



**Addendum #1**  
**Historic Oak View County Park Renovations**

To: All Plan Holders

From: Kimley-Horn & Associates

Date: Tuesday, January 27, 2026

Project Name: Historic Oak View County Park Renovation

Project: RFB #26-001

Subject: Addendum #1

---

This Addendum becomes part of the Contract Documents and shall be acknowledged by each Bidder on the Bid Form. Each Bidder should read each item carefully. All parts of the original specifications and plan documents shall remain in force except as noted below:

**Pre-Bid Meeting Minutes and Attendee List:**

- Attached for reference

**Plan Holder's List:**

Company Name	Contact	Email	Phone Number
Associated General Contractors	Michael Stubbs		800-364-2059 x8137
Beam General Contractors	Joshua Reeder	<a href="mailto:joshr@jdbeam.com">joshr@jdbeam.com</a>	919-612-0737
Blackridge Research & Consulting	Venkatesh Siva		917-993-7467
Browe Construction	Sam Gore Chad Grady	<a href="mailto:sam.gore@browecon.com">sam.gore@browecon.com</a>	919-415-1616
CMC Building, Inc.	Parin Bodiwala Phillip Swicegood	<a href="mailto:parin@cmcbuildinginc.com">parin@cmcbuildinginc.com</a>	919-295-2163
Dodge Data and Analytics	Jayalakshmi L		413-376-7032
QTO Solutions	Haroon Cheema	<a href="mailto:info@qtosol.com">info@qtosol.com</a>	480-409-1578
Scotia Construction Inc.	Wyatt Stevens Garrett Hodges	<a href="mailto:wyatt@scotiaconstructioninc.com">wyatt@scotiaconstructioninc.com</a>	919-467-0293
C.T. Wilson Construction Co., Inc.	Kevin Hartzog	<a href="mailto:kevin@ctwilson.com">kevin@ctwilson.com</a>	919-383-2535

BAR Construction Company	Austin Riccio	<a href="mailto:bids@BARConstruction.com">bids@BARConstruction.com</a>	919-295-2163
Johnson Controls	Steven Tichenor	<a href="mailto:steven.tichenor@JCI.com">steven.tichenor@JCI.com</a>	984-382-7462
Fred Smith Company	Carl Collie	<a href="mailto:ccollie@Fredsmithcompany.com">ccollie@Fredsmithcompany.com</a>	919-901-8225
River Wild	Brandon Casey	<a href="mailto:brandon@staywild.com">brandon@staywild.com</a>	919-631-6737
Bliss Products & Services	Andy Caguioa	<a href="mailto:andy@blissproducts.com">andy@blissproducts.com</a>	
Racanelli Construction South, Inc.	Scott Dreibitko	<a href="mailto:sdreibitko@racanelliconstruction.com">sdreibitko@racanelliconstruction.com</a>	919-363-3600
Harrod & Associates Constructors, Inc.	Ed Long	<a href="mailto:elong@harrodandassoc.com">elong@harrodandassoc.com</a>	919-828-7782
HM Kern Corporation	Kristy Pruitt Zack Poole	<a href="mailto:estimating@hm kern.com">estimating@hm kern.com</a>	336-668-3213
Muter Construction	Cindy Cayton	<a href="mailto:ccayton@muterconstruction.com">ccayton@muterconstruction.com</a>	919-404-8330
Construct Connect	Jessica Thomas	<a href="mailto:Jessica.Thomas@ConstructConnect.com">Jessica.Thomas@ConstructConnect.com</a>	513-458-5943
Riley Contracting Group	Chris Swartz	<a href="mailto:cswartz@rileycontracting.com">cswartz@rileycontracting.com</a>	716-445-3460
WC Construction Company	Mark Reyes Patrick Roth	<a href="mailto:mark@wcconstructionco.com">mark@wcconstructionco.com</a>	336-721-3420 x121
McClure Builders	Logan McClure	<a href="mailto:logan@mcclurebuilders.com">logan@mcclurebuilders.com</a>	919-369-9275
Troy Hutchins Construction	Troy Hutchins	<a href="mailto:troy@troyhutchinsconstruction.com">troy@troyhutchinsconstruction.com</a>	919-451-0812
Barnhill Contracting Company	Taliyah Sowe	<a href="mailto:tsowe@barnhillcontracting.com">tsowe@barnhillcontracting.com</a>	704-215-3280
ML Bind	Shauna Raymond	<a href="mailto:SRaymond@mlbind.com">SRaymond@mlbind.com</a>	518-289-1371 x145
Engineered Construction Company	Scott Dawson	<a href="mailto:sdawsonsr@engrconst.com">sdawsonsr@engrconst.com</a>	919-954-9090

**Questions Received:**

1. **Q:** Is there an approximate construction budget that can be shared?  
**A:** No, construction budget information is not available.
2. **Q:** Is there an estimated or desired notice to proceed/completion date for the work to be done?  
**A:** The contract time is 365 consecutive calendar days beginning on the date of commencement as specified in the Notice-to-Proceed. The Notice-to-Proceed date will be coordinated with the contractor following selection.
3. **Q:** What is the approximate square footage of the Visitor's Center renovation and new Maintenance Building?  
**A:** Square footages can be found on the Appendix B provided on sheets MB.A0.2 and VC.A0.2.
4. **Q:** Is the park expected to remain operational during construction, or will there be phased closures?  
**A:** The park is expected to remain open during construction, but the Visitor's Center and Bluebird Shelter are expected to be closed while actively under construction.
5. **Q:** What is the anticipated construction start date and substantial completion date?  
**A:** The contract time is 365 consecutive calendar days beginning on the date of commencement as specified in the Notice-to-Proceed. The Notice-to-Proceed date will be coordinated with the contractor following selection.

6. **Q:** Are there any historic preservation requirements or reviews (SHPO involvement)?  
**A:** A portion of the project site is within a historic district. The Raleigh Historic Development Commission has approved the proposed renovations and has issued a Certificate of Appropriateness Placard.
7. **Q:** What is the breakdown of new construction vs. renovation work percentages?  
**A:** An exact percentage is not available. The full scope of the project, both existing areas to be renovated and new construction zones are illustrated in detail within the plan documents.
8. **Q:** Are there any site work complexities (utilities, grading, environmental considerations)?  
**A:** The scope of work associated with the “site work” includes grading, construction surveying, paving, storm drainage, curb & gutter, driveways, sidewalk, curb ramps, signing, pavement markings, utilities, erosion control, landscaping, and other related items as shown on the Construction Drawings.
9. **Q:** Is a plan holder’s list available?  
**A:** See Plan Holder’s List section above.
10. **Q:** Is there an anticipated number of bidders based on plan holder interest?  
**A:** There is not an expected number of bidders for the project. See Plan Holder’s List section above for full list of plan holders up to this point.
11. **Q:** Are there any specific MBE/WBE participation goals beyond the standard Wake County Section 00600 requirements?  
**A:** Bidders shall comply with the requirements of the Wake County Minority Business Enterprise Program, as outlined in Section 00600 of the Project Manual. These are the full requirements.
12. **Q:** Can you provide the Pre-Bid Meeting Minutes?  
**A:** The Pre-Bid Meeting Minutes are included at the end of this Addendum.
13. **Q:** Can you provide CAD files for grading takeoff purposes. The existing contour lines on the pdfs are not very legible due to the hatching and plan information.  
**A:** CAD files cannot be shared with prospective bidders. See the revised Grading and Drainage Sheets C7.0-C7.3 included at the end of this Addendum.
14. **Q:** When is the Notice-to-Proceed expected to be provided?  
**A:** There is not an expected Notice-to-Proceed date established at this time. Once the bids are opened and it is established that the bids are satisfactory, the awarded bid will then be provided to the Wake County Board of Commissioners. Once the selection is approved, a contract will be negotiated and a Notice-to-Proceed will be provided.

15. **Q:** Have building permits been submitted?

**A:** Building permits have been submitted, reviewed, and have had all review boards approved. At this time we are awaiting contractor information and project valuation to finalize this process. These are public record and available for review on the Wake County Permit Portal.

16. **Q:** Is there a plan for specific parts of the park to be closed and open during construction?

**A:** The park will remain open for the full duration of construction. This project is a renovation and will have multiple zones of construction across the site at the same time. Park work zones and area closures will be handled through communication with Wake County staff, the project Landscape Architect and the selected contractor. Park construction operations shall be completed in accordance with Section 011000 of the Project Manual.

17. **Q:** Are all improvements for this project new-build and site-work improvements or will there be existing buildings being demoed and/or renovated?

**A:** The existing Visitor's Center will be renovated per the bid documents. The existing Bluebird Shelter will be demolished, removed, and a new structure will be built in the same general area per the bid documents. The proposed Maintenance Building will be a new structure. There are also additional site-work improvements across the site that are included in the bid documents.

18. **Q:** Is the existing Bluebird Shelter used for party or event reservations? If so, does this need to be coordinated or is there a plan to address this during construction?

**A:** The Bluebird Shelter is reserved occasionally, but this is requested in advance. There are no reservations for the existing facility at this time. Reservations of the Bluebird Shelter will not be available during construction.

19. **Q:** Is there a more specific specification for tile that can be offered? Baseline specification is fairly vague.

**A:** Tile specification will be reviewed in depth, and if need be, reissued by the final addendum on February 5.

20. **Q:** Are irrigation improvements proposed on this project?

**A:** No, irrigation improvements are not included as part of this project. The existing irrigation system shall remain in the same working condition as it currently exists once construction is complete with only minor modifications if needed to accommodate the proposed conditions of the project.

21. **Q:** Is there a sub-contractor that the design team prefers to use for porous pavement such as the decomposed granite path or is this up to the selected contractor to choose?

**A:** There is not a preferred sub-contractor for porous pavement installation. This is up to the selected contractor to choose.

22. **Q:** Please clarify extent of contractor responsibility for exhibit demo in Visitor Center.

**A:** The general contractor to demo cabin exhibit and silo per note #9 on Sheet A2.0.

Other exhibits to be removed by Wake County Parks prior to Notice-to-Proceed. Any remaining items in the space are to be disposed of by Contractor.

23. **Q:** One of the fire alarm drawings is labeled VB instead of VC – it's the 3.1 page.

**A:** VB.FA3.1 is incorrectly labeled. This should be "VC.FA3.1" and will be corrected with the issue for construction set.

24. **Q:** On C3.0 at the new brick sidewalk there is a reference to detail 8/3.4. Is there any ribbon curb associated with the brick sidewalk? If so, can a section of the walk be provided?

**A:** This detail call out should be 5/C3.7 instead of 8/C3.4. This has been corrected as part of Addendum #1. There is no concrete ribbon curb associated with this brick sidewalk.

#### **Drawing Reissue:**

- Overall Site Plan (Sheet C3.0)
  - One detail reference related to the 6' wide brick path was updated. This detail call out should be 5/C3.7 instead of 8/C3.4.
- Grading and Drainage Plans (Sheets C7.0-C7.3)
  - The reissuance of Sheets C7.0-C7.3 is due to the legibility of the previously issued Grading and Drainage Plans. Plan hatches have been turned off on these sheets to improve legibility of proposed grading design.
- Visitor Center Demolition Plan (Sheet VC.A2.0)
  - This clarifies the scale and removal of the cabin exhibit for those that missed the walkthrough at the pre-bid, and fixes an incorrect numbering in the legend key (#16).

#### **Attachments included for reference in this Addendum:**

- a. Pre-Bid Meeting Minutes
- b. Pre-Bid Meeting Attendee List
- c. Revised Overall Site Plan – C3.0
- d. Revised Grading and Drainage Plans – C7.0-C7.3
- e. Revised Visitor Center Demolition Plan – VC.A2.0



## Pre-Bid Meeting Minutes Historic Oak View County Park Renovations

Date: Wednesday, January 21, 2026

Time: 2:00 pm

Place: Historic Oak View County Park, 4028 Carya Drive, Raleigh, NC 27610

### 1. Sign-In Sheet

Please provide your name and contact information on the sign in sheet. The sign-in sheet will be distributed as part of Addendum #1.

### 2. Project Team Introductions

- Owner:
  - Paula Lambert, Wake County, Project Manager & Real Estate Specialist
  - Eric Staehle, Wake County, Senior Facilities Project Manager
  - Emily Catherman Fryar, Wake County, Park Manager
  - Matthew Southern, Wake County, Assistant Park Manager of Operations
- Landscape Architecture and Civil Engineering (Project Lead)
  - Melissa Brand, Kimley-Horn, Project Manager & Landscape Architect
  - Nick Kuhn, Kimley-Horn, Landscape Architect
  - Seth Brown, Kimley-Horn, Landscape Designer
  - John Kuzenski, Kimley-Horn, Civil Engineer
  - Andie Altemeier, Kimley-Horn, Civil Engineer
- Architect
  - Zach Hoffman, in situ studio, Architect
- MEP
  - Paul Romiti, Sigma Engineered Solutions, Mechanical/Plumbing Engineer
  - Reginald Adams, Sigma Engineered Solutions, Electrical Engineer
- Structural Engineering
  - Michael Stone, Lysaght & Associates, Structural Engineer
- Geotechnical Engineering
  - Allan Paul, Falcon Engineering, Geotechnical Engineer
- Surveying
  - Rob Baumgartner, KCI Associates of NC, Surveyor

### **3. Communication**

- All communication shall be directed to Melissa Brand (melissa.brand@kimley-horn.com) and Seth Brown (seth.brown@kimley-horn.com). Please copy both of the noted contacts to ensure a prompt response.
- Questions discussed at this meeting are non-binding to the contract and will be clarified in Addendum #1. Answers provided at this meeting will not be official until provided as part of the addendum.

### **4. Project Description**

- This project consists of a renovation at the existing Historic Oak View County Park located at 4028 Carya Drive in Raleigh, North Carolina. The proposed renovations include an improved Visitor Center and entry plaza, a new Maintenance Building with fenced equipment yard, segmental block retaining wall (delegated design by the selected contractor), a new picnic shelter, improved sidewalks, additional surface parking with bus parking spaces, and additional miscellaneous site improvements.
- The scope of work associated with the renovations includes existing building renovation, new building construction, grading, construction surveying, paving, storm drainage, curb & gutter, driveways, sidewalk, curb ramps, signing, pavement markings, utilities, erosion control, landscaping, and other related items as shown on the Construction Drawings.
- Refer to the Project Manual herein and associated Construction Drawings for the full scope of work.

### **5. Project Documents**

- The Construction Documents and the Project Manual are available in digital format upon request by emailing Melissa Brand (melissa.brand@kimley-horn.com) and Seth Brown (seth.brown@kimley-horn.com).
- Addenda will be listed on the Wake County website and at <https://www.planscope.com>.
- Any printed copies are the responsibility of the prospective bidder and at their expense. Printed copies maybe purchased from Accent Imaging by contacting Accent Imaging at [production@accentimaging.com](mailto:production@accentimaging.com) or by calling 919-782-3332 or by visiting <https://www.planscope.com>.

### **6. Bid Proposal**

- Proposal to be bid includes: *General Construction Work – Single Prime Contract*. All bidders must have a valid license in the State of North Carolina.
- Wake County provides minorities and women equal opportunity to participate in all aspects of its construction program consistent with NCGS §143-8. Bidders shall comply with the requirements of the Wake County Minority Business Enterprise Program, as outlined in ~~Section 00600 of the Project Manual. The established goal for minority business participation is 10%. If the bidder's minority business participation is less than the established goal of 10%, the bidder must submit Wake County Form MBE-5 (2002) on page 0400-5 of the Project Manual.~~
- A bid bond of 5% is required for the bid. The Bid Bond form included in the project manual must be used or the bid may be rejected. A payment and performance bond in the amount equal to 100% of the contract price is required for the construction agreement.
- Please Review in the Project Manual:
  - Required forms
  - Bid Bond
  - MWBE requirements
  - Insurance requirements

- Sub-contractors and qualifications

## **7. Unit Prices, Allowances, & Bid Alternates**

- Unit Prices
  - Unit Prices are included in the base bid and are defined in the project manual.
  - There are 19 items specified to include unit prices.
- Allowances
  - Allowances are included in the base bid and are defined in the project manual.
  - There are 9 items specified to include as allowances.
- Bid Alternates
  - Bid alternates are required and are defined in the project manual.
  - There are 4 add alternates specified to be included.
    - 8' Wide Decomposed Granite Path, 2 Benches, and 1 Trash Receptacle at Pecan Grove
    - Driveway Entrance at Carya Drive
    - Sidewalk and Gate to Poole Road
    - Kid's Corner Millwork at Visitor's Center

## **8. Addendums**

- An addendum is anticipated which will include the pre-bid meeting minutes, which will go to all official bidders in attendance. The addendum will include any plan or bid clarifications questions resulting from this pre-bid meeting. This will be posted by January 27, 2026.
- Any questions need to be emailed to Melissa Brand (melissa.brand@kimley-horn.com) and Seth Brown (seth.brown@kimley-horn.com) by ~~5:00~~ **12:00** pm on January ~~28~~ **30**, 2026.
- The final addendum is projected to be posted by February ~~4~~ **5**, 2026.

## **9. Bid Schedule**

- Notice for Bidders: January 12, 2026
- Pre-Bid Meeting: 2:00 PM on January 21, 2026
- Addendum Issued: January 27, 2026
- Deadline for Questions: 12:00 PM on January 30, 2026
- Final Addendum Issued: February 5, 2026
- Bid Opening: 2:00 PM on February 12, 2026

## **10. Bid Opening**

- Bids will be received until 2:00 PM on Thursday, February 12, 2026. Any bids received after this time will not be accepted.
- Submit bids to:

Wake County Procurement Services  
Attention: Paula Lambert, Project Manager  
Re: Historic Oak View County Park Renovations  
Wake County Justice Center  
301 McDowell Street, Suite 2900  
Raleigh, NC 27601
- Each proposal shall be delivered, enclosed in an opaque sealed envelope, marked "Proposal" and bearing the name of Project, name and address of the Bidder, the Bidder's license number.

- Please allow adequate time to arrive at the bid opening location. An ID is required to enter the building and pass through the building's security checkpoint. It is recommended that you leave anything that might be confiscated in your vehicle (knives/tools/weapons).

**11. Notice to Proceed (Date of Availability)**

- To be determined with the contractor after selection.

**12. Construction Time**

- Refer to the Supplemental General Conditions.
- Contract Time: The contract time is 365 consecutive calendar days beginning on the date of Commencement as specified in the Notice-to-Proceed.
- On-Site Work Hours:
  - Work shall be generally performed during normal business working hours of 8:00 a.m. to 5 p.m., Monday through Friday.
  - Due to the time sensitive nature of the project, this may be extended to include weekends and after hours as allowable by the City of Raleigh and Wake County noise ordinance if approved by Wake County in advance.

**13. Liquidated Damages**

- If the Contractor fails to achieve Substantial Completion of the Work within the Contract Time and as otherwise required by the Contract Documents, the Owner shall be entitled to retain or recover \$500 per calendar day until the work is completed.

**14. Electronic Files & Project Information**

- Electronic CAD files (.dwg format) will be provided to the selected contractor.
- The geotechnical report by Falcon Engineering is included as part of the Bid Manual.

**15. Project Management**

- The contractor will be required to attend bi-weekly construction progress meetings. A detailed schedule is expected to be provided and discussed at each meeting.
- The park will remain open to Wake County staff and park visitors during construction. Wake County staff will be relocated to the Main House prior to commencement of construction activities. The contractor is expected to keep driveways, loading areas, and entrances serving premises clear and available to Wake County, Wake County employees, park visitors, and emergency vehicles at all times.

**16. Questions**

- See Addendum #1 for full list of questions discussed.

## Pre-Bid Meeting Attendance Sheet

Historic Oak View County Park Renovations  
 4028 Carya Drive, Raleigh, NC 27610  
 2:00 PM on January 21, 2026

<u>NAME</u>	<u>COMPANY</u>	<u>PHONE</u>	<u>EMAIL</u>
Paula Lambert	Wake County	919-418-0603	paula.lambert@wake.gov
Melissa Brand	Kimley-Horn	919-653-5841	melissa.brand@kimley-horn.com
Andie Altemeier	Kimley-Horn	984-389-1493	andie.altemeier@kimley-horn.com
Nick Kuhn	Kimley-Horn	984-275-2386	nick.kuhn@kimley-horn.com
Seth Brown	Kimley-Horn	919-653-2932	seth.brown@kimley-horn.com
Zach Hoffman <i>HARRISON KAUFMANN</i>	in situ studio	704-301-4750 <i>828 273 9625</i>	zach@insitustudio.us <i>harrison@insitustudio.us</i>
<i>Phillip Swicegood</i>	<i>CMC Building</i>	<i>919 295 2163</i>	<i>parin@CMCBuildingInc.com</i>
<i>Austin Riccio</i>	<i>BAR Construction</i>	<i>336-274-2477</i>	<i>Bids@BARConstruction.com</i>
<i>Steven Tichenor</i>	<i>Johnson Controls</i>	<i>9843827462</i>	<i>Steven.Tichenor@JCI.com</i>

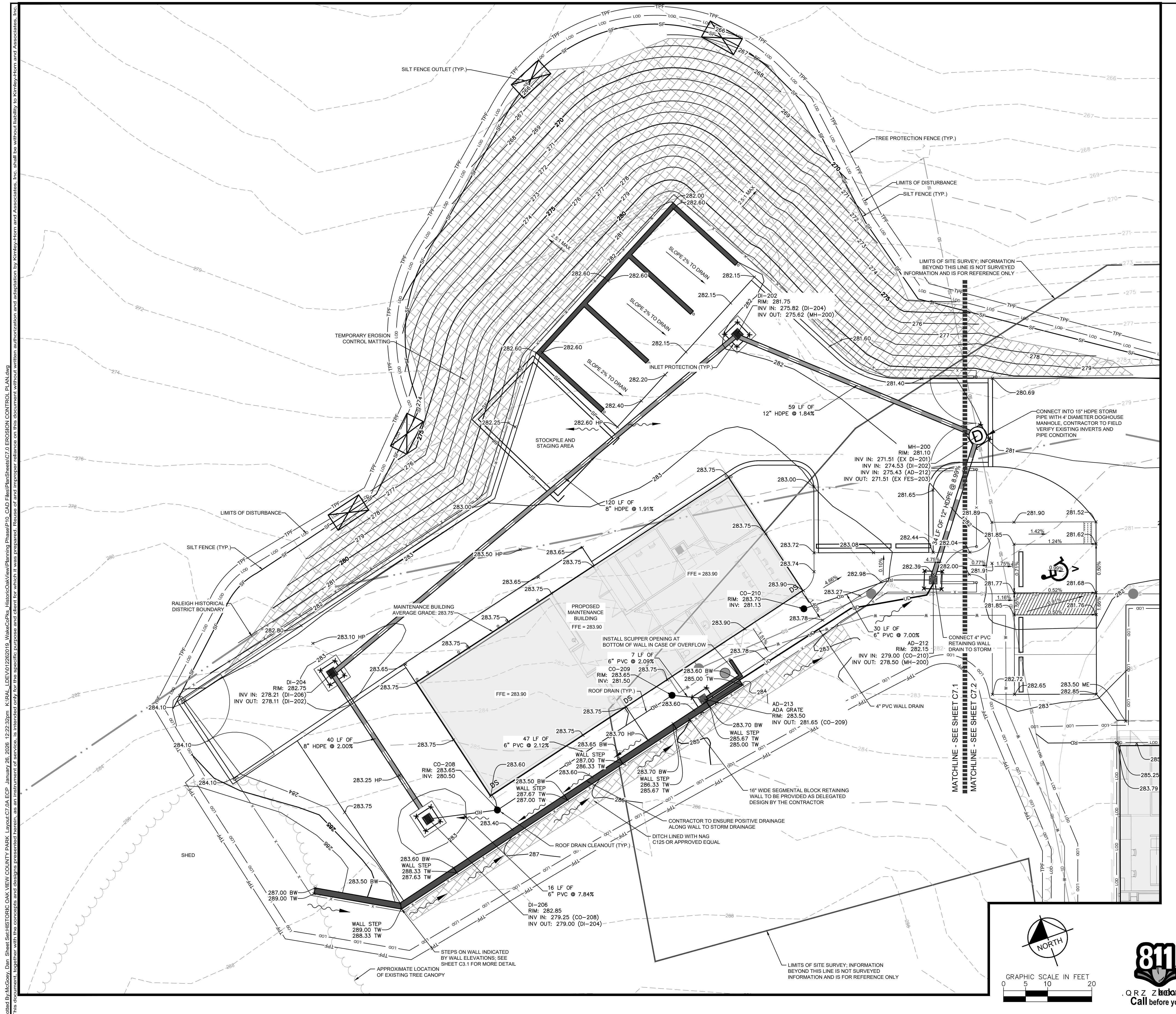
# Pre-Bid Meeting Attendance Sheet

Historic Oak View County Park Renovations  
 4028 Carya Drive, Raleigh, NC 27610  
 2:00 PM on January 21, 2026

<u>NAME</u>	<u>COMPANY</u>	<u>PHONE</u>	<u>EMAIL</u>
Patrick Roth	W.C Construction	919-750-7411	Bids@Wcconstructionco.com
CARL COLLIE	FRED SMITH COMPANY	919-901-8225	ccollie@fredsmithcompany.net
Chad Grady	Browne Const	919.222.8873	Chad.Grady@BrowneCo.com
Zack Pook	H.M kern	336-668-3213	estimating@hmtern.com
KEVIN HARTZOG	CTWILSON	919-383-2535	kevin@ctwilson.com
Ed Long	Herrod and Assoc.	919-828-7782	estimating@herrodandassoc.com
Brandon Lison	River Wild	(919)631-6137	brandon@stonywild.com
Gurret Hodges	Scotia Construction	2523415454	estimating@scotiaconstructioninc.com
Eric Staehle	WALKE FDC	919-856-6369	eric.staehle@walke.gov

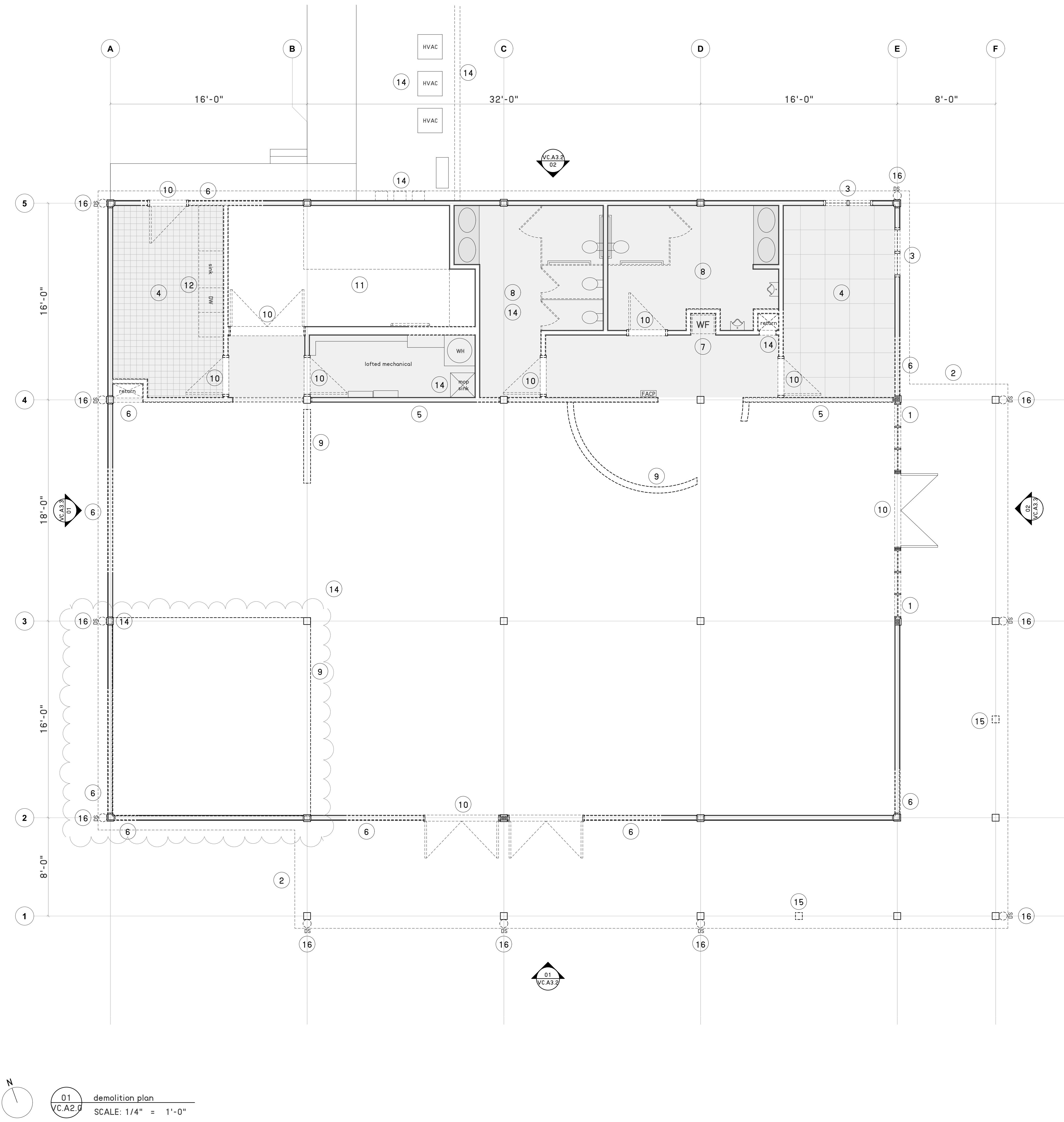












FLOOR PLAN DEMO NOTES	
1.	Remove existing doors and windows.
2.	Remove fascia and roof framing. REF structure
3.	Remove windows.
4.	Remove floor tile.
5.	Remove partitions.
6.	Remove exterior wall framing. REF structure
7.	Remove water fountain.
8.	Remove fixtures and toilets.
9.	Remove exhibits and any owner items left in the building.
10.	Remove doors.
11.	Remove shelving. Replace with same shelving system in new location.
12.	Remove millwork and appliances. REF PME
13.	Remove existing wood screen wall and footing.
14.	Remove existing PME. REF PME demo notes.
15.	Remove columns. REF structure.
16.	Remove gutter and downspout system.

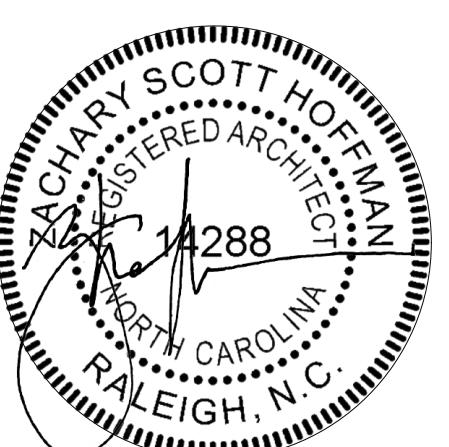
VC.A2.0

BD

in situ studio

KIMLEY-HORN & ASSOCIATES, INC.  
LYSAUGH & ASSOCIATES  
SIGMA ENGINEERED SOLUTIONS, PC  
LYSAUGH & ASSOCIATES

704 N PERSON STREET  
RALEIGH, NC 27604  
www.institutestudio.us



demolition plan

Consultants  
Landscape/Civil  
Structural/Civil  
PME/FIRE  
COST ESTIMATION