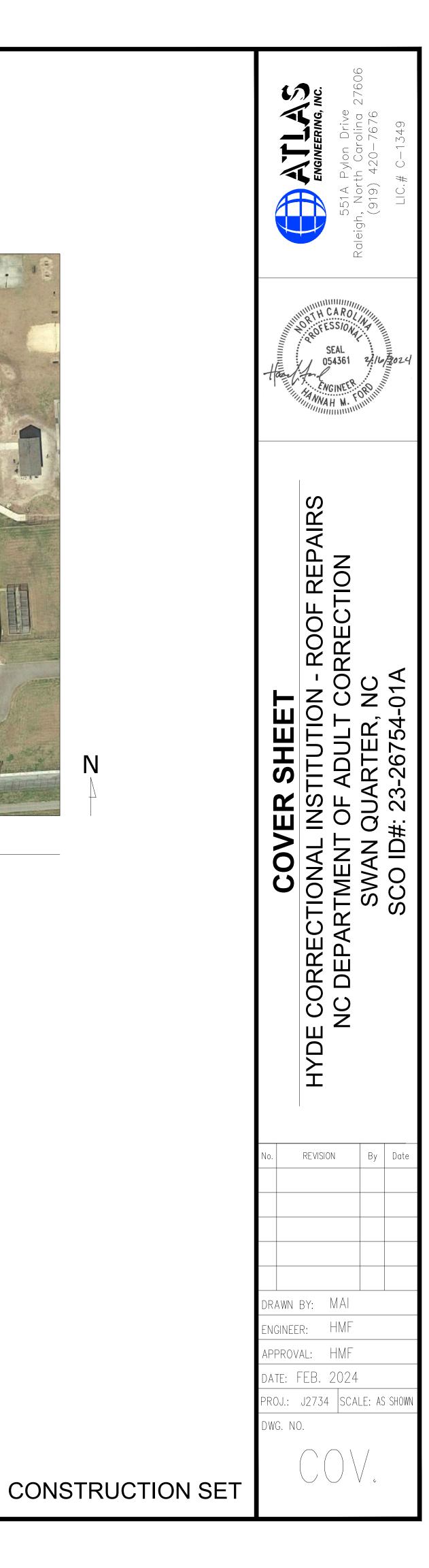
Yes ry reference): THIS PROJECT

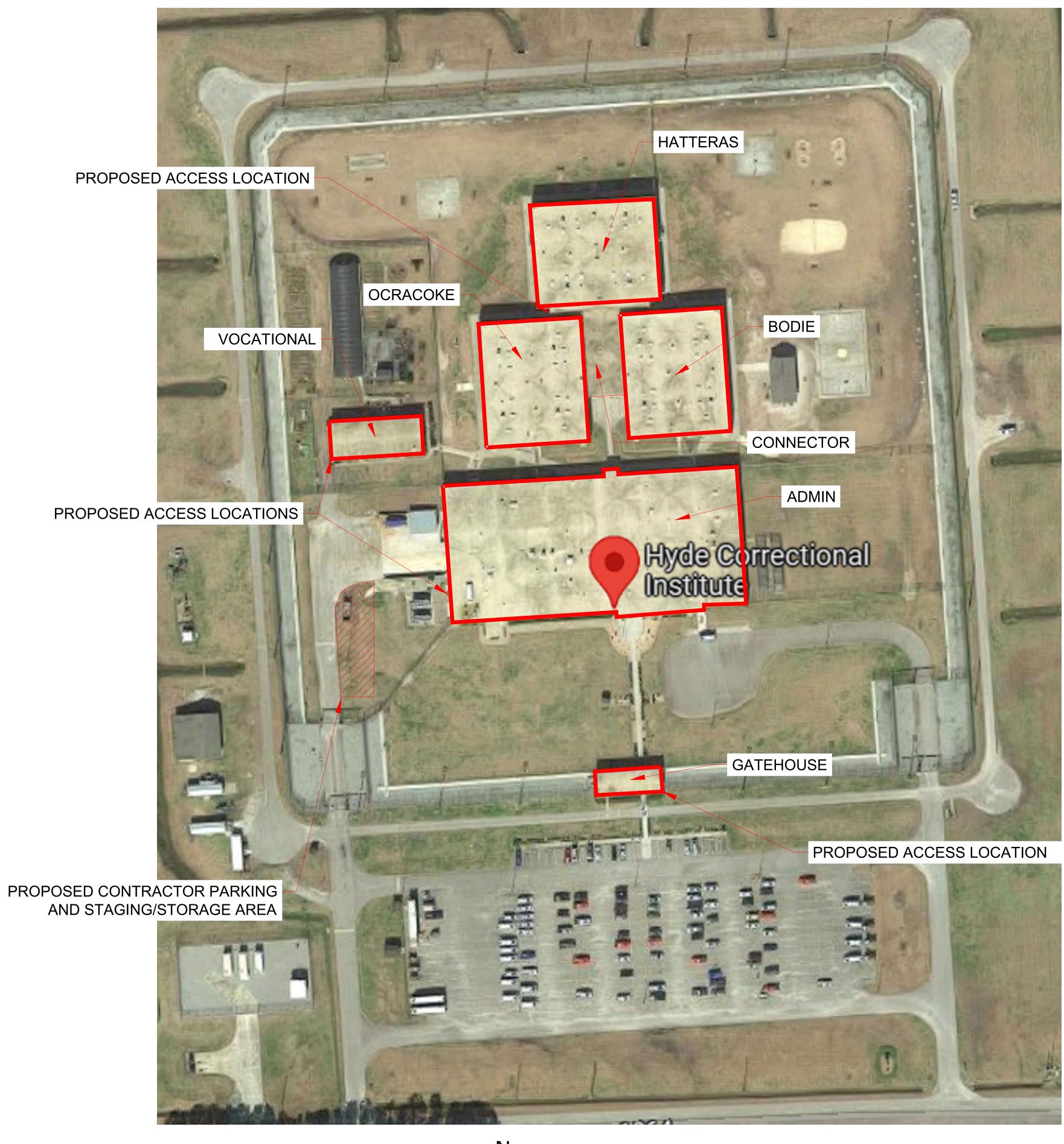
BODIE, HOUSING-OCRACOKE, HOUSING-HATTERAS, BUILT-UP ROOF, LIGHT-WEIGHT CONCRETE FILL

P ROOF, (2) 1/2" PERLITE INSULATION, 1-1/2" N OVER METAL DECK NOT CHANGE THE EXISTING U-VALUE OF THE TOTAL ASSEMBLY. HANGE THE EXISTING R-VALUE OF THE TOTAL ASSEMBLY.

embly 723 SF

SITE PLAN NOT TO SCALE



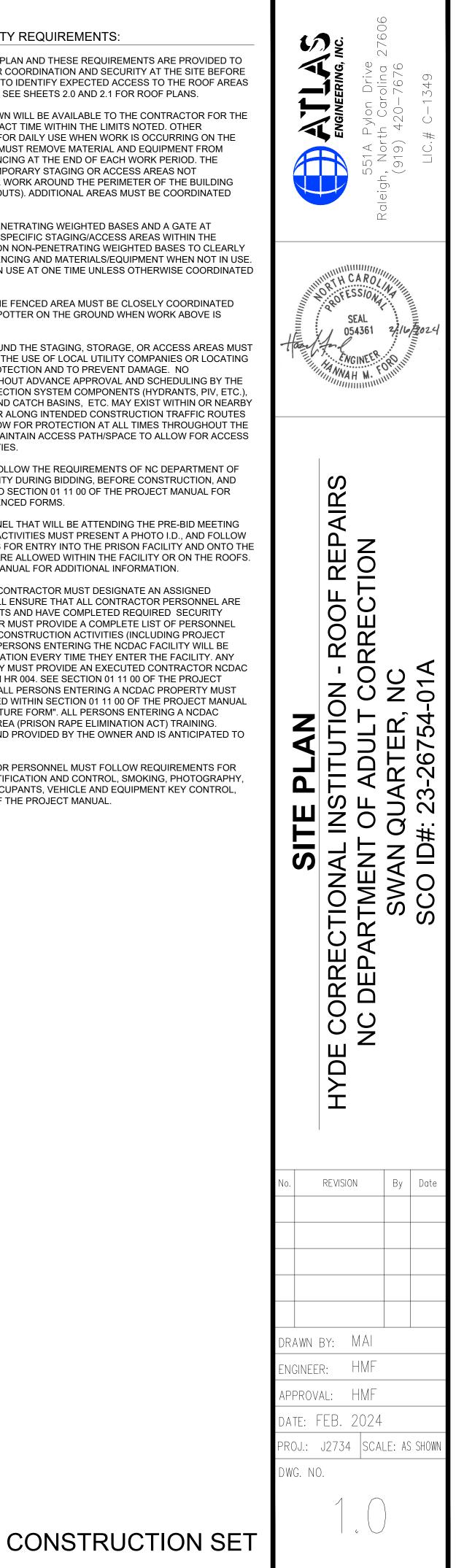


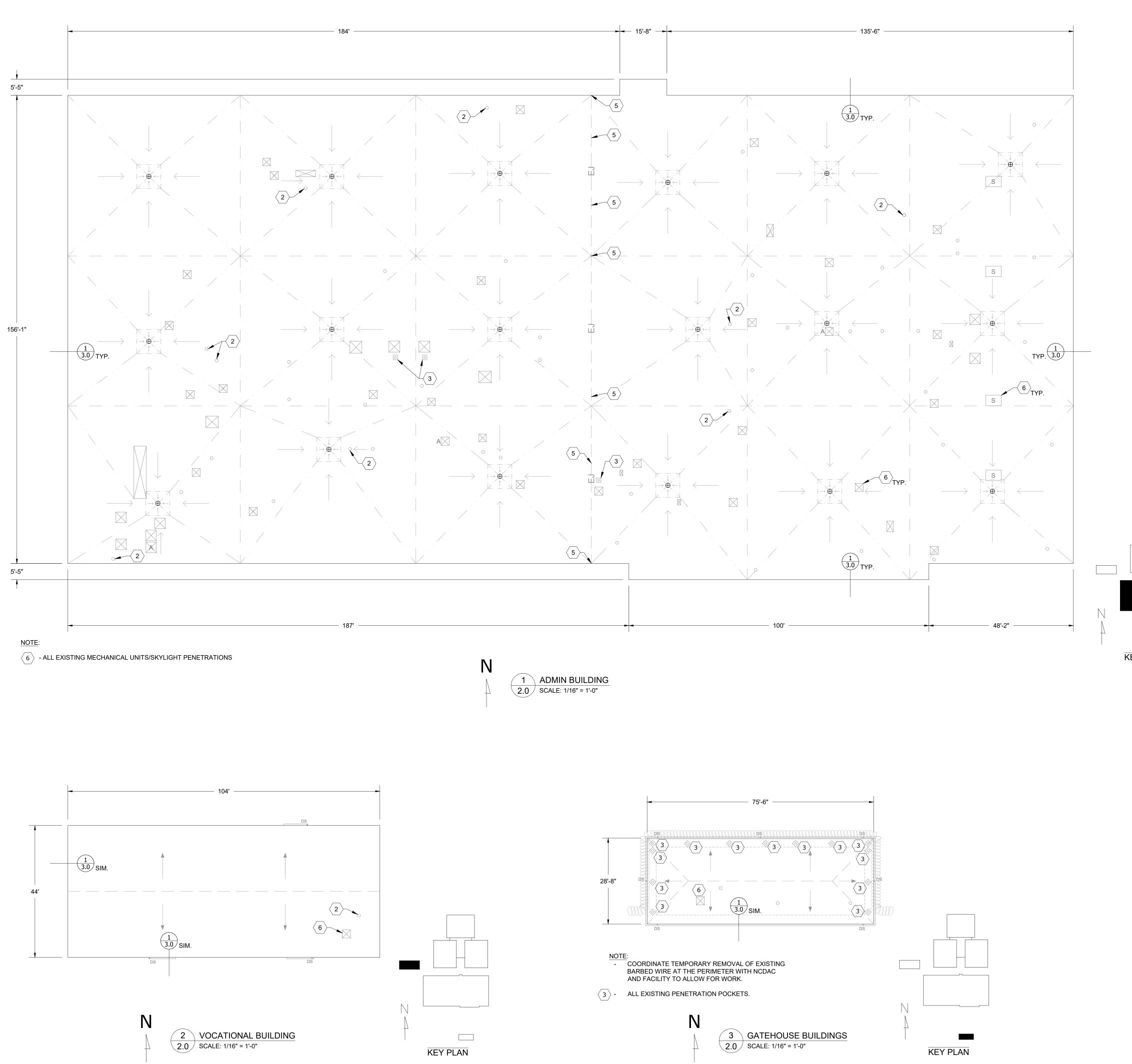


1 SITE PLAN - STAGING AND STORAGE 1.0 SCALE: NOT TO SCALE

### SITE STAGING, STORAGE AND SECURITY REQUIREMENTS:

- 1. THE SITE STAGING, STORAGE, AND SECURITY PLAN AND THESE REQUIREMENTS ARE PROVIDED TO COMMUNICATE GENERAL REQUIREMENTS FOR COORDINATION AND SECURITY AT THE SITE BEFORE AND DURING CONSTRUCTION ACTIVITIES AND TO IDENTIFY EXPECTED ACCESS TO THE ROOF AREAS TO BE REPAIRED AS A PART OF THE PROJECT. SEE SHEETS 2.0 AND 2.1 FOR ROOF PLANS.
- 2. THE MAIN STORAGE AND STAGING AREA SHOWN WILL BE AVAILABLE TO THE CONTRACTOR FOR THE DURATION OF THE ORIGINAL PROJECT CONTRACT TIME WITHIN THE LIMITS NOTED. OTHER STAGING/ACCESS AREAS WILL BE AVAILABLE FOR DAILY USE WHEN WORK IS OCCURRING ON THE ASSOCIATED ROOF AREA. THE CONTRACTOR MUST REMOVE MATERIAL AND EQUIPMENT FROM STAGING/ACCESS AREAS WITHIN FACILITY FENCING AT THE END OF EACH WORK PERIOD. THE CONTRACTOR MAY REQUEST ADDITIONAL/TEMPORARY STAGING OR ACCESS AREAS NOT SPECIFICALLY MARKED ON THE DRAWING FOR WORK AROUND THE PERIMETER OF THE BUILDING (PERIMETER METAL, GUTTERS, AND DOWNSPOUTS). ADDITIONAL AREAS MUST BE COORDINATED WITH AND APPROVED BY THE OWNER.
- 3. PROVIDE 6' CHAIN LINK FENCING WITH NON-PENETRATING WEIGHTED BASES AND A GATE AT STAGING AND MATERIAL STORAGE AREAS. AT SPECIFIC STAGING/ACCESS AREAS WITHIN THE FENCING, PROVIDE ORANGE SNOW FENCING ON NON-PENETRATING WEIGHTED BASES TO CLEARLY IDENTIFY THE AREA WHEN IN USE. REMOVE FENCING AND MATERIALS/EQUIPMENT WHEN NOT IN USE. A MAXIMUM OF TWO ACCESS AREAS CAN BE IN USE AT ONE TIME UNLESS OTHERWISE COORDINATED WITH THE OWNER.
- 4. PROTECTION OF ENTRANCES/EXITS WITHIN THE FENCED AREA MUST BE CLOSELY COORDINATED WITH THE OWNER TO ALLOW FOR USE OF A SPOTTER ON THE GROUND WHEN WORK ABOVE IS OCCURRING.
- 5. UNDERGROUND UTILITIES BENEATH AND AROUND THE STAGING, STORAGE, OR ACCESS AREAS MUST BE LOCATED BY THE CONTRACTOR THROUGH THE USE OF LOCAL UTILITY COMPANIES OR LOCATING SERVICES TO ALLOW FOR AVOIDANCE OR PROTECTION AND TO PREVENT DAMAGE. NO INTERRUPTION OF UTILITIES MAY OCCUR WITHOUT ADVANCE APPROVAL AND SCHEDULING BY THE OWNER. UTILITIES, SITE LIGHTING, FIRE PROTECTION SYSTEM COMPONENTS (HYDRANTS, PIV, ETC.), HVAC EQUIPMENT, STORM DRAINAGE LINES AND CATCH BASINS, ETC. MAY EXIST WITHIN OR NEARBY PROPOSED STORAGE AND STAGING AREAS OR ALONG INTENDED CONSTRUCTION TRAFFIC ROUTES AND MUST BE LOCATED AND MARKED TO ALLOW FOR PROTECTION AT ALL TIMES THROUGHOUT THE WORK.WHERE REQUESTED BY THE OWNER, MAINTAIN ACCESS PATH/SPACE TO ALLOW FOR ACCESS BY THE OWNER TO SITE EQUIPMENT OR UTILITIES.
- 6. THE CONTRACTOR'S PERSONNEL MUST ALL FOLLOW THE REQUIREMENTS OF NC DEPARTMENT OF ADULT CORRECTION REGARDING SITE SECURITY DURING BIDDING, BEFORE CONSTRUCTION, AND DURING CONSTRUCTION ACTIVITIES. REFER TO SECTION 01 11 00 OF THE PROJECT MANUAL FOR FULL REQUIREMENTS AND COPIES OF REFERENCED FORMS.
- 6.1. DURING BIDDING: CONTRACTOR PERSONNEL THAT WILL BE ATTENDING THE PRE-BID MEETING AND VISITING THE SITE DURING BIDDING ACTIVITIES MUST PRESENT A PHOTO I.D., AND FOLLOW ALL NCDAC AND FACILITY REQUIREMENTS FOR ENTRY INTO THE PRISON FACILITY AND ONTO THE ROOFS. NO WEAPONS OR CELL PHONES ARE ALLOWED WITHIN THE FACILITY OR ON THE ROOFS. SEE SECTION 01 11 00 OF THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- 6.2. <u>BEFORE STARTING CONSTRUCTION</u>: THE CONTRACTOR MUST DESIGNATE AN ASSIGNED CONTRACTOR REPRESENTATIVE WHO WILL ENSURE THAT ALL CONTRACTOR PERSONNEL ARE MADE AWARE OF SECURITY REQUIREMENTS AND HAVE COMPLETED REQUIRED SECURITY CHECKS AND TRAINING. THE CONTRACTOR MUST PROVIDE A COMPLETE LIST OF PERSONNEL THAT WILL BE PRESENT ON SITE DURING CONSTRUCTION ACTIVITIES (INCLUDING PROJECT MANAGERS AND SAFETY OFFICERS). ALL PERSONS ENTERING THE NCDAC FACILITY WILL BE REQUIRED TO PRESENT PHOTO IDENTIFICATION EVERY TIME THEY ENTER THE FACILITY. ANY WORKERS ENTERING A NCDAC PROPERTY MUST PROVIDE AN EXECUTED CONTRACTOR NCDAC CRIMINAL HISTORY RECORD CHECK FORM HR 004. SEE SECTION 01 11 00 OF THE PROJECT MANUAL FOR ADDITIONAL INFORMATION. ALL PERSONS ENTERING A NCDAC PROPERTY MUST READ SECURITY REQUIREMENTS INCLUDED WITHIN SECTION 01 11 00 OF THE PROJECT MANUAL AND MUST SIGN THE ASSOCIATED "SIGNATURE FORM". ALL PERSONS ENTERING A NCDAC PROPERTY MUST UNDERGO REQUIRED PREA (PRISON RAPE ELIMINATION ACT) TRAINING. TRAINING WILL BE COORDINATED WITH AND PROVIDED BY THE OWNER AND IS ANTICIPATED TO TAKE NO MORE THAN 1/2 DAY.
- 6.3. DURING CONSTRUCTION: ALL CONTRACTOR PERSONNEL MUST FOLLOW REQUIREMENTS FOR DAILY SIGN-IN, TOOL AND MATERIAL IDENTIFICATION AND CONTROL, SMOKING, PHOTOGRAPHY WORKING HOURS, INTERACTION WITH OCCUPANTS, VEHICLE AND EQUIPMENT KEY CONTROL, ETC. AS PROVIDED IN SECTION 01 11 00 OF THE PROJECT MANUAL.





### NOTES TO EXISTING ROOF PLAN:

- 1. THIS DRAWING ACCOMPANIES A PROJECT MANUAL BY ATLAS ENGINEERING DATED FEBRUARY 2024. PRIOR TO THE START OF WORK, PERFORM A PRE-JOB DAMAGE SURVEY IN ACCORDANCE WITH THE PROJECT MANUAL.
- 2. THIS DRAWING IS PROVIDED TO COMMUNICATE THE EXISTING SYSTEMS AND COMPONENTS OF THE VARIOUS ROOF AREAS, AS WELL AS DOCUMENT ABANDONED EQUIPMENT TO BE REMOVED AS PART OF THE BASE BID SCOPE OF WORK. THE CONTRACTOR SHALL FIELD VERIFY DIMENSIONS, DRAWING SCALES, ROOF CONSTRUCTIONS, PROJECT SCOPE, AND OTHER CONDITIONS SHOWN FOR THE PURPOSE OF BIDDING AND CONSTRUCTION. ALL ROOF FEATURES MAY NOT BE SHOWN OR NOT DRAWN TO SCALE FOR PURPOSE OF CLARITY.

### 3. BASE BID SCOPE OF WORK INCLUDES:

- 3.1. REPAIR OF EXISTING PERIMETER FLASHING FOR THE ENTIRE PERIMETER OF ADMIN, VOCATIONAL, HOUSING BUILDINGS, AND THE GATEHOUSE.
- 3.2. FLASHING REPAIRS AT ROOF-TO-WALL TRANSITIONS, CURBED PENETRATIONS, SKYLIGHTS, AND ISOLATED PIPE PENETRATIONS. ISOLATED REPAIRS TO EXPANSION JOINT AT ROOF-TO-WALL
- 3.3. TRANSITION AT THE HOUSING CONNECTOR ROOF. 3.4. REPLACEMENT OF BROKEN SKYLIGHTS (BID ALTERNATE 01). 3.5. PITCH POCKET REPAIR.
- 4. DO NOT REMOVE MORE OF THE EXISTING ROOF SYSTEM THAN CAN BE MADE WATERTIGHT WITH NEW MATERIALS PRIOR TO THE END OF THE WORK DAY.
- 5. INSPECT EXISTING DRAIN COMPONENTS, WOOD BLOCKING, MASONRY WALLS, AND OTHER COMPONENTS AS THEY ARE EXPOSED DURING ROOF DEMOLITION/REPAIR. IF INTENDED FOR REUSE, REPAIR DAMAGED SUBSTRATES AND COMPONENTS AS NEEDED TO PROVIDE AN ACCEPTABLE SUBSTRATE FOR INSTALLATION OF THE NEW SYSTEM.
- 6. PROTECT EXISTING BUILDING INTERIORS, FINISHES, AND CONTENTS FROM DAMAGE DUE TO DUST, DEBRIS, AND/OR WATER ENTRY DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR REMOVING NO MORE ROOFING THAN CAN BE RETURNED TO A WATERTIGHT CONDITION PRIOR TO THE END OF EACH WORK DAY AND FOR HAVING MATERIALS READILY AVAILABLE ON-SITE FOR TEMPORARY PROTECTION OF THE WORK IN THE EVENT OF UNEXPECTED INCLEMENT WEATHER. IF DAMAGE OCCURS, REPAIR DAMAGED MATERIALS TO RETURN THEM TO THEIR PRIOR CONDITION OR REPLACE THEM WITH NEW WHEN ADEQUATE OR TIMELY REPAIR IS NOT POSSIBLE.
- 7. REFER TO SHEET 1.0 FOR INFORMATION ON STAGING AND STORAGE AREA AND ROOF ACCESS.

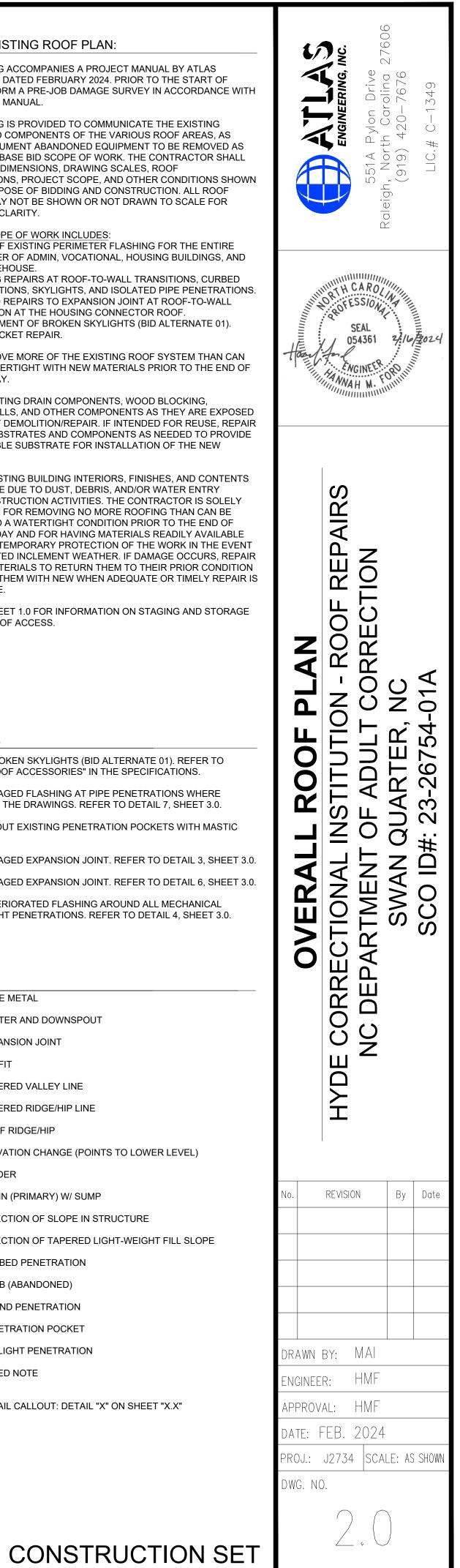
## **KEYED NOTES**

- (1) REPLACE BROKEN SKYLIGHTS (BID ALTERNATE 01). REFER TO SECTION "ROOF ACCESSORIES" IN THE SPECIFICATIONS.

- $\langle \mathbf{4} \rangle$  REPAIR DAMAGED EXPANSION JOINT. REFER TO DETAIL 3, SHEET 3.0.
- $\langle \mathbf{5} \rangle$ REPAIR DAMAGED EXPANSION JOINT. REFER TO DETAIL 6, SHEET 3.0
- REPAIR DETERIORATED FLASHING AROUND ALL MECHANICAL UNIT/SKYLIGHT PENETRATIONS. REFER TO DETAIL 4, SHEET 3.0.

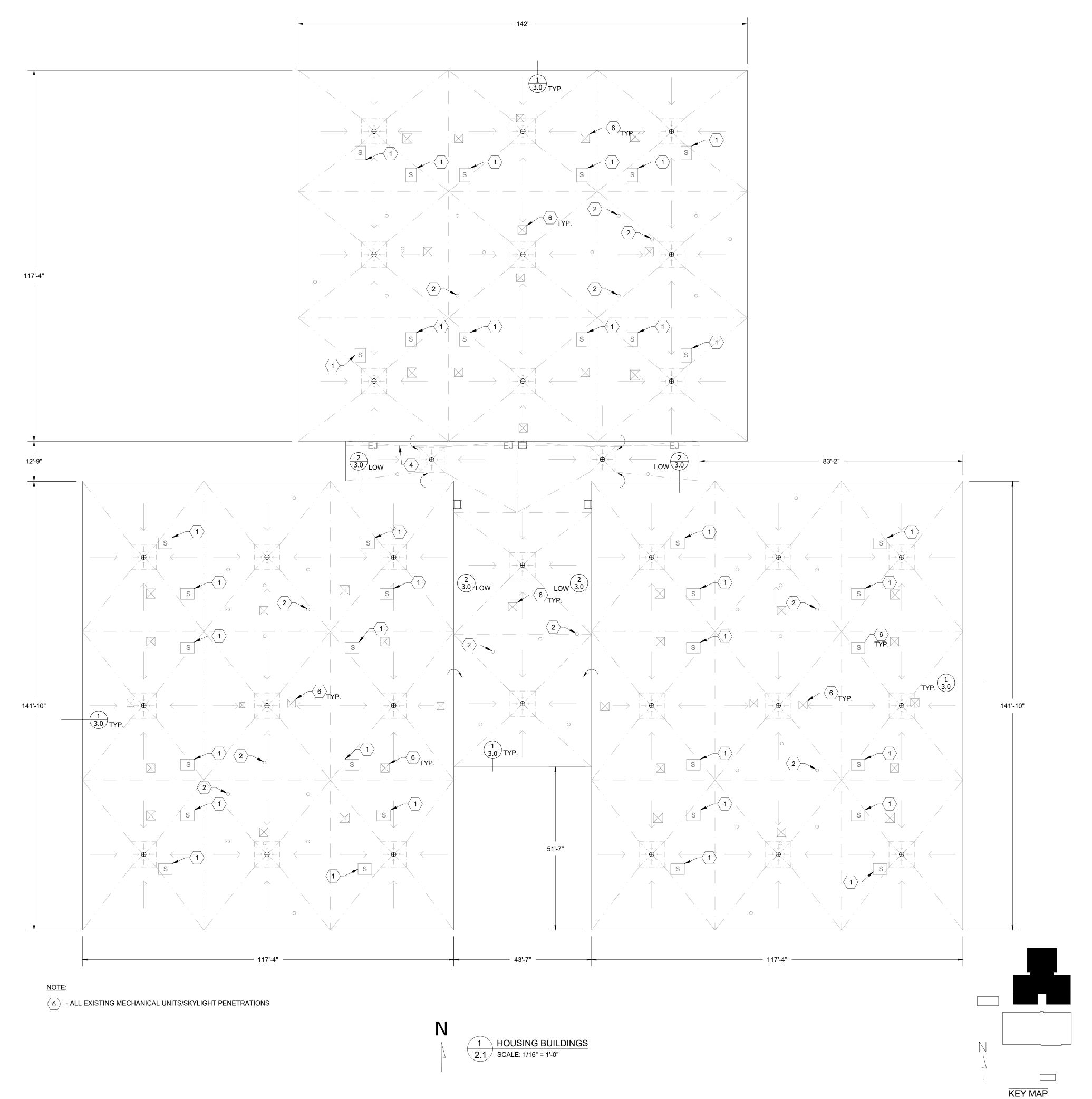
# LEGEND

EGEND	
	EDGE METAL
<u>DS</u>	GUTTER AND DOWNSPOUT
—EJ— —	EXPANSION JOINT
	SOFFIT
· · · ·	TAPERED VALLEY LINE
· ·	TAPERED RIDGE/HIP LINE
	ROOF RIDGE/HIP
$\frown$	ELEVATION CHANGE (POINTS TO LOWER LEVEL)
	LADDER
→ ∰ ←	DRAIN (PRIMARY) W/ SUMP
	DIRECTION OF SLOPE IN STRUCTURE
	DIRECTION OF TAPERED LIGHT-WEIGHT FILL SLOPE
	CURBED PENETRATION
X	CURB (ABANDONED)
$\bigcirc$	ROUND PENETRATION
$\diamond$	PENETRATION POCKET
S	SKYLIGHT PENETRATION
<b>#</b>	KEYED NOTE
X X.X	DETAIL CALLOUT: DETAIL "X" ON SHEET "X.X"



# 

**KEY PLAN** 







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- 6. PROTECT EXISTING BUILDING INTERIORS, FINISHES, AND CONTENTS FROM DAMAGE DUE TO DUST, DEBRIS, AND/OR WATER ENTRY DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR REMOVING NO MORE ROOFING THAN CAN BE RETURNED TO A WATERTIGHT CONDITION PRIOR TO THE END OF EACH WORK DAY AND FOR HAVING MATERIALS READILY AVAILABLE ON-SITE FOR TEMPORARY PROTECTION OF THE WORK IN THE EVENT OF UNEXPECTED INCLEMENT WEATHER. IF DAMAGE OCCURS, REPAIR DAMAGED MATERIALS TO RETURN THEM TO THEIR PRIOR CONDITION OR REPLACE THEM WITH NEW WHEN ADEQUATE OR TIMELY REPAIR IS NOT POSSIBLE.
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# **KEYED NOTES**

- (1) REPLACE BROKEN SKYLIGHTS (BID ALTERNATE 01). REFER TO SECTION "ROOF ACCESSORIES" IN THE SPECIFICATIONS.
- 2 REPAIR DAMAGED FLASHING AT PIPE PENETRATIONS WHERE LOCATED ON THE DRAWINGS. REFER TO DETAIL 7, SHEET 3.0.
- $\langle \mathbf{4} \rangle$  REPAIR DAMAGED EXPANSION JOINT. REFER TO DETAIL 3, SHEET 3.0.
- REPAIR DAMAGED EXPANSION JOINT. REFER TO DETAIL 6, SHEET 3.0
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# LEGEND

EGEND	
	EDGE METAL
DS O	GUTTER AND DOWNSPOUT
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S	SKYLIGHT PENETRATION
<b>(#</b> )	KEYED NOTE
(X) (X.X)	DETAIL CALLOUT: DETAIL "X" ON SHEET "X.X"

# CONSTRUCTION SET

