



## Addendum #1 Historic Oak View County Park Renovations

To: All Plan Holders

From: Kimley-Horn & Associates

Date: Tuesday, January 27, 2026

Project Name: Historic Oak View County Park Renovation

Project: RFB #26-001

Subject: Addendum #1

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This Addendum becomes part of the Contract Documents and shall be acknowledged by each Bidder on the Bid Form. Each Bidder should read each item carefully. All parts of the original specifications and plan documents shall remain in force except as noted below:

### Pre-Bid Meeting Minutes and Attendee List:

- Attached for reference

### Plan Holder's List:

Company Name	Contact	Email	Phone Number
Associated General Contractors	Michael Stubbs		800-364-2059 x8137
Beam General Contractors	Joshua Reeder	<a href="mailto:joshre@jdbeam.com">joshre@jdbeam.com</a>	919-612-0737
Blackridge Research & Consulting	Venkatesh Siva		917-993-7467
Browe Construction	Sam Gore Chad Grady	<a href="mailto:sam.gore@browecon.com">sam.gore@browecon.com</a>	919-415-1616
CMC Building, Inc.	Parin Bodiwala Phillip Swicegood	<a href="mailto:parin@cmcbuildinginc.com">parin@cmcbuildinginc.com</a>	919-295-2163
Dodge Data and Analytics	Jayalakshmi L		413-376-7032
QTO Solutions	Haroon Cheema	<a href="mailto:info@qtosol.com">info@qtosol.com</a>	480-409-1578
Scotia Construction Inc.	Wyatt Stevens Garrett Hodges	<a href="mailto:wyatt@scotiaconstructioninc.com">wyatt@scotiaconstructioninc.com</a>	919-467-0293
C.T. Wilson Construction Co., Inc.	Kevin Hartzog	<a href="mailto:kevin@ctwilson.com">kevin@ctwilson.com</a>	919-383-2535

BAR Construction Company	Austin Riccio	<a href="mailto:bids@BARConstruction.com">bids@BARConstruction.com</a>	919-295-2163
Johnson Controls	Steven Tichenor	<a href="mailto:steven.tichenor@JCI.com">steven.tichenor@JCI.com</a>	984-382-7462
Fred Smith Company	Carl Collie	<a href="mailto:ccollie@Fredsmithcompany.com">ccollie@Fredsmithcompany.com</a>	919-901-8225
River Wild	Brandon Casey	<a href="mailto:brandon@staywild.com">brandon@staywild.com</a>	919-631-6737
Bliss Products & Services	Andy Caguioa	<a href="mailto:andy@blissproducts.com">andy@blissproducts.com</a>	
Racanelli Construction South, Inc.	Scott Drebitko	<a href="mailto:sdrebitko@racanelliconstruction.com">sdrebitko@racanelliconstruction.com</a>	919-363-3600
Harrod & Associates Constructors, Inc.	Ed Long	<a href="mailto:elong@harrodandassoc.com">elong@harrodandassoc.com</a>	919-828-7782
HM Kern Corporation	Kristy Pruitt Zack Poole	<a href="mailto:estimating@hmkern.com">estimating@hmkern.com</a>	336-668-3213
Muter Construction	Cindy Cayton	<a href="mailto:ccayton@muterconstruction.com">ccayton@muterconstruction.com</a>	919-404-8330
Construct Connect	Jessica Thomas	<a href="mailto:Jessica.Thomas@ConstructConnect.com">Jessica.Thomas@ConstructConnect.com</a>	513-458-5943
Riley Contracting Group	Chris Swartz	<a href="mailto:cswartz@rileycontracting.com">cswartz@rileycontracting.com</a>	716-445-3460
WC Construction Company	Mark Reyes Patrick Roth	<a href="mailto:mark@wcconstructionco.com">mark@wcconstructionco.com</a>	336-721-3420 x121
McClure Builders	Logan McClure	<a href="mailto:logan@mcclurebuilders.com">logan@mcclurebuilders.com</a>	919-369-9275
Troy Hutchins Construction	Troy Hutchins	<a href="mailto:troy@troyhutchinsconstruction.com">troy@troyhutchinsconstruction.com</a>	919-451-0812
Barnhill Contracting Company	Taliyah Sowe	<a href="mailto:tsowe@barnhillcontracting.com">tsowe@barnhillcontracting.com</a>	704-215-3280
ML Bind	Shauna Raymond	<a href="mailto:SRaymond@mlbind.com">SRaymond@mlbind.com</a>	518-289-1371 x145
Engineered Construction Company	Scott Dawson	<a href="mailto:sdawsonsr@engrconst.com">sdawsonsr@engrconst.com</a>	919-954-9090

**Questions Received:**

- Q:** Is there an approximate construction budget that can be shared?

**A:** No, construction budget information is not available.
- Q:** Is there an estimated or desired notice to proceed/completion date for the work to be done?

**A:** The contract time is 365 consecutive calendar days beginning on the date of commencement as specified in the Notice-to-Proceed. The Notice-to-Proceed date will be coordinated with the contractor following selection.
- Q:** What is the approximate square footage of the Visitor's Center renovation and new Maintenance Building?

**A:** Square footages can be found on the Appendix B provided on sheets MB.A0.2 and VC.A0.2.
- Q:** Is the park expected to remain operational during construction, or will there be phased closures?

**A:** The park is expected to remain open during construction, but the Visitor's Center and Bluebird Shelter are expected to be closed while actively under construction.
- Q:** What is there an anticipated construction start date and substantial completion date?

**A:** The contract time is 365 consecutive calendar days beginning on the date of commencement as specified in the Notice-to-Proceed. The Notice-to-Proceed date will be coordinated with the contractor following selection.

6. **Q:** Are there any historic preservation requirements or reviews (SHPO involvement)?  
**A:** A portion of the project site is within a historic district. The Raleigh Historic Development Commission has approved the proposed renovations and has issued a Certificate of Appropriateness Placard.
7. **Q:** What is the breakdown of new construction vs. renovation work percentages?  
**A:** An exact percentage is not available. The full scope of the project, both existing areas to be renovated and new construction zones are illustrated in detail within the plan documents.
8. **Q:** Are there any site work complexities (utilities, grading, environmental considerations)?  
**A:** The scope of work associated with the “site work” includes grading, construction surveying, paving, storm drainage, curb & gutter, driveways, sidewalk, curb ramps, signing, pavement markings, utilities, erosion control, landscaping, and other related items as shown on the Construction Drawings.
9. **Q:** Is a plan holder’s list available?  
**A:** See Plan Holder’s List section above.
10. **Q:** Is there an anticipated number of bidders based on plan holder interest?  
**A:** There is not an expected number of bidders for the project. See Plan Holder’s List section above for full list of plan holders up to this point.
11. **Q:** Are there any specific MBE/WBE participation goals beyond the standard Wake County Section 00600 requirements?  
**A:** Bidders shall comply with the requirements of the Wake County Minority Business Enterprise Program, as outlined in Section 00600 of the Project Manual. These are the full requirements.
12. **Q:** Can you provide the Pre-Bid Meeting Minutes?  
**A:** The Pre-Bid Meeting Minutes are included at the end of this Addendum.
13. **Q:** Can you provide CAD files for grading takeoff purposes. The existing contour lines on the pdfs are not very legible due to the hatching and plan information.  
**A:** CAD files cannot be shared with prospective bidders. See the revised Grading and Drainage Sheets C7.0-C7.3 included at the end of this Addendum.
14. **Q:** When is the Notice-to-Proceed expected to be provided?  
**A:** There is not an expected Notice-to-Proceed date established at this time. Once the bids are opened and it is established that the bids are satisfactory, the awarded bid will then be provided to the Wake County Board of Commissioners. Once the selection is approved, a contract will be negotiated and a Notice-to-Proceed will be provided.

15. **Q:** Have building permits been submitted?  
**A:** Building permits have been submitted, reviewed, and have had all review boards approved. At this time we are awaiting contractor information and project valuation to finalize this process. These are public record and available for review on the Wake County Permit Portal.
16. **Q:** Is there a plan for specific parts of the park to be closed and open during construction?  
**A:** The park will remain open for the full duration of construction. This project is a renovation and will have multiple zones of construction across the site at the same time. Park work zones and area closures will be handled through communication with Wake County staff, the project Landscape Architect and the selected contractor. Park construction operations shall be completed in accordance with Section 011000 of the Project Manual.
17. **Q:** Are all improvements for this project new-build and site-work improvements or will there be existing buildings being demoed and/or renovated?  
**A:** The existing Visitor's Center will be renovated per the bid documents. The existing Bluebird Shelter will be demolished, removed, and a new structure will be built in the same general area per the bid documents. The proposed Maintenance Building will be a new structure. There are also additional site-work improvements across the site that are included in the bid documents.
18. **Q:** Is the existing Bluebird Shelter used for party or event reservations? If so, does this need to be coordinated or is there a plan to address this during construction?  
**A:** The Bluebird Shelter is reserved occasionally, but this is requested in advance. There are no reservations for the existing facility at this time. Reservations of the Bluebird Shelter will not be available during construction.
19. **Q:** Is there a more specific specification for tile that can be offered? Baseline specification is fairly vague.  
**A:** Tile specification will be reviewed in depth, and if need be, reissued by the final addendum on February 5.
20. **Q:** Are irrigation improvements proposed on this project?  
**A:** No, irrigation improvements are not included as part of this project. The existing irrigation system shall remain in the same working condition as it currently exists once construction is complete with only minor modifications if needed to accommodate the proposed conditions of the project.
21. **Q:** Is there a sub-contractor that the design team prefers to use for porous pavement such as the decomposed granite path or is this up to the selected contractor to choose?  
**A:** There is not a preferred sub-contractor for porous pavement installation. This is up to the selected contractor to choose.



22. **Q:** Please clarify extent of contractor responsibility for exhibit demo in Visitor Center.  
**A:** The general contractor to demo cabin exhibit and silo per note #9 on Sheet A2.0. Other exhibits to be removed by Wake County Parks prior to Notice-to-Proceed. Any remaining items in the space are to be disposed of by Contractor.

23. **Q:** One of the fire alarm drawings us labeled VB instead of VC – it's the 3.1 page.  
**A:** VB.FA3.1 is incorrectly labeled. This should be "VC.FA3.1" and will be corrected with the issue for construction set.

24. **Q:** On C3.0 at the new brick sidewalk there is a reference to detail 8/3.4. Is there any ribbon curb associated with the brick sidewalk? If so, can a section of the walk be provided?  
**A:** This detail call out should be 5/C3.7 instead of 8/C3.4. This has been corrected as part of Addendum #1. There is no concrete ribbon curb associated with this brick sidewalk.

**Drawing Reissue:**

- Overall Site Plan (Sheet C3.0)
  - One detail reference related to the 6' wide brick path was updated. This detail call out should be 5/C3.7 instead of 8/C3.4.
- Grading and Drainage Plans (Sheets C7.0-C7.3)
  - The reissuance of Sheets C7.0-C7.3 is due to the legibility of the previously issued Grading and Drainage Plans. Plan hatches have been turned off on these sheets to improve legibility of proposed grading design.
- Visitor Center Demolition Plan (Sheet VC.A2.0)
  - This clarifies the scale and removal of the cabin exhibit for those that missed the walkthrough at the pre-bid, and fixes an incorrect numbering in the legend key (#16).

**Attachments included for reference in this Addendum:**

- a. Pre-Bid Meeting Minutes
- b. Pre-Bid Meeting Attendee List
- c. Revised Overall Site Plan – C3.0
- d. Revised Grading and Drainage Plans – C7.0-C7.3
- e. Revised Visitor Center Demolition Plan – VC.A2.0



## Pre-Bid **Meeting Minutes** Historic Oak View County Park Renovations

Date: Wednesday, January 21, 2026

Time: 2:00 pm

Place: Historic Oak View County Park, 4028 Carya Drive, Raleigh, NC 27610

### 1. **Sign-In Sheet**

Please provide your name and contact information on the sign in sheet. The sign-in sheet will be distributed as part of Addendum #1.

### 2. **Project Team Introductions**

- Owner:
  - Paula Lambert, Wake County, Project Manager & Real Estate Specialist
  - Eric Staehle, Wake County, Senior Facilities Project Manager
  - Emily Catherman Fryar, Wake County, Park Manager
  - Matthew Southern, Wake County, Assistant Park Manager of Operations
- Landscape Architecture and Civil Engineering (Project Lead)
  - Melissa Brand, Kimley-Horn, Project Manager & Landscape Architect
  - Nick Kuhn, Kimley-Horn, Landscape Architect
  - Seth Brown, Kimley-Horn, Landscape Designer
  - John Kuzenski, Kimley-Horn, Civil Engineer
  - Andie Altemeier, Kimley-Horn, Civil Engineer
- Architect
  - Zach Hoffman, in situ studio, Architect
- MEP
  - Paul Romiti, Sigma Engineered Solutions, Mechanical/Plumbing Engineer
  - Reginald Adams, Sigma Engineered Solutions, Electrical Engineer
- Structural Engineering
  - Michael Stone, Lysaght & Associates, Structural Engineer
- Geotechnical Engineering
  - Allan Paul, Falcon Engineering, Geotechnical Engineer
- Surveying
  - Rob Baumgartner, KCI Associates of NC, Surveyor

### 3. **Communication**

- All communication shall be directed to Melissa Brand (melissa.brand@kimley-horn.com) and Seth Brown (seth.brown@kimley-horn.com). Please copy both of the noted contacts to ensure a prompt response.
- Questions discussed at this meeting are non-binding to the contract and will be clarified in Addendum #1. Answers provided at this meeting will not be official until provided as part of the addendum.

### 4. **Project Description**

- This project consists of a renovation at the existing Historic Oak View County Park located at 4028 Carya Drive in Raleigh, North Carolina. The proposed renovations include an improved Visitor Center and entry plaza, a new Maintenance Building with fenced equipment yard, segmental block retaining wall (delegated design by the selected contractor), a new picnic shelter, improved sidewalks, additional surface parking with bus parking spaces, and additional miscellaneous site improvements.
- The scope of work associated with the renovations includes existing building renovation, new building construction, grading, construction surveying, paving, storm drainage, curb & gutter, driveways, sidewalk, curb ramps, signing, pavement markings, utilities, erosion control, landscaping, and other related items as shown on the Construction Drawings.
- Refer to the Project Manual herein and associated Construction Drawings for the full scope of work.

### 5. **Project Documents**

- The Construction Documents and the Project Manual are available in digital format upon request by emailing Melissa Brand (melissa.brand@kimley-horn.com) and Seth Brown (seth.brown@kimley-horn.com).
- Addenda will be listed on the Wake County website and at <https://www.planscope.com>.
- Any printed copies are the responsibility of the prospective bidder and at their expense. Printed copies may be purchased from Accent Imaging by contacting Accent Imaging at [production@accentimaging.com](mailto:production@accentimaging.com) or by calling 919-782-3332 or by visiting <https://www.planscope.com>.

### 6. **Bid Proposal**

- Proposal to be bid includes: *General Construction Work – Single Prime Contract*. All bidders must have a valid license in the State of North Carolina.
- Wake County provides minorities and women equal opportunity to participate in all aspects of its construction program consistent with NCGS §143-8. Bidders shall comply with the requirements of the Wake County Minority Business Enterprise Program, as outlined ~~in Section 00600 of the Project Manual. The established goal for minority business participation is 10%. If the bidder's minority business participation is less than the established goal of 10%, the bidder must submit Wake County Form MBE – 5 (2002)~~ **on page 0400-5 of the Project Manual.**
- A bid bond of 5% is required for the bid. The Bid Bond form included in the project manual must be used or the bid may be rejected. A payment and performance bond in the amount equal to 100% of the contract price is required for the construction agreement.
- Please Review in the Project Manual:
  - Required forms
  - Bid Bond
  - MWBE requirements
  - Insurance requirements

- Sub-contractors and qualifications

## 7. Unit Prices, Allowances, & Bid Alternates

- Unit Prices
  - Unit Prices are included in the base bid and are defined in the project manual.
  - There are 19 items specified to include unit prices.
- Allowances
  - Allowances are included in the base bid and are defined in the project manual.
  - There are 9 items specified to include as allowances.
- Bid Alternates
  - Bid alternates are required and are defined in the project manual.
  - There are 4 add alternates specified to be included.
    - 8' Wide Decomposed Granite Path, 2 Benches, and 1 Trash Receptacle at Pecan Grove
    - Driveway Entrance at Carya Drive
    - Sidewalk and Gate to Poole Road
    - Kid's Corner Millwork at Visitor's Center

## 8. Addendums

- An addendum is anticipated which will include the pre-bid meeting minutes, which will go to all official bidders in attendance. The addendum will include any plan or bid clarifications questions resulting from this pre-bid meeting. This will be posted by January 27, 2026.
- Any questions need to be emailed to Melissa Brand (melissa.brand@kimley-horn.com) and Seth Brown (seth.brown@kimley-horn.com) by ~~5:00~~ 12:00 pm on January ~~28~~ 30, 2026.
- The final addendum is projected to be posted by February 4 5, 2026.

## 9. Bid Schedule

- Notice for Bidders: January 12, 2026
- Pre-Bid Meeting: 2:00 PM on January 21, 2026
- Addendum Issued: January 27, 2026
- Deadline for Questions: 12:00 PM on January 30, 2026
- Final Addendum Issued: February 5, 2026
- Bid Opening: 2:00 PM on February 12, 2026

## 10. Bid Opening

- Bids will be received until 2:00 PM on Thursday, February 12, 2026. Any bids received after this time will not be accepted.
- Submit bids to:
 

Wake County Procurement Services  
Attention: Paula Lambert, Project Manager  
Re: Historic Oak View County Park Renovations  
Wake County Justice Center  
301 McDowell Street, Suite 2900  
Raleigh, NC 27601
- Each proposal shall be delivered, enclosed in an opaque sealed envelope, marked "Proposal" and bearing the name of Project, name and address of the Bidder, the Bidder's license number.

- Please allow adequate time to arrive at the bid opening location. An ID is required to enter the building and pass through the building's security checkpoint. It is recommended that you leave anything that might be confiscated in your vehicle (knives/tools/weapons).

**11. Notice to Proceed (Date of Availability)**

- To be determined with the contractor after selection.

**12. Construction Time**

- Refer to the Supplemental General Conditions.
- Contract Time: The contract time is 365 consecutive calendar days beginning on the date of Commencement as specified in the Notice-to-Proceed.
- On-Site Work Hours:
  - Work shall be generally performed during normal business working hours of 8:00 a.m. to 5 p.m., Monday through Friday.
  - Due to the time sensitive nature of the project, this may be extended to include weekends and after hours as allowable by the City of Raleigh and Wake County noise ordinance if approved by Wake County in advance.

**13. Liquidated Damages**

- If the Contractor fails to achieve Substantial Completion of the Work within the Contract Time and as otherwise required by the Contract Documents, the Owner shall be entitled to retain or recover \$500 per calendar day until the work is completed.

**14. Electronic Files & Project Information**

- Electronic CAD files (.dwg format) will be provided to the selected contractor.
- The geotechnical report by Falcon Engineering is included as part of the Bid Manual.

**15. Project Management**

- The contractor will be required to attend bi-weekly construction progress meetings. A detailed schedule is expected to be provided and discussed at each meeting.
- The park will remain open to Wake County staff and park visitors during construction. Wake County staff will be relocated to the Main House prior to commencement of construction activities. The contractor is expected to keep driveways, loading areas, and entrances serving premises clear and available to Wake County, Wake County employees, park visitors, and emergency vehicles at all times.

**16. Questions**

- See Addendum #1 for full list of questions discussed.

# Pre-Bid Meeting Attendance Sheet

Historic Oak View County Park Renovations  
4028 Cary Drive, Raleigh, NC 27610  
2:00 PM on January 21, 2026

<u>NAME</u>	<u>COMPANY</u>	<u>PHONE</u>	<u>EMAIL</u>
Paula Lambert	Wake County	919-418-0603	paula.lambert@wake.gov
Melissa Brand	Kimley-Horn	919-653-5841	melissa.brand@kimley-horn.com
Andie Altemeier	Kimley-Horn	984-389-1493	andie.altemeier@kimley-horn.com
Nick Kuhn	Kimley-Horn	984-275-2386	nick.kuhn@kimley-horn.com
Seth Brown	Kimley-Horn	919-653-2932	seth.brown@kimley-horn.com
Zach Hoffman HARRISON KAUFMANN	in situ studio	704-301-4750 828 273 9625	zach@insitustudio.us harrison@insitustudio.us
Phillip Swiczgoof	CMC Building	919 295 2163	parin@CMCBuildingInc.com
Austin Riccio	BAR Construction	336-274-2477	Bid@BARConstruction.com
Steven Tichenor	Johnson Controls	984 382 7462	Steven.Tichenor@JCI.com

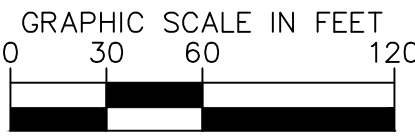


# Pre-Bid Meeting Attendance Sheet

Historic Oak View County Park Renovations  
4028 Carya Drive, Raleigh, NC 27610  
2:00 PM on January 21, 2026

<u>NAME</u>	<u>COMPANY</u>	<u>PHONE</u>	<u>EMAIL</u>
Patrick Roth	W.C Construction	336 750 7411	Bids@wccconstructionco.com
CARL COLLIE	FRED SMITH COMPANY	919-901-8225	ccollie@fredsmithcompany.net
Chad Greedy	Browe Const	919. 222. 8873	Chad.Greedy@BroweCo.com
Zack Pook	H.M kern	336-668-3213	estimating@hmkern.com
KEVIN HARTZOG	CTWILSON	919-383-2535	Kevin@ctwilson.com
Ed Long	Herron and Assoc.	919-828-7782	estimating@herronandassoc.com
Brandon Jisay	River Wild	(919)631-6737	brandon@staywild.com
Garrett Hodges	Scotia Construction	2523415454	estimating@scotiainconstructioninc.com
ERIC STAEBLE	WALDE FDC	919-856-6369	eric.staehle@wake.gov





Know what's **below**.  
**Call** before you dig.

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAPHICAL SURVEY OBTAINED ON 06/13/2024 BY KCI ASSOCIATES OF N.C., 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NORTH CAROLINA 27607. PHONE: (919) 783-9214. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

SITE DATA TABLE	
SITE ADDRESS	4028 CARYA DRIVE, 4020 CARYA DRIVE
SITE PIN#	1723658449, 1723765231
GROSS SITE ACREAGE	70.21 AC
NET SITE AREA	70.21 AC
DISTURBED AREA	2.51 ACRES
EXISTING ZONING	OX-3 (OFFICE MIXED USE)
OVERLAY DISTRICT(S)	SHOD-1 (SPECIAL HIGHWAY OVERLAY DISTRICT)
FRONTAGE TYPE	N/A
BUILDING & PARKING SETBACKS REQUIREMENT	PRIMARY STREET - 10' MIN SIDE STREET - 10' MIN SIDE LOT LINE - 10' MIN REAR LOT LINE - 10' MIN  BUILDING COVERAGE - 15% (MAX)
MAXIMUM BUILDING HEIGHT (MEASURED PER TC-4.20)	3 STORIES / 40 FEET HEIGHT MAXIMUM
CURRENT USE(S)	CIVIC USE - PARK
PROPOSED USE(S)	CIVIC USE - PARK
BUILDING SQUARE FOOTAGE(S)	EXISTING BUILDINGS: 10,320 SF PROPOSED MAINTENANCE BUILDING: 2,600 SF
RESIDENTIAL DENSITY	N/A
PARKING REQUIREMENTS	NO MAX
ADA PARKING REQUIREMENTS	2 ADA PARKING SPACES REQUIRED
EXISTING PARKING SPACES	STANDARD SPACES: 24 SPACES ACCESSIBLE SPACES: 1 SPACE
PROPOSED PARKING SPACES	STANDARD SPACES: 19 SPACES ACCESSIBLE SPACES: 2 SPACES (1 VAN) BUS PARKING SPACES: 2 SPACES
TOTAL PARKING SPACES (EXISTING TO REMAIN + PROPOSED)	TOTAL EXISTING SPACES TO REMAIN: 25 SPACES TOTAL PROPOSED SPACES: 23 SPACES TOTAL PARKING SPACES: 48 SPACES (43 STANDARD SPACES, 5 ACCESSIBLE SPACES, 2 BUS SPACES)
BICYCLE PARKING REQUIREMENT (MINIMUM)	SHORT TERM: 8 SPACES LONG TERM: 0 SPACES
BICYCLE PARKING PROVIDED	SHORT TERM: 8 SPACES LONG TERM: 0 SPACES TOTAL BICYCLE SPACES: 10 SPACES
FEMA FLOOD OVERLAY	THIS SITE DOES NOT CONTAIN ANY SPECIAL FLOOD HAZARD AREAS

[illegible]



1. SCHEDULE AN ON-SITE PRECONSTRUCTION MEETING WITH NCDOT EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES.
2. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCES, PERIMETER SILT FENCE, AND TREE PROTECTION FENCE SURROUNDING THE SITE. MAKE INITIAL AREA OF DISTURBANCE LIMITED ONLY TO INSTALLATION OF PERIMETER CONTROLS.
3. INSTALL ALL REMAINING PHASE 1 TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
4. AFTER APPROVAL OF LAND DISTURBANCE SITE INSPECTION, COMMENCE PERMITTED LAND DISTURBING ACTIVITY. CLEARING, GRADING, AND DEMOLITION OF SITE. MAINTAINING EROSION CONTROL MEASURES AS NECESSARY. EROSION CONTROL MEASURES SHALL BE RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO 50% OF DESIGN DEPTH.
5. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT.
6. STABILIZATION IS REQUIRED WITHIN SEVEN (7) CALENDAR DAYS (SLOPES STEEPER THAN 3:1) OR FORTY-EIGHT (48) CALENDAR DAYS (SLOPES 3:1 OR FLATTER) OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
7. CONSTRUCTION STOCKPILE/STAGING MAY BE FIELD LOCATED/ADJUSTED PROVIDED MEASURES SHALL BE AT LEAST 5' FROM STORM DRAINS, TEMPORARY DIVERSIONS, BASINS AND SURFACE WATER BODIES.

1. PRIOR TO SCHEDULING THE PRECONSTRUCTION MEETING, THE NCGO10000 CERTIFICATE OF COVERAGE MUST BE OBTAINED BY THE PERMITTEE, WHEN APPLICABLE. A COPY OF THE COC MUST BE SUBMITTED TO THE CITY.
2. AFTER THE PRECONSTRUCTION MEETING IS HELD, THE CONTRACTOR CAN INSTALL INITIAL EROSION CONTROL MEASURES ONLY. THIS INCLUDES BUT IS NOT LIMITED TO CONSTRUCTION ENTRANCE, SILT FENCE, PERIMETER DIVERSION DITCH, CHECK DAMS (ROCK OR WOOD TYPE), TREE PROTECTION FENCE, EXISTING INLET PROTECTION, SKIMMER SEDIMENT BASINS, AND SEDIMENT TRAPS. CLEAR ONLY AS NECESSARY TO INSTALL THESE MEASURES.
3. CONTRACTOR IS RESPONSIBLE FOR E&S WEEKLY INSTALLATION AND MAINTENANCE LOG INCLUDING DATES OF TEMPORARY/PERMANENT GROUND COVER, A RAIN GAGE, COPY OF NCGEO1 SIGNED PLANS ONSITE, REVISED SIGNED PLANS, NPDES LOG, AND CONSTRUCTION BOX MUST BE PRESENT AND EASILY ACCESSIBLE ONSITE.
4. ONCE MEASURES ARE INSTALLED, CONTRACTOR/PRO TO CALL NCGEO/DEM/AT 919-791-4200 FOR AN INITIAL INSPECTION. IF SITE PASSES INSPECTION, A CERTIFICATE OF COMPLIANCE WILL BE ISSUED. CONTRACTOR CAN NOW BEGIN CLEARING, GRUBBING, AND GRADING.
5. CONTRACTOR TO MAINTAIN ACCESS ROAD FOR EMERGENCIES AT ALL TIMES.

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO DETERMINE WHETHER THE ACTIVITY HAS BEEN COMPLETED AND THE ACTIVITY IS BEING FOLLOWED. RULES DETAILED THE DOCUMENTATION OF THESE INSPECTIONS BECAME EFFECTIVE OCTOBER 1, 2010. TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND TO PROVIDE A MORE EASY-TO-USE FORM, THE NEW FORM WAS AVAILABLE. THE NEW FORM WAS DEVELOPED TO SATISFY THE REQUIREMENTS OF THE SEDIMENTATION POLLUTION CONTROL ACT AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NCG 010000, BEGINNING JANUARY 1, 2011. THE NEW FORM IS AVAILABLE TO THE PUBLIC FOR USE BY PERSONS ADMINISTERING BOTH THE SPCA AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE NEW FORM IS AVAILABLE TO THE PUBLIC FOR USE BY PERSONS ADMINISTERING SELF-INSPECTION REQUIREMENTS. THE COMBINED SELF-MONITORING FORM IS AVAILABLE AS A PDF AND WORD DOCUMENT FROM THE LAND QUALITY WEB SITE.

FOR MORE INFORMATION, VISIT THE WEBSITE [www.ncdcr.gov/landquality](http://www.ncdcr.gov/landquality). IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT THE LAND QUALITY SECTION AT NCDQR REGIONAL OFFICE.

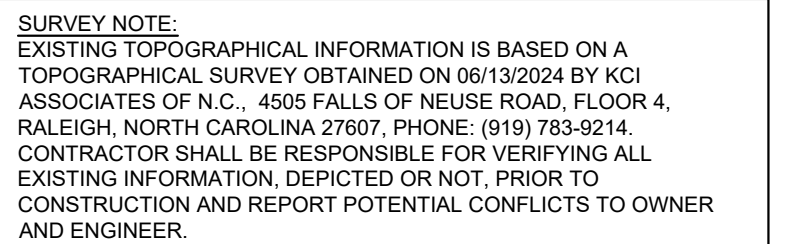
DURING THE DEVELOPMENT OF A SITE, THE DEVELOPER SHALL INSTALL AND MAINTAIN ALL TEMPORARY AND PERMANENT STORMWATER CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL ACT AND THE RULES AND REGULATIONS OF THE BOARD OF WATER CONTROL. PURSUANT TO THIS ARTICLE OR THE ACT, AFTER SITE DEVELOPMENT, THE DEVELOPER SHALL INSTALL AND/OR MAINTAIN ALL NECESSARY PERMANENT STORMWATER CONTROL MEASURES TO PREVENT EROSION OF THE DEVELOPMENT. THE DEVELOPER SHALL INSTALL A ROAD OR ROADWAY OR ROAD OR STREET RIGHT-OF-WAY OR EASEMENT ACCEPTED FOR MAINTENANCE BY A GOVERNMENTAL AGENCY, CONVEYANCE OF THE PROPERTY SHALL NOT TERMINATE THE ORIGINAL DEVELOPER'S OBLIGATION TO MAINTAIN AND INSPECT THE STORMWATER CONTROL MEASURES. IF THE COUNTY ENGINEER, OR DESIGNEE, THE ORIGINAL DEVELOPER SHALL INCLUDE IN THE PERMIT APPLICATION A MAINTENANCE AND INSPECTION SCHEDULE AND A PLAN OF MAINTENANCE AND THE PURCHASER'S OBLIGATIONS TO MAINTAIN AND INSPECT THEM AND TO OBTAIN A PERMIT AND OTHERWISE COMPLY WITH THE TERMS OF THIS ARTICLE. REFER TO THE EROSION CONTROL ACT AND THE RULES AND REGULATIONS OF THE BOARD OF WATER CONTROL FOR MORE INFORMATION. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:



1. **CONSTRUCTION ENTRANCE:**  
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURF AND FOR DRAINAGE. WHEN NEW GRAVEL IS NEEDED, CHECK ROAD DITCHES AND OTHER SEEDER AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.
2. **SILT FENCE:**  
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING MAINTENANCE. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
3. **SILT FENCE GRAVEL OUTLET:**  
INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAIN. REMOVE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RAIN DISPLACED MUST BE DISCHARGED IMMEDIATELY.

- EROSION CONTROL NOTES:
- I. CONSTRUCTION ENTRANCE 50 FOOT MINIMUM WITH WOVEN 20# TENSILE STRENGTH FABRIC UNDERNEATH
  - III. SILT FENCE-METAL POSTS WITH WIRE SPACED AT 6 FEET
  - IV. HARDWARE CLOTH OUTLETS (SPECIAL SEDIMENT CONTROL FENCE)
  - V. TREE PROTECTION FENCE WITH "DO NOT ENTER TREE PROTECTION AREA" SIGN IN ENGLISH AND SPANISH (THIS IS REQUIRED AROUND THE PERIMETER OF THE PROPERTY, AT BUFFER ZONES, AND IN TREE SAVE AREAS).

III. CULT FENCE METAL POSTS WITH WIDE SPACED AT 6 FEET

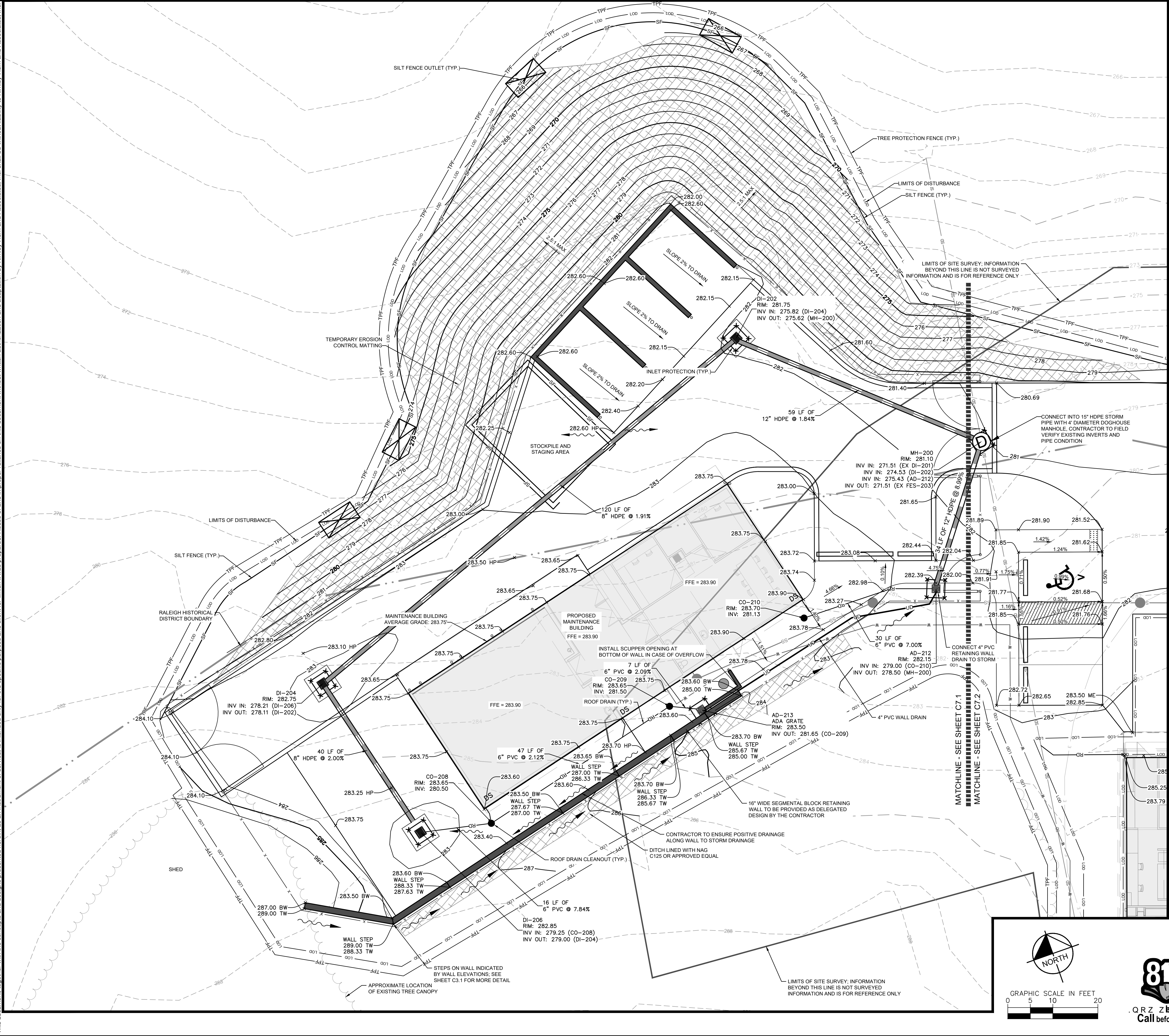
- V. TREE PROTECTION FENCE WITH "DO NOT ENTER TREE PROTECTION AREA" SIGN IN ENGLISH AND SPANISH (THIS IS REQUIRED AROUND THE PERIMETER OF THE PROPERTY, AT BUFFER ZONES, AND IN TREE SAVE AREAS).



SHEET NUMBER <b>C7.0</b>										HISTORIC OAK VIEW COUNTY PARK PREPARED FOR WAKE COUNTY FACILITIES DESIGN & CONSTRUCTION WAKE COUNTY NORTH CAROLINA									
<b>OVERALL GRADING, DRAINAGE AND EROSION CONTROL PLAN</b>																			
KHA PROJECT 012626019					DATE 01/27/2026					SCALE AS SHOWN					DESIGNED BY NDK				
															DRAWN BY SDB				
															CHECKED BY MKB				
															01/27/2025				
										 <p>© 2025 KIMLEY-HORN AND ASSOCIATES, INC. #F-0002 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601</p>									
No.					REVISIONS					BY					DATE				
A					APPENDUM 1										01/27/2025 SDB				
A					ISSUED FOR BID PLANS										12/01/2025 SDB				
A					3RD COR SPR SUBMITTAL										09/01/2025 ASA				
A					NDCEQ - 2ND SUBMITTAL										09/01/2025 ASA				
A					NDCEQ - 1ST SUBMITTAL										07/10/2025 DPM				
A					2ND COR SPR SUBMITTAL										06/25/2025 DPM				



Plotted By:McGeary, Dan Sheet Set:Historic Oak View County Park Layout:C7.0A EOP January 26, 2028 12:22:32pm KRAL LDEV012282019 WakeCoPks HistoricOakViewPlanning PhaseP10 CAD FilesPlanSheetsC7.0 EROSION CONTROL PLAN.dwg  
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EXISTING CONDITION NOTES:  
1. NO PORTIONS OF SUBJECT PROPERTY ARE LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720172300K DATED JULY 19, 2022

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

LIMITS OF DISTURBANCE: ±3.00 AC

### GRADING, DRAINAGE AND EROSION CONTROL LEGEND

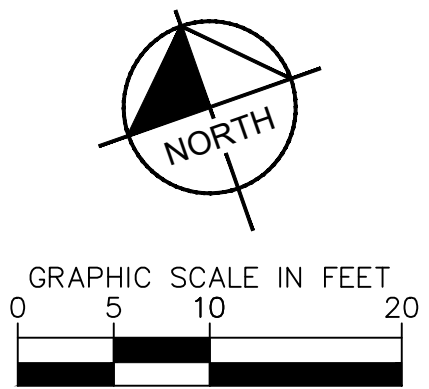
---	PROPERTY LINE
---	TEMPORARY CONSTRUCTION EASEMENT
---	LIMITS OF DISTURBANCE
---	SILT FENCE
---	TREE PROTECTION FENCE
---	COMBINATION TREE PROTECTION/ SILT FENCE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	DRAINAGE AREA BOUNDARY
---	CONSTRUCTION ENTRANCE
---	SILT FENCE OUTLET
---	CONCRETE WASHOUT STATION
---	ROCK CHECK DAM
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---	ROOF DRAIN
---	SPOT ELEVATION
---	CATCH BASIN (CB)
---	MANHOLE (SDMH)
---	DROP INLET (DI)
---	AREA DRAIN (AD)
---	CLEANOUT (SDCO)
---	PIPE END (PE)
---	TOP OF WALL (GRADE ELEV.)
---	BOTTOM OF WALL (GRADE ELEV.)
---	MATCH EXISTING (GRADE ELEV.)
---	BOTTOM OF STAIR (GRADE ELEV.)
---	TOP OF STAIR (GRADE ELEV.)
---	RELATIVE HIGH POINT (GRADE ELEV.)
---	RELATIVE LOW POINT (GRADE ELEV.)

### FINE GRADING NOTES:

- SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
- PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
- ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
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- CONTRACTOR TO ENSURE A SMOOTH GRADE IS MAINTAINED ALONG ALL NEW CURB AND GUTTER AND SHALL ENSURE POSITIVE DRAINAGE ACROSS ALL PAVED AREAS.

GEOTECH NOTE:  
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY FALCON ENGINEERING, 919-871-0800, DATED 02/07/2025.

SURVEY NOTE:  
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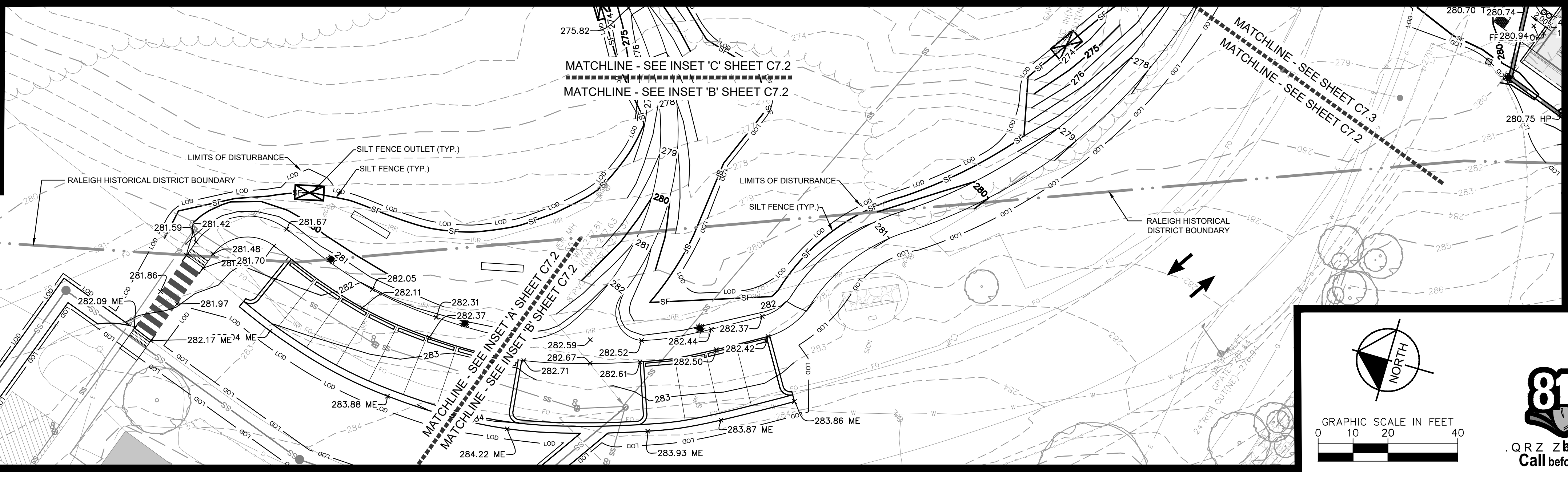
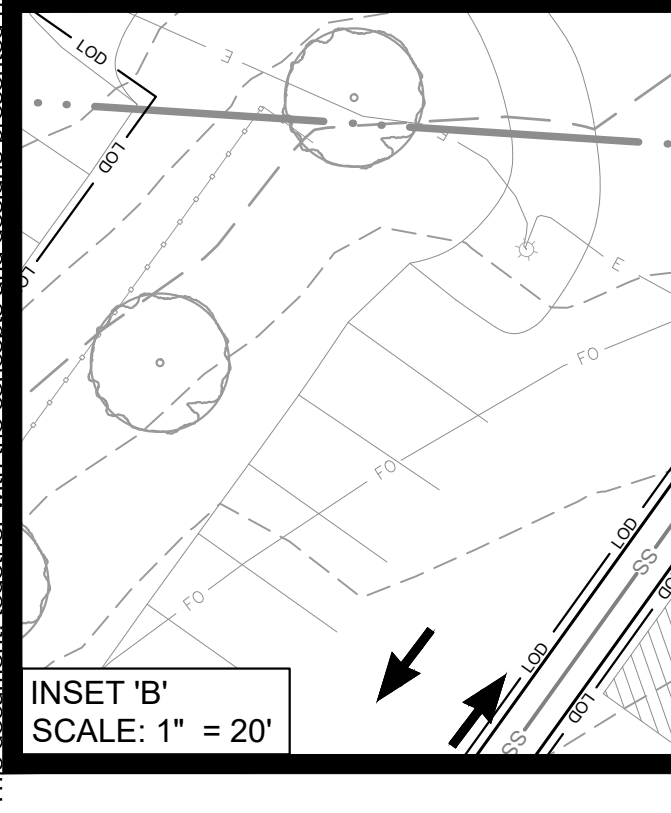
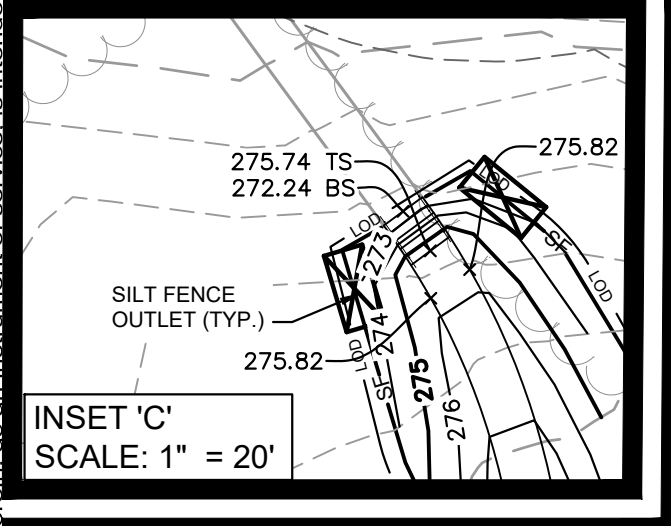
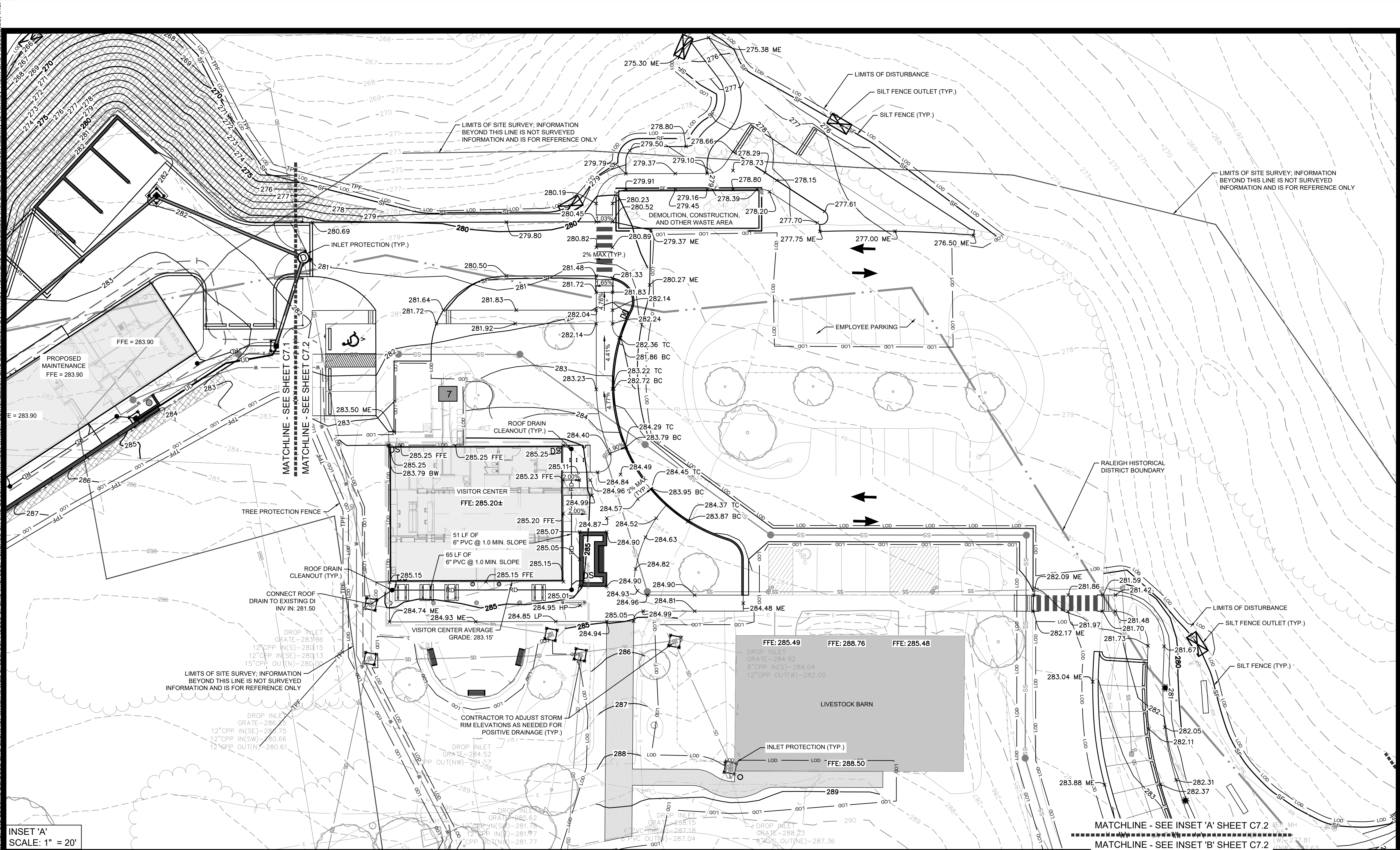


Call before you dig.

ADDENDUM 1	SDB	01/27/2025	DATE	BY
ISSUED FOR BID PLANS	SDB	12/01/2025		
NODEQ - 2ND SUBMITTAL	ASA	08/01/2025		
3RD COR SPR SUBMITTAL	ASA	08/01/2025		
NODEQ - 1ST SUBMITTAL	DPW	07/10/2025		
2ND COR SPR SUBMITTAL	DPW	06/25/2025		
REVISIONS				
No.				
KHA PROJECT 012262019 DATE 01/27/2026 SCALE AS SHOWN DESIGNED BY NDK DRAWN BY SDB CHECKED BY MKE				
GRADING, DRAINAGE AND EROSION CONTROL PLAN - MAINTENANCE BUILDING				
HISTORIC OAK VIEW COUNTY PARK PREPARED FOR WAKE COUNTY FACILITIES DESIGN & CONSTRUCTION NORTH CAROLINA				
SHEET NUMBER C7.1				



Plotted By:McGeary, Dan Sheet Set:Historic Oak View County Park Layout:07.08 ECP January 26, 2026 12:23:09pm K:\RAL LDE\012282019 WakeCpKs HistoricOakView\Planning Phase\PID CAD Files\PlanSheets\07.08 EROSION CONTROL PLAN.dwg This document, together with the concepts and designs created herein, is the property of Kimley-Horn and Associates, Inc. and shall be without liability to Kimley-Horn and Associates, Inc. for the specific purposes and client for which it was prepared. Reuse of any portion of this document without written authorization and reproduction by Kimley-Horn and Associates, Inc. is prohibited.

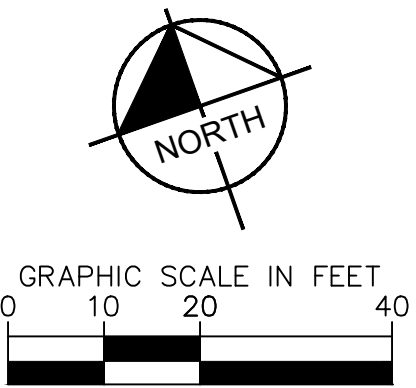


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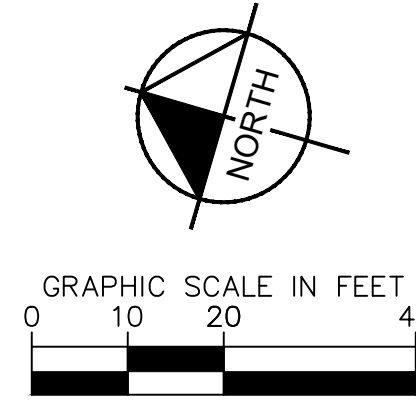
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ADDITIONAL 1	SDB	01/27/2025	DATE	BY
ISSUED FOR BID PLANS	SDB	12/01/2025		
NODEQ - 2ND SUBMITTAL	ASA	08/01/2025		
3RD COR SPR SUBMITTAL	ASA	08/01/2025		
NODEQ - 1ST SUBMITTAL	DPW	07/10/2025		
2ND COR SPR SUBMITTAL	DPW	06/25/2025		
REVISIONS				
No.				

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WWW.KIMLEY-HORN.COM PHONE: 919-877-2000 FAX: 919-877-2050  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	NDK	SDB	CHECKED BY	MKE
012262019	01/27/2026							

## GRADING, DRAINAGE AND EROSION CONTROL PLAN - VISITOR CENTER

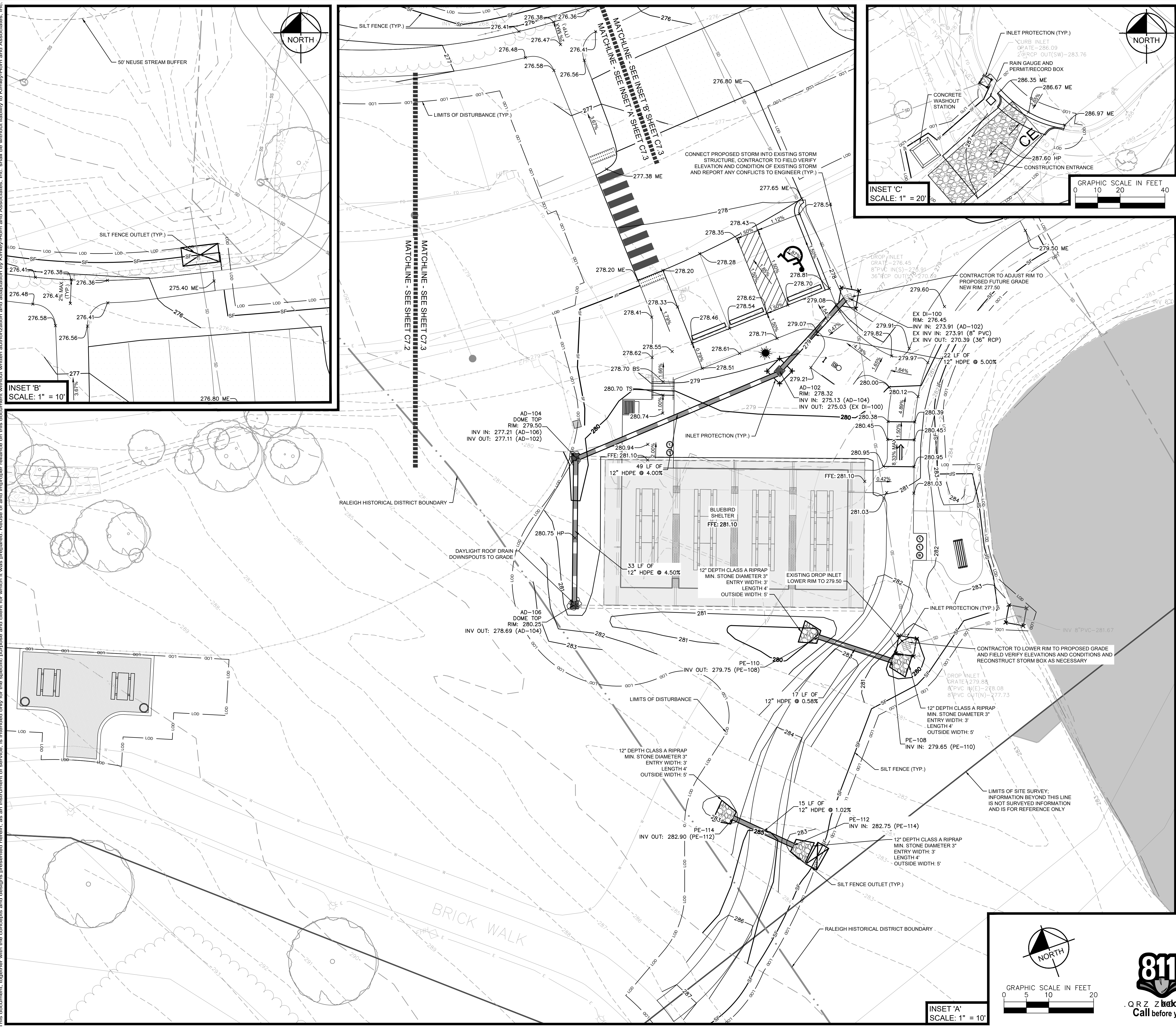
HISTORIC OAK VIEW COUNTY PARK  
PREPARED FOR  
WAKE COUNTY FACILITIES  
DESIGN & CONSTRUCTION  
NORTH CAROLINA

WAKE COUNTY

SHEET NUMBER  
**C7.2**



Plotted By:McGeary, Dan Sheet Set:Historic Oak View County Park Layout:07.00 January 26, 2028 12:23:43pm K:\RAL LDE0101222019 WakeCoParks\_HistoricOakView\Planning Phase\F10 CAD Files\PlanSheets\C7.0 EROSION CONTROL PLAN.dwg  
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LIMITS OF DISTURBANCE: ±3.00 AC

GRADING, DRAINAGE AND EROSION CONTROL LEGEND

TCE

—

PROPERTY LINE

LOD

—

TEMPORARY CONSTRUCTION EASEMENT

SF

—

LIMITS OF DISTURBANCE

TPF

—

SILT FENCE

SF/TPF

—

TREE PROTECTION FENCE

805

—

COMBINATION TREE PROTECTION/ SILT FENCE

805

—

EXISTING CONTOUR

805

—

PROPOSED CONTOUR

CE

—

DRAINAGE AREA BOUNDARY

CE

—

CONSTRUCTION ENTRANCE

CE

—

SILT FENCE OUTLET

CE

—

CONCRETE WASHOUT STATION

CE

—

ROCK CHECK DAM

CE

—

INLET PROTECTION

CE

—

ROCK PIPE INLET PROTECTION

CE

—

RIP-RAP OUTLET PROTECTION

CE

—

DESIGNATED AREAS TO BE STABILIZED WITHIN 7 DAYS

CE

—

TEMPORARY EROSION CONTROL MATTING

RD

—

STORM DRAIN

RD

—

ROOF DRAIN

RD

—

SPOT ELEVATION

RD

—

CATCH BASIN (CB)

RD

—

MANHOLE (SDMH)

RD

—

DROP INLET (DI)

RD

—

AREA DRAIN (AD)

RD

—

CLEANOUT (SDCO)

RD

—

PIPE END (PE)

RD

—

TOP OF WALL (GRADE ELEV.)

RD

—

BOTTOM OF WALL (GRADE ELEV.)

RD

—

MATCH EXISTING (GRADE ELEV.)

RD

—

BOTTOM OF STAIR (GRADE ELEV.)

RD

—

TOP OF STAIR (GRADE ELEV.)

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RELATIVE HIGH POINT (GRADE ELEV.)

RD

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RELATIVE LOW POINT (GRADE ELEV.)

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ADDENDUM 1

01/27/2025

01/27/2025

08/01/2025

08/01/2025

08/01/2025

07/10/2025

06/25/2025

DATE

BY

ISSUED FOR BID PLANS

NO DEQ - 2ND SUBMITTAL

3RD COR SPR SUBMITTAL

NO DEQ - 1ST SUBMITTAL

2ND COR SPR SUBMITTAL

REVISIONS

No.

Kimley»Horn

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WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050  
421 FAYETTEVILLE STREET, SUITE 800, RALEIGH, NC 27601

PROFESSIONAL ENGINEER

000000000

JOHN D. KUZNETSOV

KHA PROJECT

01/22/2019

DATE

01/27/2026

SCALE

AS SHOWN

DESIGNED BY

NDK

DRAWN BY

SDB

CHECKED BY

MKE

HISTORIC OAK VIEW

COUNTY PARK

PREPARED FOR

WAKE COUNTY FACILITIES

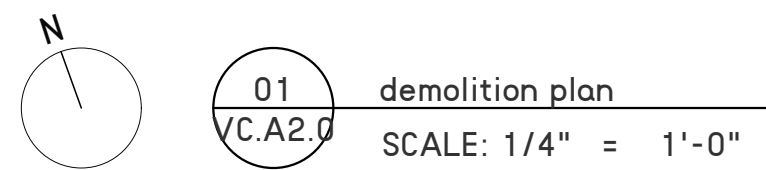
DESIGN & CONSTRUCTION

NORTH CAROLINA

SHEET NUMBER

C7.3





1. Remove existing doors and windows.
2. Remove fascia and roof framing. REF structure
3. Remove windows.
4. Remove floor tile.
5. Remove partitions.
6. Remove exterior wall framing. REF structure
7. Remove water fountain.
8. Remove fixtures and toilets.
9. Remove exhibits and any owner items left in the building.
10. Remove doors.
11. Remove shelving. Replace with same shelving system in new location.
12. Remove millwork and appliances. REF PME
13. Remove existing wood screen wall and footing.
14. Remove existing PME. REF PME demo notes.
15. Remove columns. REF structure.
16. Remove gutter and downspout system.

